

GROSS FLOOR AREA:

2,213 S.F. (EXISTING PER ASSESSOR OFFICE)

2,440 S.F. (PROPOSED INCLUDING PROP. SUNROOM)

JUL 29 2020

BOARD OF APPEALS
CITY OF WALTHAM

FLOOR TO AREA RATIO:

0.44 (EXISTING)

0.48 (PROPOSED)

CITY OF WALTHAM DATE 7/23/2020
THIS PLAN DOES NOT CONFORM WITH THE REQUIREMENTS
OF THE BUILDING ZONING ORDINANCES, as follows:
ARTICLE IV SECTION 4.2 Sub Sec. 4.2.1(8)
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ARTICLE SECTION Sub Sec.
And PERMIT is hereby Refused.

ASSESSOR INFORMATION:

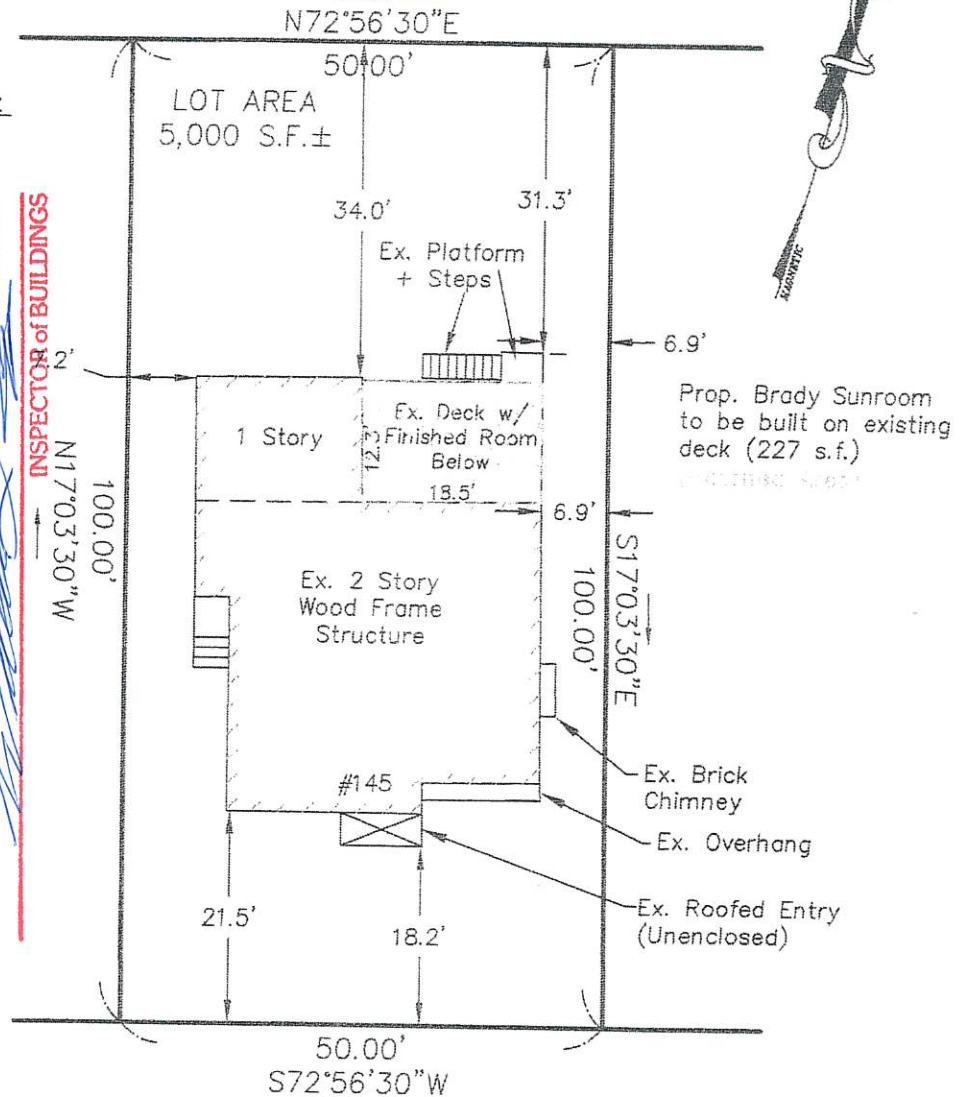
MAP R66 BLOCK 1 LOT 12

DEED REFERENCE:

BOOK: 16701 PAGE: 235

OWNER INFORMATION:

JOSEPH & ANTONINA CARUSO
145 FLORENCE ROAD
WALTHAM, MA 02453



FLORENCE

ROAD

I CERTIFY THAT THE STRUCTURES SHOWN WERE LOCATED
BY AN INSTRUMENT SURVEY AND EXIST ON THE GROUND AS SHOWN.



**PLOT PLAN OF LAND
#145 FLORENCE ROAD
WALTHAM, MA**

PREPARED BY:

SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

SCALE: 1"=20' DATE: 1/6/20