

The City of Waltham
ZONING BOARD OF APPEALS

CITY OF WALTHAM
CITY CLERK'S OFFICE
2022 MAR 17 PM 12:08

NOTICE OF DECISION

RECEIVED

CASE NUMBER: #2021-43
NAME OF PETITIONER(S): 2Life Development Inc.
NAME OF OWNER(S): 2Life Leland LLC
LOCATION OF PROPERTY: 21 Newton Street
DATE OF HEARING(S): February 15, 2022, March 1, 2022 and March 8, 2022
DATE OF DECISION: March 8, 2022
DATE OF FILING OF DECISION WITH CITY CLERK: March 17, 2022
DATE OF NOTIFICATION TO BUILDING INSPECTOR: March 17, 2022
FINAL DATE FOR FILING OF APPEAL FROM THIS DECISION: April 6, 2022

Appeals, if any, shall be made pursuant to Section 17 of the General Laws of Massachusetts Chapter 40A. All plans referred to in the decision have been filed with the Planning Board and with the City Clerk.

DECISION

COMPREHENSIVE PERMIT, PURSUANT TO G.L. c. 40B

GRANTED with Conditions

XX

DENIED

ROLL CALL

	<u>Yes</u>	<u>No</u>		<u>Yes</u>	<u>No</u>
Michael J. Cotton			Edward T. McCarthy, Jr.		
John Sergi	X		Oscar L. LeBlanc		
Mark A. Hickernell	X		Marc S. Rudnick		
Glenna Gelineau	X		Michael R. Squillante		
Matthew Deveaux	X		Sarah Hankins		X

PETITION

- Petitioner: 2Life Development Inc.
- Nature of Appeal: Application for a Comprehensive Permit Pursuant to Massachusetts General Laws, Chapter 40B, Sections 20-23.
- Subject Matter: The Petitioner, 2Life Development Inc. proposes to construct 68 apartment units and will provide 66 units which meet the definition of low and moderate income under the meaning of M.G.L. Chapter 40B, Section 20. The Petitioner submits this application for a comprehensive permit under the provisions of M.G.L. Chapter 40B, Sections 20-23, inclusive and as amended (the "Statute"), for the construction, maintenance, and use of sixty-eight (68) apartment units, of which sixty-six (66) will be affordable deed-restricted units that will serve households with incomes at or below 60% of the Area Median Income (AMI) in perpetuity (the "Affordable Units"). Two (2) units shall be occupied by 24-hour resident managers, however, if same are not so occupied they shall be rented to tenant households with incomes at or below 60% AMI.

The Petitioner is currently in the application and review process of the Massachusetts Department of Housing and Community Development's (DHCD) annual rental housing funding competition, which awards affordable housing developments allocations of Low-Income Housing Credits, federal funds, state affordable housing bond funds, and project-based rental housing vouchers (Section 8 and Massachusetts Rental Voucher Program (MRVP)) based on a competitive scoring criteria. The Petitioner's application to DHCD for said funding award proposed an affordability mix of 17 units (25% of total) at or below 30% AMI, 7 units at or below 50% AMI, and 42 units at or below 60% AMI to address the local need for senior affordable housing in Waltham. In order to finance over one third of the proposed development (24 units) at or below 30% and 50% AMI, Petitioner requested 24 Massachusetts Rental Voucher Program (MRVP) project-based vouchers. Upon such subsidy funding award (anticipated date of June 2022), the Petitioner shall provide 17 units at or below 30% AMI, 7 at or below 50% AMI, and 42 at or below 60% AMI (note: 66 units shall remain restricted by regulatory agreement at or below 60% AMI in perpetuity). Further, the Petitioner shall reapply for and take all reasonable measures to obtain such MRVPs prior to the expiration of each 15-year contract in order to maintain said affordability mix in perpetuity.

Location and Zoning District:

The locus is numbered 21 Newton Street and is identified as Map 61, Block 13, Lot 3 according to the Atlas of the City of Waltham. The locus is situated on the Westerly side of Newton Street and consists of 65,221 +/- square feet (1.497 +/- acres). The locus is situated in a Residence B Zoning District.

COMPREHENSIVE PERMIT

**2Life Development Inc.
21 Newton Street, Waltham, Massachusetts**

Background/Summary of Proceedings:

2Life Development Inc., 30 Wallingford Road, Brighton, MA 02135 (the “Petitioner” or “Developer”) has requested that the City of Waltham Zoning Board of Appeals (the “Board”) pursuant to the General Laws of Massachusetts, Chapter 40B (“Chapter 40B”) issue a comprehensive permit for the construction and use of a multi-family apartment complex (the “Development”) on 1.497 ± acres of property located on the westerly side of Newton Street. The Petitioner submitted to the Board a formal Petition on December 20, 2021, which also included but was not limited to a List of Waivers, Petitioner’s bound Comprehensive Permit Application Materials, and preliminary design plans for the Development (the “Application”).

Prior to filing its Application with the Board, the Petitioner submitted an application to the City of Waltham Community Preservation Committee (CPC) and, on August 3, 2021, was approved for six million dollars in Community Preservation Act (CPA) funds by the Waltham City Council to support the Proposed Development.

Thereafter, the Petitioner applied for and received a Project Eligibility Letter from the Commonwealth of Massachusetts Department of Housing & Community Development (DHCD), dated November 17, 2021, indicating that the Proposed Development has been approved under the Low-Income Housing Tax Credit (LIHTC) program. The Petitioner asserts that it is a non-profit corporation within the meaning of M.G.L. c. 40B and 760 CMR 56.04 and is eligible to receive the LIHTC after a Comprehensive Permit pursuant to said M.G.L. c. 40B has been granted.

The Petitioner contends that it has complied with the procedural requirements of Chapter 40B, Section 21 for submission of an application for a Comprehensive Permit. The Petitioner requested from the Board a Comprehensive Permit pursuant to Chapter 40B, asserting that the Development qualifies as low-and/or moderate-income housing as defined in Sections 20-23 of Chapter 40B. The Property is located in a Residence B Zoning District as shown under the Zoning Map as part of the Zoning Ordinance of the City of Waltham (the “Zoning Ordinance”).

The Petitioner has reviewed local codes, ordinances, and regulations including the Zoning Ordinance, Stormwater Regulations, Engineering Department Plan and Utility Requirements and Engineering Department Drainage Calculation Requirements, and Traffic Rules and Regulations, and has submitted a list of provisions under said local codes, ordinances and regulations with which the Petitioner seeks not to comply, including but not limited to exceptions related to use, density, setbacks, and parking. The Petitioner shall comply as specifically identified below and as detailed in the Plans dated December 20, 2021, revised February 9, 2022 and February 14, 2022 (identified fully in Section II below) which are incorporated herein and expressly made part of this Decision (note: a full set of said controlling Plans are located in the Office of the Zoning Board of Appeals, 119 School Street, Waltham, MA 02451).

Subsequent to the Petitioner’s December 20, 2021 filing, comments were received from the City of Waltham Engineering Department, Fire Department, and Board of Survey and Planning. In

response to these comments, in advance of the Public Hearing the Petitioner incorporated changes to the design in its Revised Plans dated February 9, 2022 and February 14, 2022, including reducing the building at its southerly end (along with associated changes to the site layout and interior modifications to the building) to accommodate an access lane along the southerly end of the site from Newton Street to the rear parking lot per the request of the Fire Department so that fire and emergency apparatus can traverse the entire site.

A public hearing on the Application was held on February 15, 2022, March 1, 2022, and March 8, 2022 before the Board, where the Board heard testimony from the Petitioner, received comments from various interested parties and considered expert reports of Petitioner's consultants. The Public Hearing was closed on March 8, 2022.

This Decision is made this 8th day of March, 2022 and grants a Comprehensive Permit with Conditions for the Development, subject to the waivers and conditions specified in this decision.

FINDINGS AND DECISION

The Board on motion duly made and seconded hereby grants a Comprehensive Permit with Conditions to the Petitioner under the provisions of M.G.L. c. 40B, §§20-23 for the construction and use of 68 units of multi-family apartment housing at the Property for 3-story residential building measuring 40 feet with surface parking (51 spaces), subject to the specific terms of the waivers stated herein and all the terms and conditions contained in this Decision.

The Petitioner provided a Project Eligibility Letter dated November 17, 2021, which stated that the Petitioner is able to meet the requirements under the LIHTC program, the fundability requirement of 760 CMR 56, and the site control requirement of 760 CMR 56, thereby allowing the Petitioner to file a Comprehensive Permit Application before the Board. The Petitioner has shown evidence of its interest in the Property, in Section 6 of the Petitioner's Bound Application Materials, via a Purchase and Sale Agreement dated August 24, 2021 between Petitioner and the prior owner, The Leland Home. The Petitioner provided the Board with a copy of a Quitclaim Deed recorded at the Middlesex South District Registry of Deeds in Book 79704, Page 321 from the prior owner to 2Life Leland LLC on February 17, 2022.

After reviewing the evidence, the Board finds that the Conditions enumerated below are required because the Development (without the imposition of such Conditions) causes several concerns as to use, density, setbacks, fire safety, fire access, traffic, pedestrian and vehicular safety on-site and on adjoining streets, parking design/flow and sufficiency of parking spaces on site, and other local concerns. Said factors outweigh the regional need for low-and moderate-income housing in Waltham, particularly given Waltham's continuing efforts to address the affordable housing needs of the City: consequently, conditions are required for the issuance of this Comprehensive Permit in order to ameliorate said factors.

After reviewing the evidence, the Board voted to GRANT the Comprehensive Permit with Conditions under the provisions of M.G.L. c. 40B, §§ 20-23 and the applicable regulations and guidelines for the development of a 68-unit Development that is three (3) stories measuring 40 feet with 51 surface parking spaces, in accordance with the Plans which are incorporated by reference as if fully set forth herein and subject to the conditions and waivers set forth herein. The Board considered conditions it felt would best ameliorate the issues raised by the construction and

operation of the Development, including concerns regarding health and safety of the occupants of the Development and of occupants of neighboring properties, environmental, fire safety and fire access, and other local concerns identified above. The Board finds that the conditions as approved and identified below strike the appropriate balance between protecting health, safety and welfare of the residents of Waltham, tenants of the Development, and the abutters, and that with the conditions as approved and identified below, the Development is consistent with local needs.

WAIVERS AND CONDITIONS TO THE COMPREHENSIVE PERMIT

The Board's approval of the Comprehensive Permit for the Development is premised on the Petitioner's and the Development's compliance with the following Waivers and Conditions. All requirements imposed by these waivers and conditions and this Permit shall be applicable to any and all successors in interest to the Petitioner or other entity responsible for the administration of the Development regardless of whether these waivers and conditions specifically identify the Petitioner.

I. The following Waivers requested by the Petitioner are as indicated:

Ordinance Section	Requirement Category	Required Waiver(s)	Facts Necessitating Waivers & Extent/Scope of Waivers Granted	Waiver Number
3.4	Table of Uses	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	A
3.511	Special Permit for Intensity of Use	Note: Currently, there is no FAR requirement in the Residence B Zoning District.	Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District via this comprehensive permit (and not by special permit).	B
3.512	Special Permit for Use	Allowing permission to build or operate a specific use not allowed by right in the zoning district	Allowing a multi-family dwelling not allowed in the Residence B Zoning District.	C
3.52	Development Prospectus Comments	Waiver of Requirement from Development Prospectus Comments	Waiver of Requirement from Development Prospectus Comments	D
3.53	Determinations	Waiver of Requirement from Determinations	Waiver of Requirement from Determinations	E
3.618	Multi-family dwellings	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	F

4.11	Min. Side Setback	Waiver from required minimum side setback of 10 feet in the Residence B Zoning District	The Development has a northerly side setback of 7.69' in the Residence B Zoning District	G
4.11	Min. Rear Setback	Waiver from required minimum rear setback of 30 feet in the Residence B Zoning District	The Development has a rear setback of 15.31' in the Residence B Zoning District	H
4.11	Max. FAR by right	Note: Currently, there is no FAR requirement in the Residence B Zoning District.	The Development has a FAR of 1.12 in the Residence B Zoning District	I
4.11	Multifamily Dwellings	Waiver from the prohibition of multifamily dwellings in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	J
4.11	Lot Coverage	Waiver from the maximum allowed lot coverage of 30% in the Residence B Zoning District	The development has 39.5% lot coverage in the Residence B Zoning District	K
4.11	Open Space	Note: Currently, there is no Open Space requirement in the Residence B Zoning District. However, where this Petition seeks to construct and use 68 dwelling units in said Zone, a Waiver from the open space requirements is needed.	The development has 26.4% open space in the Residence B Zoning District	L
4.11	Maximum number of Units per Acre in the Residence B District	Note: Currently, there is no Maximum number of Units per Acre requirement in the Residence B Zoning District. However, where this Petition seeks to construct and use 68 dwelling units in said Zone, a Waiver from the Maximum number of Units per Acre requirement is needed.	The development has 46 units per acre in the Residence B Zoning District	M
4.11	Minimum Lot Area Per Dwelling Unit in the Residence B Zone	Note: Currently, there is no Minimum Lot Area per Dwelling Unit requirement in the Residence B Zoning District. However, where this Petition seeks to construct and use 68	The development has a minimum lot area of 959.1 sq. ft. per unit in the Residence B Zoning District	N

		dwelling units in said Zone, a Waiver from the Minimum Lot Area Per Dwelling Unit per Acre requirement is needed.		
4.11	Minimum open space per unit	Allowing minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	The development has minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	O
4.221	Location of accessory buildings in the Residence B Zoning District	Waiver from the requirement that an accessory building be located at least 10 feet from the principal building and 5 feet from the side and rear lot lines	The development has two accessory buildings (sheds). One is located 2 feet from the principal building and 4 feet from the rear lot line. The other is located 4 feet from the side (northerly) lot line.	P
5.21	Parking Spaces for Multifamily Use	Waiver from the required 2 parking spaces per dwelling unit	The development has 51 parking spaces for 68 dwelling units or .75 spaces per unit. This waiver has only been granted because: (1) the required 66 affordable units are restricted in perpetuity at or under 60% AMI (also pending approval of MRVPs as indicated on Page 2, "Subject Matter" herein, affordability mix to provide 17 units restricted at or below 30% AMI, 7 units restricted at or below 50% AMI, and 42 units restricted at or below 60% AMI); (2) all units are age-restricted; and (3) the development's close proximity to public transportation and the Senior Center.	Q
5.41	Maximum width of driveway opening/curb cuts	Waiver from the requirement that the maximum width of a driveway opening/curb cut cannot exceed 25 feet without a Special Permit from the Board of Survey and Planning	The proposed Heard Street driveway is 30 feet wide to allow adequate access to fire apparatus per the request of the Fire Department.	R
5.41	Location of driveway opening/curb cuts	Waiver from the requirement that a new driveway located within 100 feet of an intersection requires a Special Permit from the Board of Survey	1. The proposed Newton Street entry / exit driveway (westerly side of Newton Street) will be located less than 100 feet	S

		and Planning	<p>from the intersection of the easterly side of Newton Street and Barton Street (one-way street turning onto Newton). This is an improvement from the existing drive that lines up with the intersection.</p> <p>2. The proposed access lane at the southerly end of the site will be located within 100 feet of the intersection of Newton Street and Barton Street as well as within 100 feet of the intersection of Newton Street and Central Street.</p>	
5.42	No paved area, excluding entrances and exits, shall extend within 5 feet of any lot or street line; nor into any front yard	Waiver from the requirement that there be no paved area within 5 feet of a lot line or a street line in the Residence C Zoning District	The proposed development has a paved area (raised curb) within 5 foot of a lot line or a street line in the front yard associated with the entry / exit drive along Newton Street, as well as parking spaces in the front yard. Further, the proposed access lane along the southerly end of the site is within 5 feet of a lot line.	T
5.91	Loading Areas	Waiver from the requirement to provide 1 12' x 70' loading area	The Development has one proposed loading area at 13' x 30'	U
6.31	New signs	Waiver of the requirement for a new sign permit, including size in Residence B Zone	<p>Waiver of the requirement for a new sign permit in Residence B Zone: The Petitioner shall locate up to five signs on site:</p> <ol style="list-style-type: none"> 1. Petitioner logo and name proximate to the front lobby entrance no larger than 2' x 4'; 2. "Leland House" sign no larger than 4' x 10' above the front lobby entrance; 3. A ground / directional sign proximate to the Heard Street entrance no larger than 2' x 2'; 	V

			<p>4. A ground / directional sign proximate to the access lane at the southerly end of the site along Newton Street no larger than 2' x 2'; and</p> <p>5. A ground / directional sign proximate to the 20- foot access way/southerly drive on Newton Street no larger than 2' x 2' advising that non-emergency vehicles are prohibited from using said entrance/ 20- foot way between the hours of 9:00 PM and 7:00 AM. Sign shall comply with Conditions 20 and 21(e) herein.</p>	
--	--	--	--	--

1. The Board grants Waivers A-V (as identified in the chart above by assigned letters), as detailed herein and as identified in the Plans expressly incorporated by reference, and as conditioned herein.

II. The Board grants the Comprehensive Permit subject to the Petitioner adhering to all of the following conditions and operative facts identified in this Decision:

The Board’s approval of the Comprehensive Permit for the Development (construction and use of 3-story residential building measuring 40 feet, with 51 surface parking spaces) is premised on the Petitioner’s and the Development’s compliance with the following conditions:

A. Design and General Conditions

1. The Development shall be constructed on the Property in accordance in all material respects with the following plans entitled “Leland House Comp. Permit (M.G.L. c. 40B),” dated December 20, 2021, revised February 9, 2022 and February 14, 2022 (the “Plans”), consisting of twenty (20) sheets including Cover Sheet. Said Plans are incorporated herein and expressly made part of this Decision. A full set of said controlling Plans are located in the Office of the Zoning Board of Appeals, located at 119 School Street, Waltham, MA 02451:
 - a. Cover Sheet, by PCA, Inc. dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - b. ALTA/NSPS Land Title Survey, by Precision Land Surveying, Inc., dated July 29, 2021, revised February 8, 2022;
 - c. Plot Plan, by Precision Land Surveying, Inc., dated February 14, 2022;

- d. Plan of Land, by Precision Land Surveying, Inc., dated July 29, 2021;
 - e. 300' Abutters Plan, by Precision Land Surveying, Inc., dated October 22, 2021, revised February 8, 2022;
 - f. Zoning Plan, Sheet L-101, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022 (snow storage depicted thereon);
 - g. Layout and Materials Plan, Sheet L-201, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - h. Grading Plan, Sheet L-301, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - i. Utility Plan, Sheet C-401, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - j. Utility Profiles, Sheet C-402, by Stantec Consulting, dated February 9, 2022, revised February 14, 2022;
 - k. Planting Plan, Sheet L-501, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - l. Site Details, Sheet L-601, by Stantec Consulting, dated December 20, 2021;
 - m. Site Details, Sheet L-602, by Stantec Consulting, dated December 20, 2021;
 - n. Utility Details, Sheet C-603, by Stantec Consulting, dated December 20, 2021;
 - o. Utility Details, Sheet C-604, by Stantec Consulting, dated December 20, 2021;
 - p. Fire Department Exhibit, Sheet L-701, by Stantec Consulting, dated February 9, 2022, revised February 14, 2022;
 - q. Aerial Photos, Sheet A1-01, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - r. Floor Plans, Sheet A1-10, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
 - s. Floor Plans, Sheet A1-11, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022; and
 - t. Elevations, Sheet A1-20, PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022.
2. 68 total apartments shall be constructed in one multi-family residential apartment complex that shall consist of 66 apartments for residents, two apartments for on-site support staff, associated interior common areas and amenity spaces for the tenants and their guests, and other additional amenities on the Property as identified in the Plans.
 3. All construction on the Property shall be in accordance in all material respects with the Plans referenced above. Construction of the Development shall be in accordance with federal and state law and the State Building Code and Fire Codes.
 4. This Comprehensive Permit shall lapse if construction of the Development has not commenced within three years after this permit becomes final (which period shall toll in

accordance with 760 CMR 56.05(12)(c)).

5. The Petitioner shall record this Decision at the Middlesex South Registry of Deeds and provide evidence of said recording to the Board and the Inspector of Buildings prior to application for a Building Permit.
6. Each condition in this Decision shall be applicable to and binding on the Petitioner and the Petitioner's successors and assigns.

B. Affordability

7. The Affordable Units (hereinafter defined) shall remain affordable, in perpetuity, at the rent levels articulated in Conditions #9-10 below and as set forth in this Decision.
8. It is the intent of the City and the Petitioner that all of the units in the Development be included in the Subsidized Housing Inventory for Waltham maintained by DHCD and that the acreage of the entire parcel, which acreage will serve all of the affordable units, be counted in the numerator of the 1.5% calculation for the minimum land area safe harbor.
9. No less than sixty-six (66) of the sixty-eight (68) apartment units approved for the Development (97% of the total) shall be affordable and shall only be rented to seniors age 62 or older earning at or below 60% of the AMI in perpetuity. Said 66 Affordable Units shall be restricted by regulatory agreement as detailed herein and below in Section II.B. (12). In addition, two (2) units shall be occupied by 24-hour resident managers, however, if same are not so occupied they shall be rented to tenant households with incomes at or below 60% AMI.

The Petitioner is currently in the application and review process of the Massachusetts Department of Housing and Community Development's (DHCD) annual rental housing funding competition, which awards affordable housing developments allocations of Low-Income Housing Credits, federal funds, state affordable housing bond funds, and project-based rental housing vouchers (Section 8 and Massachusetts Rental Voucher Program (MRVP)) based on a competitive scoring criteria. The Petitioner's application to DHCD for said funding award proposed an affordability mix of 17 units (25% of total) at or below 30% AMI, 7 units at or below 50% AMI, and 42 units at or below 60% AMI to address the local need for senior affordable housing in Waltham. In order to finance over one third of the proposed development (24 units) at or below 30% and 50% AMI, Petitioner requested 24 Massachusetts Rental Voucher Program (MRVP) project-based vouchers. Upon such approval/funding award by such federal/state agency (anticipated date of June 2022), the Petitioner shall provide 17 units at or below 30% AMI, 7 at or below 50% AMI, and 42 at or below 60% AMI. Further, the Petitioner shall reapply for and take all reasonable measures to obtain such MRVPs prior to the expiration of each 15-year contract in order to maintain said affordability mix in perpetuity.

The Affordable Units shall be made available at an average annual rent (including utility allowances as defined by HUD for the Waltham Housing Authority) which does not exceed the household median incomes of the Boston-Cambridge-Quincy, MA-NH HUD Metro FMR Area as specified above (as defined by HUD on an annual basis). The

Petitioner shall use commercially reasonable efforts to ensure that the Affordable Units are at all times, fully occupied by tenants who indeed qualify for such Affordable Units and shall require such tenants occupy said units as their domiciles and principal residences.

10. The Affordable Units shall consist of sixty-four (64) one-bedroom units and two (2) two-bedroom units, which shall be evenly dispersed within the Development in substantial accordance with the Floor Plans, Sheets A1-10 and A1-11 of the above referenced Plans. The remaining two (2) one-bedroom units are reserved for on-site support staff (“Resident Manager units”) and if rented they shall be Affordable Units at or below 60% AMI.

The following table sets forth the required unit mix for the Affordable Units in perpetuity:

Unit Type	Total Units	Average Net Rental Square Footage (NRSF)	Unit Mix
1 Bedroom	64	645	94%
2 Bedroom	2	862	3%
Total Affordable Units	66	652	97%

Upon the award of the previously identified subsidies as set forth herein and above in Condition No. 9, the following table sets forth the required unit affordability mix:

Unit Type	At or below 30% AMI	At or below 50% AMI	At or below 60% AMI	Resident Manager units (or if rented: at or below 60% AMI)	Total
1 Bedroom	16	7	41	2	66
2 Bedroom	1		1		2
Total	17	7	42	2	68

The Petitioner has agreed to provide/has committed to provide and rent, in perpetuity, the aforementioned Affordable Units as conditioned herein (rather than all 80% AMI Units) and such is an operative fact upon which the Board has relied in making its decision to grant the Comprehensive Permit with Conditions.

11. During the initial lease-up period, Waltham residents who properly apply for an apartment and who meet all qualification requirements for acceptance shall receive a preference for up to 70% of the units at the Development, to the extent permitted under State and Federal Fair Housing Laws and as reviewed and approved by the Subsidizing Agency.
12. The Petitioner shall own the Development through a new, for-profit (taxable) single purpose entity in order to utilize the LIHTC program. Such entity’s managing member shall qualify as a non-profit corporation under the requirements of the Subsidizing Agency program. The new ownership entity shall enter into a regulatory agreement with the

Subsidizing Agency which is a recorded document that governs the terms of the affordability and specifies the requirements to which the Petitioner must conform, including the terms contained in Section II.B.7-13 and Section II.C.17 of this Comprehensive Permit with Conditions. Upon the Stamp of the Waltham City Clerk on the final Comprehensive Permit Decision, the Petitioner shall forward a copy of the stamped decision to DHCD so that 68 apartment units shall be added to the City's subsidized housing inventory.

13. The Petitioner shall, at its sole costs and expense, develop an affirmative marketing plan for the Affordable Units which conforms to any and all Fair Housing requirements or other requirements as imposed by federal or state regulation and the subsidizing agency. The Petitioner shall select tenants and maintain any waiting lists for the Affordable Units in a fair and impartial manner, based on objective criteria set forth in the marketing materials. If criminal record checks are performed as part of the screening process of potential tenants of Affordable Units, the Petitioner shall follow DHCD's Model Policy Regarding Petitioner Screening on the Basis of Criminal Records. The Petitioner shall charge no application and/or processing and/or "holding" fee to applicants for Affordable Units.
14. No Certificates of Occupancy shall issue until all of the Petitioner's obligations under Section II.B. have been satisfied.

C. *Parking, Transportation, Traffic Mitigation, and other Infrastructure Improvements*

15. The Petitioner shall implement a Traffic Demand Management (TDM) Plan, the goal of which is to reduce the use of single occupant vehicles, including: assistance in accessing the MBTA's "The Ride"; assistance with accessing public transit; assistance with accessing ride-hailing services; assistance with accessing delivery services for food, medicine, and retail items; and coordination with shuttle services offered by the Waltham Council on Aging.
16. Bicycle parking will also be provided on-site. The Development shall provide a minimum of 2 bike racks (parking for 4 bikes) on the site. Said amenities shall be only for the Development's tenants and their guests and staff.
17. The Development shall provide a total of fifty-one (51) onsite surface parking spaces consisting of 42 standard, 6 compact, and 3 ADA accessible spaces, which allows for a parking ratio of 0.75 spaces per unit (note: this is a reduction from 2 spaces per dwelling unit required by the Zoning Ordinance), all located as shown on the Zoning Plan, Sheet L-101. This reduction in parking spaces is only being granted because: (1) the required 66 Affordable Units shall be restricted in perpetuity at or under 60% AMI (and also pending approval of MRVPs by DHCD as indicated in Condition No. 9 above, affordability mix to provide 17 units restricted at or below 30% AMI, 7 units restricted at or below 50% AMI, and 42 units restricted at or below 60% AMI); (2) all units are age-restricted; and (3) the development's close proximity to public transportation and the Senior Center.

18. The Petitioner shall make all on-site surface parking spaces (51 spaces) available, free of charge, to tenants in the development. The marketing materials and the leases for the Affordable Units shall specifically include this condition.
19. The Development shall have trees and plantings as indicated on the Planting Plan, Sheet L-501, in order to provide a green buffer between the Development and abutting properties.
20. Upon completion of the Development and on an ongoing basis, the Petitioner shall trim and if necessary remove trees and vegetation along the Development site frontage that inhibit lines of sight from the vehicle access points of the Development.
21. Non-emergency vehicles shall be prohibited from using the southerly drive on Newton Street that leads to the 20-foot way between the hours of 9:00 PM and 7:00 AM and there shall be signage posted that states this prohibition at the access/curb cut of said drive.
22. Signage shall be constructed in accordance with Waiver V above and its measurements shall not be greater than:
 - a. Petitioner logo and name proximate to the front lobby entrance no larger than 2' x 4';
 - b. "Leland House" sign no larger than 4' x 10' above the front lobby entrance;
 - c. A ground / directional sign proximate to the Heard Street entrance no larger than 4' x 5'; and
 - d. A ground / directional sign proximate to the access lane at the southerly end of the site along Newton Street no larger than 2' x 2'.
 - e. A ground / directional sign proximate to the 20-foot access way/southerly drive on Newton Street no larger than 2' x 2' that provides the required warning detailed in Condition 21.

D. Stormwater, Sewer, Water, and Utilities

23. The Petitioner shall comply with the City Ordinance 16-32 Infiltration and Inflow Mitigation Fee, as revised through ordinance number 33242 dated June 1, 2015. Upon connection to the sewer system, the Petitioner shall pay the required Infiltration and Inflow Mitigation Fee, which is calculated to be \$23,400.00. No certificate of occupancy shall be issued until said payment is made.
24. The Petitioner shall comply with the City of Waltham Engineering Department's plan and utility requirements and design standards and details.
25. The Development's municipal sewer, water, and drain connections shall be in accordance with the City of Waltham Engineering Department requirements. Also, the Development shall comply with the following three storm water management city rules: 1) all drainage shall be retained on site for a 100-year storm with no connection to city system; 2) flows are not to be discharged directly into existing municipal systems; and 3) any building,

- impervious areas, etc. to be removed/demolished shall not be considered for credit on drainage.
26. The Petitioner shall submit a Stormwater Pollution Prevention Plan (SWPPP) to the City Engineer prior to the start of construction.
 27. The Petitioner shall conform to MassDEP standards, the City Engineering Department's requirements, and all applicable requirements pertaining to stormwater and drainage systems enumerated by the State Building Code, in installing the Development's stormwater system.
 28. All catch basins required to be installed by the Petitioner shall be precast reinforced concrete and equipped with a hood/snout and a 4-foot sump. Petitioner shall provide sumps for all catch basins at a minimum of four feet.
 29. Petitioner shall not install doghouse manholes.
 30. The Petitioner shall connect to the City water main on Newton Street as shown on the Utility Plan, Sheet C-401, with two separate 4-inch (at a minimum) water pipes, one for domestic water service and the other for fire protection.
 31. All water and sewer connections shall be pressure tested by Petitioner and test results shall be provided to the City Engineer prior to approval for use.
 32. Prior to demolition, Petitioner shall cut and cap all existing utilities/services at the main.
 33. Petitioner shall construct all utility lines underground.
 34. Petitioner shall be responsible for coordinating new utility services for the Development with all utility companies prior to the issuance of any certificates of occupancy.
 35. Petitioner shall provide as-built plans to the City for all water, sewer, stormwater, drainage systems, and utilities on-site and for any connections to the City's systems prior to the issuance of any certificates of occupancy.

E. Fire Safety Conditions

36. Should any blasting be required on the Property, the Petitioner shall comply with published City and Fire Department protocols on hours of blasting and protective procedures for structures within affected radius restricted areas. The Development shall comply with blasting regulations pursuant to 527 CMR 1.00, which identify requirements for a blast analysis, blast design plan, pre-blast inspection surveys, allowable limits of effects of blasting, and blasting regulatory review.
37. Nothing in this Comprehensive Permit shall diminish the authority of the Fire Chief to determine compliance with NFPA Fire Code, as amended by 527 CMR 1, or diminish any of his powers thereunder, or as otherwise granted to him under Massachusetts law. Also, should any fire requirement of this Comprehensive Permit conflict with any other

applicable (and governing) NFPA Fire Code regulation, the requirement which establishes the higher standard for the promotion and protection of safety and welfare shall apply.

38. The Petitioner shall provide the Fire Department with a SWEPT path analysis/Fire Truck Turning Plan by a professional engineer licensed in MA (PE) (527 CMR 1, sec. 18.2.3.4.8) and such swept path analysis shall show that the City's largest fire apparatus can safely enter the site and exit the site from Newton Street and Heard Street. Prior to issuance of any certificates of occupancy for the Project, the Petitioner shall provide a letter signed and stamped by a licensed P.E. certifying that the requirements of Chapter 18 of NFPA, as amended by MA, and by 527 CMR 1, § 18.2.3.4.8, and this Comprehensive Permit (related to fire access ways) have been met.
39. The Petitioner has agreed to enlarge the curb-cut to 30 feet for the Heard Street access to the site. The rear driveway/parking travel lane shall be enlarged to 24 feet wide. The 3 curb-cuts from Newton Street to the site shall all be enlarged to 24 feet as shown on Sheet L-701 of the Plans. The driveway nearest the front door of the building (on Newton Street) shall be enlarged to 24 feet wide as shown on Sheet L-701 of the Plans. The access way/driveway which enters from Newton Street on the left side of the building and connects to the rear parking lot shall have a 24-foot wide opening at Newton Street and shall maintain a minimum of 20-foot clear width and said access shall remain even and flush throughout its entire length, shall have no curbing, and shall be able to support the maximum load of the City's fire apparatus. There shall be no obstructions on or adjacent to said 20-foot way, including but not limited to landscaping, lights, snow collection, trash collection, benches, etc.... The Petitioner's commitment to comply with this condition as described herein is an operative fact upon which the Board has relied in making its decision to grant the Comprehensive Permit with Conditions.
40. The water supply to the site shall have a dedicated water line for fire protection systems as illustrated on the Utility Plan, Sheet C-401. This shall be a separate line from the domestic water supply to the proposed site as illustrated on said plan. Additionally, if as determined by the Inspector of Buildings and the Fire Chief, the required water supply to protect the building (as determined by applicable building and fire codes) cannot be met, the Petitioner shall be required to supply additional water to comply with the building and fire codes.
41. The Petitioner shall provide two (2) new fire hydrants as part of the fire safety plan for the project as shown on Sheet L-701 of the Plans. One is to be located on Newton Street to the Northerly side of the project (Main Street side-A/D corner) and the other hydrant shall be installed on Heard Street and located just North (Main Street side) of the proposed curb cut. Such hydrants shall be capable of delivering the required water flow and water pressure. Any change in number of hydrants required or their locations shall be determined and approved by the Waltham Fire Department as part of the building permit plan review.
42. The Petitioner, at the Petitioner's sole cost, shall ensure that water pressure and flow at the Development shall be sufficient to support the sprinkler systems to be installed in the Development. Said system shall be designed and installed in compliance with all applicable requirements of the MA State Building Code and applicable Fire Protection Codes and approved by the Waltham Fire Department.

43. The Petitioner shall provide two (2) Fire Department connections, one at the front of the building and a second near the rear of the building in coordination with the Waltham Fire Department. Said fire connections shall be identified on the Building Permit Plans and submitted to, and approved by, the Fire Chief or his designee.
44. The Petitioner shall install a fully addressable fire alarm control panel and BDA (Bi-Directional Amplifier) system in accordance with 780 CMR and to be coordinated with the Waltham Fire Department.
45. Solar arrays on the roof of the building as shown on the Floor Plans, Sheet A1-11, shall be installed in accordance with the International Fire Code Section 605.11. The Petitioner shall submit plans to the Waltham Fire Prevention Bureau demonstrating compliance with said code. No final certificates of occupancy may issue until the Petitioner's plans have been approved.
46. At the request of the Waltham Fire Department, the Petitioner's building permit application plan set may be reviewed by a third-party consultant to confirm conformance to the State Building and Fire Protection Codes (780 CMR 901). Such review shall be at the Petitioner's sole cost and expense (which shall be reasonable and in accordance with industry standards but the consultant shall be hired by the City and Petitioner shall only be responsible for reimbursement of costs up to \$15,000). Nothing contained herein shall have the effect of waiving the Building Inspector's authority to enforce 780 CMR, including 780 CMR 105.9 and 780 CMR 107.6.4 and the requirement therein that all fees and costs related to the performance of project representation shall be borne by the owner.
47. Prior to the start of construction, the Petitioner shall submit to the Waltham Fire Department, for approval by the Fire Chief or his designee, a detailed and comprehensive NFPA 241 plan. Said plan shall include any reasonable measures and/or precautions which the Fire Chief or his designee may require. Upon approval of the plan, the Fire Chief or his designee shall notify the Board and the Inspector of Buildings of said approval. Petitioner shall provide the fire prevention measures included therein for as long as the Fire Chief or his designee may deem necessary. If needed, the plan may be amended by written request of the Petitioner and upon written approval by the Fire Chief or his designee, who shall notify the Board and Inspector of Buildings of such amendments.
48. The Petitioner shall implement the required fire safety measures set forth herein during construction of the Development. Petitioner shall perform regular inspections to ensure compliance of its construction contractors and make regular reports to the Waltham Fire Department. Additionally, the Petitioner shall implement the following measures during construction:
 - a. Construction Manager shall work with the Waltham Fire Department for pre-fire planning and coordinate regular site visits during construction including review on construction signage.
 - b. Access for firefighting operations shall be maintained at all times during construction and a designated command post identified for onsite construction personnel to meet responding fire department personnel.

- c. Site access road shall be maintained for fire department use during construction.
- d. The Site shall contain operational fire hydrants maintained and accessible for fire department use at all times. Two (2) new fire hydrants may be installed in different locations from existing locations. New fire hydrant locations and standpipe hose connection locations are subject to final approval from fire department.
- e. Fire extinguishers shall be provided for use by construction personnel.
- f. Class I manual dry pipe standpipe system shall be provided during construction. The Fire Department connection will supply the system. Fire department use hose valves located at each floor of each required egress stair at the stairs are completed and open for use.
- g. Sprinkler Protection in the form of a temporary pre-action system, shall be provided during construction and shall include the following components:
 - (i.) Temporary heat detection (via wireless or wired heat detectors) shall be provided in all exit access corridors on each floor during construction. The final permanent sprinkler system shall be installed as the first MEP/FP trade on each floor once framing is complete and the floor is safe for construction activities.
 - (ii.) The sprinkler system shall be connected to the combination standpipe sprinkler riser in the stair including the installation of the floor control valve assembly (control valve, check valve, inspector's test, drain and flow switch).
 - (iii.) Adequate air supply shall be provided to supervise the sprinkler system piping on each floor. Compressor shall be located in the sprinkler room.
 - (iv.) A low air supervisory alarm shall be provided to supervise the integrity of the sprinkler system.
 - (v.) The sprinkler system control valve (tamper switches) and low air alarms shall be monitored by a temporary fire alarm system that will report to the owner designated UL Listed Central Station. The monitoring company shall contact the Waltham Fire Department in the event of a fire.
 - (vi.) There shall be one double interlocked pre-action valve located in the water/sprinkler room or a mutually agreed upon comparable system approved by the AHJ. Heat detectors will be installed as a secondary source to release the pre-action valve.
 - (vii.) The water/sprinkler room shall be clearly marked/labelled on the outside and shall contain the air compressor and a plan set and a Knox box/Knox lock for access.
 - (viii.) There shall be a double interlock pre-action sprinkler system installed as the FIRST MEP/FP Trade on each floor during construction. The sprinkler system will be connected to a combination of standpipe sprinkler riser in the stairwells, including the installation of the floor control valve assembly (Control Valves, Check Valves, Inspector's Test, and Drain & Flow Switch).
 - (ix.) The required double interlocked temporary fire suppression system identified herein shall have the following Sequence of Operations: Once heat from a

fire activates both a heat detector in the corridor **and** a sprinkler head, an alarm condition shall be annunciated on the temporary fire alarm control panel, the signal shall be sent to a master box and/or a central station fire alarm monitoring company, WFD E911 fire dispatch shall be notified, and the temporary fire alarm control panel shall release the pre-action valve to activate the sprinkler system.

- (x.) The temporary sprinkler system remains in service until manually shut down and converted to a wet system as designed. The piping installed for the construction sprinkler system may be designed to stay in place, and only appropriate valves changes required to convert to a fully wet sprinkler system.
 - (xi.) The final automatic sprinkler systems shall be placed in service as soon as construction activity allows.
 - (xii.) If temporary or permanent fire protection systems are impaired during construction, the construction manager shall notify the Waltham Fire Department and the Petitioner shall employ diligent efforts to have the systems back in service as soon as possible.
 - (xiii.) The arrangement of the temporary fire protection systems during construction shall be detailed on plans submitted in connection with the building permit application and subject to the review and approval of the Waltham Fire Department and Building Department.
- h. Construction-period fire safety for stairs throughout the Development shall be addressed in the following manner:
- (i.) Each stair shall be labeled with its designated stair and level.
 - (ii.) Each level shall have an egress map in the event there is an emergency.
 - (iii.) Where temporary lighting is installed, there shall be a red-light bulb to designate the means of egress at each stair opening.
 - (iv.) If work in the stair prevents its use, the building occupants shall be notified, and egress plans shall designate temporary egress routes. The construction manager shall maintain two egresses at all times.
 - (v.) Proper exit signage shall be provided.
- i. If the project at any time requires evacuation, the fire prevention manager shall sound an evacuation horn located at the project trailer. Each employee shall be then asked to check in at the pre-determined muster point. This muster point shall be identified on the site logistics. This training shall be part of the employee site orientation. Evacuation drills shall be conducted and documented on a quarterly basis.
49. Evacuation routes for emergency events and fire events shall be provided by the Petitioner to the tenants as an exhibit to their Lease and each year when the tenant renews its lease.
50. The Petitioner, at the Petitioner's sole cost shall ensure that water pressure and flow at the Development will be sufficient to support the sprinkler systems to be installed in the Development. Said system shall be approved by the Waltham Fire Department.

51. The Petitioner shall install a fully addressable control panel and BDA (Bi-Directional Amplifier) system as required by and to be coordinated with the Waltham Fire Department.

F. Additional Site and Safety Conditions

52. Petitioner shall be responsible for correcting any violation of any environmental law in connection with its construction of the Project on the Property. To the extent required by law, the Petitioner shall notify the City of any violations.
53. Snow shall be stored in the snow storage locations shown on the Zoning Plan, Sheet L-101 and removed from the site and disposed of per State Regulations. If said snow storage locations are at capacity, snow shall be removed from the site within 8 hours of a snowfall event and otherwise disposed of per State Regulations. Removal of snow from the Development shall be the exclusive responsibility of the Petitioner in perpetuity and at the Petitioner's sole cost.
54. Waste shall be collected in the trash room locations shown on the Floor Plans, Sheets A1.10 and A1.11. Petitioner shall contract with a professional waste hauler to remove trash and recycling from the Development and all trash and recycling operations shall be the exclusive responsibility of the Petitioner in perpetuity and at the Petitioner's sole cost. Trash shall be removed from the site at least once a week.
55. Wall and ground mounted light fixtures incorporated into the Development shall be designed as "down-lights" to reduce the amount of light spilling onto the abutting properties. A lighting plan shall be submitted to the Building Inspector prior to building permit issuance illustrating zero light spill onto abutting properties.
56. Prior to issuance of a demolition permit, the Petitioner shall remove any existing underground storage tanks (USTs) located on the Property. All required Waltham department approval for such removal, to the extent necessary, shall not be unreasonably withheld or delayed.
57. The Petitioner shall construct a crosswalk and accompanying wheel chair ramps, as shown on the Zoning Plan, Sheet L-101, and the Layout and Materials Plan, Sheet L-201, to comply with the Proposed Guidelines for Pedestrian Facilities in the Public Right-of-Way (36 CFR Part 1190), the State Building Code, and federal and state law standards (shall construct new concrete sidewalks in accordance with City of Waltham standards for the length of the Locus's Newton Street frontage). The Petitioner shall adhere to the requirements of § 17-25 of the City's General Ordinances, including without limitation resurfacing any excavation made in connection with the construction work set forth in this Condition, and provided that the Applicant's contractors execute the City of Waltham's Street Opening Permit Application. The work contained in this Condition shall be completed by the Petitioner prior to the issuance of any certificates of occupancy.
58. Prior to the start of construction, the Petitioner shall submit to the Waltham Police Department, for review by the Chief or his designee, a detailed and comprehensive security plan. Petitioner shall provide the security measures included in the approved plan for the duration of constructions. If needed, the plan may be amended by request of the Petitioner

upon approval by the Police Chief or his designee. Petitioner is responsible to provide the Building Inspector with a copy of the approved security plan.

59. Prior to the start of construction, the Petitioner shall engage the services of a qualified professional engineer and/or registered architect to provide certification at the completion of work that the Development has been built in accordance with the Plans in all material respects and prior to the start of construction shall inform the Board of the name, business address, and telephone number of the engineer and/or architect retained. The engineer and/or architect shall perform site inspections at his/her own discretion through the construction process to enable accurate final certification to the Board of compliance with this decision upon completion of the Development. No issuance of any certificate of occupancy shall occur until this condition is satisfied.
60. Prior to the start of construction, the Petitioner shall erect construction fencing along any unfenced portions of the property line.
61. Prior to the start of construction, including any demolition or site work, the Petitioner's contractor shall develop an Integrated Pest Management Plan and contract with a licensed or certified applicator(s) to implement such plan. Any rodenticides shall be placed in tamper resistant bait stations.
62. During the period of construction and leasing, notwithstanding any pre-conditions for the issuance of a certificate of occupancy otherwise set forth herein, the Petitioner shall be entitled to designate, construct and operate up to two (2) of the units as decorated, model units.
63. During construction, the Petitioner shall be permitted to locate up to three construction trailers on the Property. All construction trailers shall be located within the fenced construction area of the Development. Placement, operation and maintenance of the construction trailers shall not adversely impact parking, safety, or the surrounding neighborhood. Other conditions of this decision required to be satisfied prior to the issuance of a building permit or certificate of occupancy shall not apply to building permits or certificates of occupancy acquired for the construction trailers except as set forth in the required fire safety, security, and Integrated Pest Management plans.
64. Portable bathroom facilities, trash containers and portable generators shall be located within the fenced construction area for the Development.
65. During the period of construction, no construction vehicles or construction worker vehicles shall be permitted to idle for more than 5 minutes, in accordance with MGL Chapter 90, Section 16A and 310 CMR 7.11.
66. Prior to the issuance of a Building Permit, the Petitioner shall file an Approval Not Required (ANR) Plan with the Board of Survey and Planning removing all interior lot lines, uniting all of the lots on the locus into one parcel. After endorsement by the Board of Survey and Planning the ANR Plan shall be recorded by the Petitioner in Middlesex South District Registry of Deeds and shall provide the recording information and a copy of the Plan to the Board of Survey and Planning, the Zoning Board of Appeals, the City Engineer,

and the Building Inspector prior to the issuance of any Building Permits hereunder.

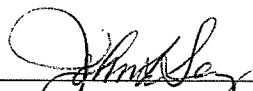
67. The Petitioner shall provide as-built plans to the City for all construction and infrastructure work constructed by the Petitioner for the Development. While Temporary Certificate(s) of Occupancy may issue, no final certificates of occupancy shall issue until said condition is satisfied.
68. If, in reviewing the Petitioner's building permit application(s), the Inspector of Buildings determines that the Application indicates that the Development will be in violation of the Zoning Ordinance because the Petitioner did not seek and/or obtain a necessary waiver, or varies materially from the Plans or this Decision, the Inspector of Buildings shall notify Petitioner of same. The Petitioner may submit a request to the Board for a determination under 760 CMR 56.05(11).
69. The existing structure on site (The Leland Home) is listed as a historical structure by the Massachusetts Historical Commission (Horace Cate House, MHC ID No. WLT.140). Accordingly, the Petitioner shall comply with all applicable state and federal laws related to historic structures and historic sites, including but not limited to the requirement that the Petitioner seek and obtain a Memorandum of Agreement with the Waltham Historic Commission, the Massachusetts Historical Commission, and any other necessary parties, in accordance with Section 106 of the National Historic Preservation Act and shall satisfy any other applicable State and Federal historic requirements.

Based on the foregoing, the Board grants the Comprehensive Permit with Conditions for the Development, subject to all the terms and conditions contained in this Decision and as shown on the Plans.

Dated: March 15, 2022

WALTHAM ZONING BOARD OF APPEALS

By: _____


Acting Chair.
Mark Lee
Clerk

LELAND HOUSE COMP. PERMIT (M.G.L.c 40B)

REVISION II 02/14/2022 (ORIGINAL SUBMISSION 12/20/2021, REVISION I 02/09/2022)

21 NEWTON STREET, WALTHAM, MA 02453



SHEET LIST

- ALTA/NSPS LAND TITLE SURVEY
- PLOT PLAN
- PLAN OF LAND
- PARCEL ABUTTERS MAP
- L-101 ZONING PLAN
- L-201 LAYOUT AND MATERIALS PLAN
- L-301 GRADING PLAN
- C-401 UTILITIES PLAN
- C-402 UTILITY PROFILES
- L-501 PLANTING PLAN
- L-601 SITE DETAILS
- L-602 SITE DETAILS
- C-603 UTILITY DETAILS
- C-604 UTILITY DETAILS
- L-701 FIRE DEPARTMENT EXHIBIT
- A1-01 AERIAL PHOTOS
- A1-10 GROUND & LEVEL 2 FLOOR PLANS
- A1-11 LEVEL 3 & ROOF FLOOR PLANS
- A2-10 BUILDING ELEVATIONS

ARCHITECT:
PCA, INC.
221 Hampshire Street
Cambridge, MA 02139
617-547-8120
Laura Homich
lhomich@pcadesign.com

PETITIONER/DEVELOPER:
2Life Development Inc.
30 Wallingford Road
Brighton, MA 02135
617-912-8400
Zoe Weinrobe
zweinrobe@2lifecommunities.org

OWNER:
The Leland Home
21 Newton Street
Waltham, MA 02453
Christopher Sintros
978-402-8201

CIVIL/LANDSCAPE ENGINEER:
Stantec Consulting
226 Causeway Street, 6th floor
Boston, MA 02114
Dylan Stevens
617-654-6063
Dylan.Stevens@stantec.com

TRAFFIC CONSULTANT:
Stantec Consulting
226 Causeway Street, 6th floor
Boston, MA 02114
Rick Bryant
413-387-4502
Rick.Bryant@stantec.com

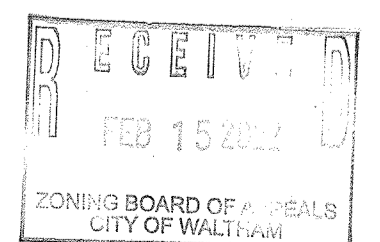
LEGAL COUNSEL - PERMITTING:
Connors & Connors LLP
689 Main Street
Waltham, MA 02451
Michael R. Connors
781-894-6000
mconnors@connorslaws.com

LEGAL COUNSEL - REAL ESTATE:
Klein Homig LLP
101 Arch Street Suite 1101
Boston, MA 02110
Teresa M. Santalucia
617-224-0621
tsantalucia@kleinhomig.com

GEOTECH AND
GEORENVIROMENTAL ENGINEER
McPhail Associates, LLC
2269 Massachusetts Ave
Cambridge, MA 02140
Kevin D. Jordan
617-868-1420
kjordan@mcphailgeo.com

SURVEY:
Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, MA 01772
Mike Pustizzi
508-460-1789
mikp@pls-inc.net

CASE NO.: 2021-43
ZONING BOARD OF APPEALS
APPROVED PLAN
DATE: 3/8/2022
BY: Mark Hickernell pd



LELAND HOUSE COMP. PERMIT (M.G.L.c 40B)
21 NEWTON STREET, WALTHAM, MA 02453
PCA PROJECT #:21008.00

EXHIBIT A OF Fidelity National Title Insurance Company's Commitment, MMOG File No. 21-56754, Effective date October 8, 2021 (Legal Description)

Parcel One
A certain parcel of land with improvements thereon situate in Waltham and bounded and described as follows, to wit:

Beginning at the northeasterly corner of the granted premises at a point in the westerly line of Newton Street at land of H. Adelaide Hovey, thence running southerly along the westerly line of Newton Street one hundred and seventy and five tenths (170 5/10) feet to land formerly of Martha M. Walcott; thence turning and running westerly bounding southerly on said land formerly of Martha M. Walcott and on land of Clara L. Hodgdon and land of Lawrence Ward two hundred and seventy three and sixty-nine hundredths (273 69/100) feet to Heard Street, formerly called Church Avenue, thence running northerly along the easterly line of said Heard Street one hundred and one (101) feet to land of the City of Waltham used now for school purposes, thence turning and running easterly bounding northerly on said land of the City of Waltham eighty-eight and thirty one hundredths (88 30/100) feet to a corner, thence turning and running northerly and bounding westerly on said land of said City sixty-four and seventy five one hundredths (64 75/100) feet to a corner and land of Annie M. and Catherine Healey thence turning and running easterly bounding northerly by land of said Healeys, land of George A. Stearns and land of H. Adelaide Hovey one hundred seventy nine and 341/100 (179 34/100) feet to the point of beginning, be the said distances more or less.

Parcel Two
The land in Waltham with the buildings thereon bounded and described as follows:

Beginning at the southeasterly corner of the granted premises at a point in the westerly line of Newton Street distant one hundred forty-two and 391/100 (142.39) feet northerly from the intersection of said westerly line of Newton Street with the northerly line of Central Street; thence running south 79° 46' 20" west seventy-five and 3/100 (75.03) feet;

Thence north 55° 13' 40" west seven and 7/100 (7.07) feet;
Thence south 79° 46' 20" west, sixty-nine and 91/100 (69.91) feet to land of the Roman Catholic Archbishop of Boston;
Thence north 10° 57' 30" west bounding westerly on said land of the Roman Catholic Archbishop of Boston forty-five (45) feet to land of the Leland Home for Aged Women;
Thence north 79° 46' 20" east, bounded northerly by said land of the Leland Home, one hundred forty-nine and 90/100 (149.90) feet to said westerly line of Newton Street;
Thence south 10° 55' 40" east along said westerly line of Newton Street fifty (50) feet to the point of beginning.

Containing 7131.8 square feet.

Together with a right of way over a strip of land adjoining the above-described parcel on a part of the southerly boundary to be forever kept open for the use in common of the parties described in the said deed of Mary O'Riley and described as follows to wit: beginning at a point on said westerly line of Newton Street distant one hundred thirty and 391/100 (130.39) feet northerly from the intersection of said westerly line of Newton Street with the northerly line of Central Street; thence running south 79° 46' 20" west, eighty and 15/100 (80.15) feet; thence north 55° 13' 40" west twenty-four and 4/100 (24.04) feet to a point of intersection with the southerly boundary of the first described parcel; thence easterly along said southerly boundary to Newton Street; thence southerly along the westerly line of Newton Street twelve feet to the point of beginning.

Parcel Three
The land in said Waltham with the buildings thereon bounded and described as follows:

Easterly by Newton Street, seventy-two and 61/100 (72.6) feet;
Northerly by land of the grantee, seventy-five and 7/100 (75.03) feet;
Northeasterly by the same, seven and 7/100 (7.07) feet;
Northerly again by the same, sixty-nine and 91/100 (69.91) feet;
Westerly by land now or formerly of the Roman Catholic Archbishop of Boston, seventy-six and 61/100 (76.6) feet, and
Southerly by land now or late of Crosby and land of the grantee, one hundred forty-seven and 4/100 (147.4) feet.

Schedule B - Section 2 of Fidelity National Title Insurance Company's Commitment, MMOG File No. 21-56754, Effective date October 8, 2021

[B] Intentionally deleted.

AS-SURVEYED BOUNDARY DESCRIPTION

A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Waltham, situated on the westerly side of Newton Street and the easterly side of Heard Street, more particularly bounded and described as follows:

Beginning at a point on the westerly side of Newton Street, said point being the most northeasterly corner of the parcel; thence running

- S 11°02'36" E 291.10' by the westerly side of Newton Street to a point; thence turning and running
- S 79°39'29" W 150.58' to a point; thence turning and running
- N 12°09'07" W 121.75' to a point; thence turning and running
- S 80°52'53" W 81.82' to a point; thence turning and running
- N 11°56'27" W 8.19' to a point; thence turning and running
- S 77°57'44" W 86.19' to a point; thence turning and running
- N 09°29'46" W 92.58' by the easterly side of Heard Street to a point; thence turning and running
- N 79°57'24" E 89.20' to a point; thence turning and running
- N 09°03'36" W 67.80' to a point; thence turning and running
- N 79°02'04" E 132.00' to a point; thence turning and running
- N 79°14'44" E 94.97' to the POINT OF BEGINNING.

Containing 65,221 square feet or 1.497 acres, more or less.

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

STREET

ONE WAY

1 STORY BRICK REPAIR #19

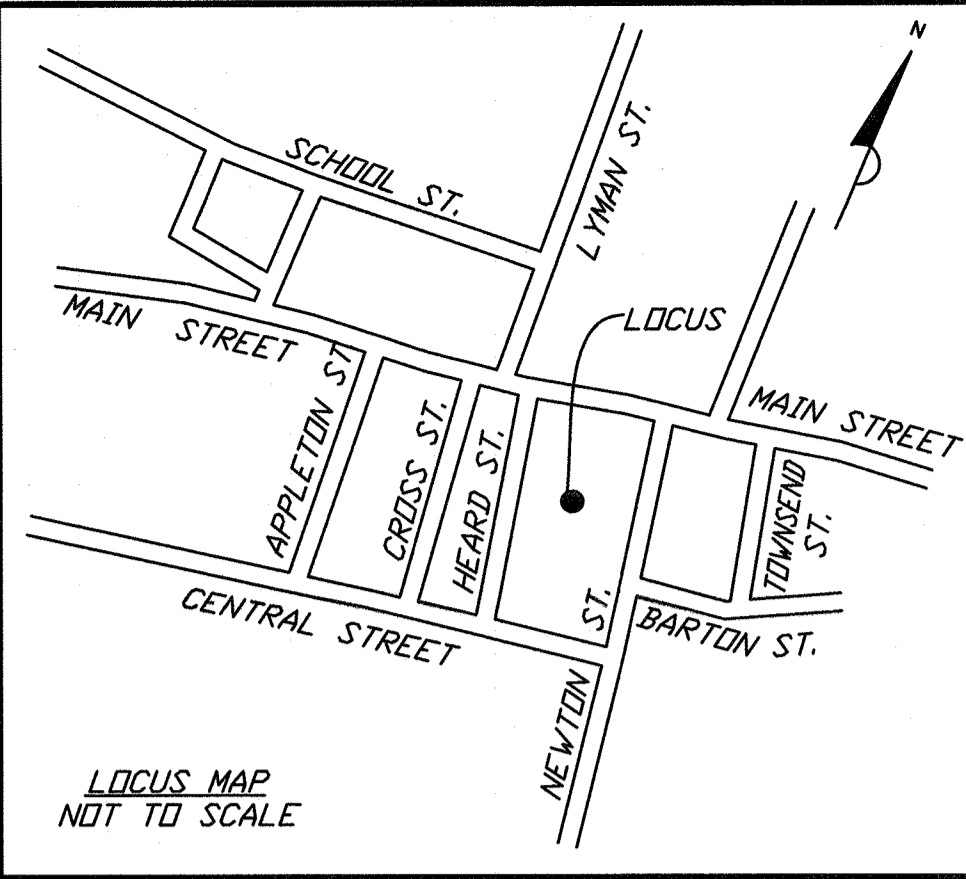
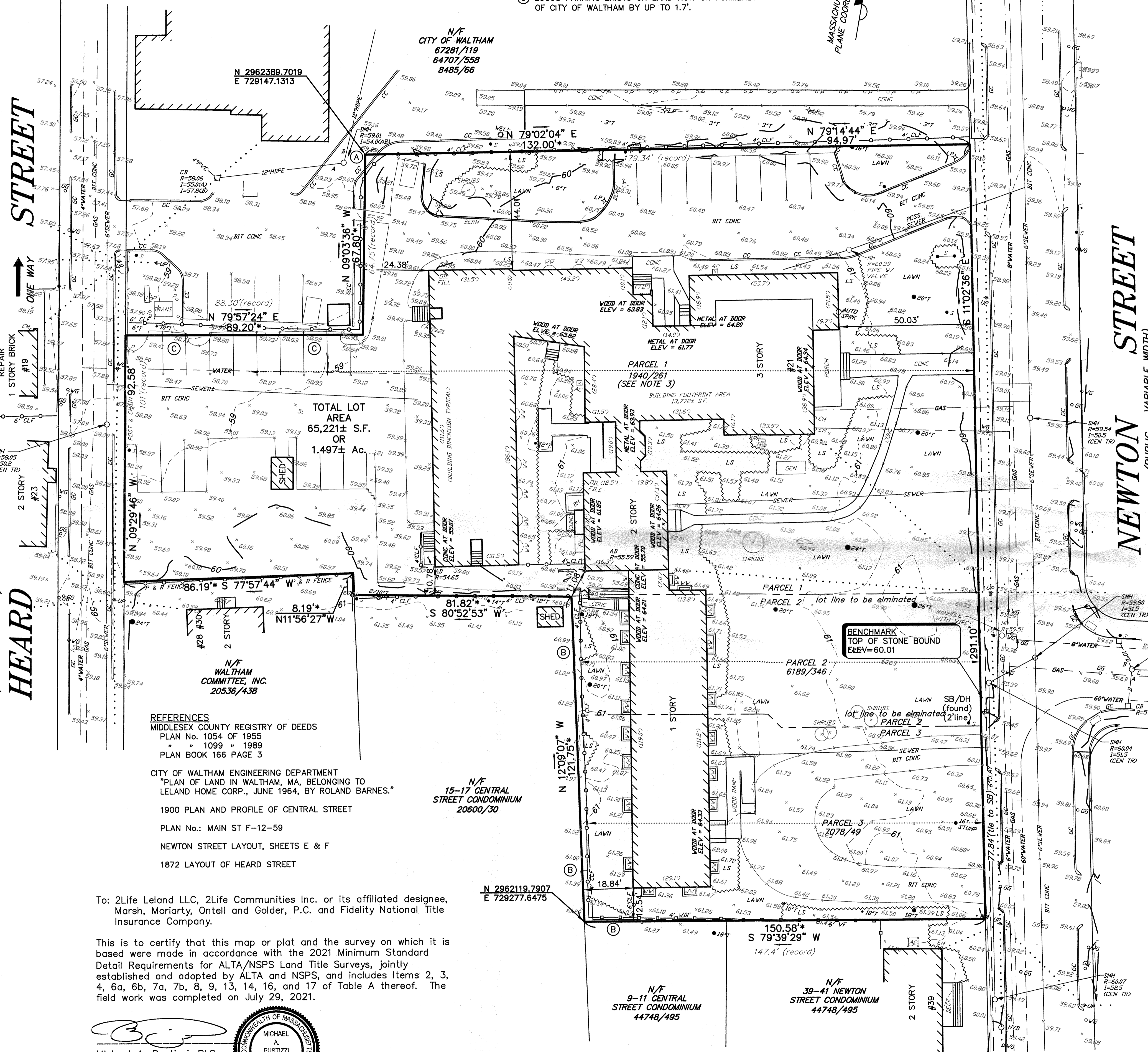
2 STORY #23

HEARD STREET (PUBLIC - 25' WIDE)

NEWTON STREET (PUBLIC - VARIABLE WIDTH)

FLOOD NOTE
THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25017C0413E, EFFECTIVE DATE JUNE 4, 2010.

- LIST OF OBSERVATIONS**
- (A) DRIVEWAY AND FENCING EXISTS ON LOCUS UP TO 5'.
 - (B) FENCING EXISTS ON LOCUS UP TO 3'.
 - (C) LOCUS PARKING EXISTS ON LAND NOW OR FORMERLY OF CITY OF WALTHAM BY UP TO 1.7'.



- NOTES**
- 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
 - 2) HORIZONTAL COORDINATES REFER TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD 83, AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
 - 3) THE DESCRIPTION FOR PARCEL ONE DOES NOT APPEAR TO CONTAIN DISTANCES LONG ENOUGH TO SPAN FROM THE CURRENTLY SURVEYED LOCATION OF NEWTON STREET TO HEARD STREET. NEWTON OR HEARD STREET MAY HAVE BEEN LOCATED DIFFERENTLY IN THE LATE 1800'S WHEN THE DEED WAS ORIGINALLY WRITTEN.
 - * 4) SEE PLAN ON FILE WITH THE CITY OF WALTHAM ENGINEERING DEPARTMENT SHOWING ALL LAND OWNED BY LELAND HOME CORP., BY ROWLAND H. BARNES, JUNE 1964. SAID PLAN SHOWS ALL LAND FROM THE NORTHERLY ABUTTER, CITY OF WALTHAM, TO CENTRAL STREET. LAND TO THE SOUTH WAS THEN DEEDED OUT TO THE SOUTHERLY ABUTTERS UTILIZING PLAN No. 1099 OF 1989 FILED WITH THE MIDDLESEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS. SEE ALSO THE FOLLOWING DEED BOOK AND PAGES: 6030/142, 6298/153, 9962/351, 10182/67.
 - 5) OWNER: THE LELAND HOME
DEED BOOK 1940 PAGE 261
DEED BOOK 6189 PAGE 346
DEED BOOK 7078 PAGE 49
ASSESSOR'S PARCEL ID No. R061 013 0003

LEGEND

AC	AIR CONDITIONER
AD	AREA DRAIN
BM	BITUMINOUS CONCRETE
BH	BULK HEAD
BIT CONC	BITUMINOUS CONCRETE
CB	CATCHBASIN
CC	CONCRETE CURB
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DMH	DRAIN MANHOLE
FA	FIRE ALARM
GC	GRANITE CURB
GG	GAS GATE
GW	GUY WIRE
LP	LIGHT POLE
LS	LANDSCAPED
MH	MANHOLE
P&R	POST & RAIL
PL	PLANTER
S	SIGN
SMH	SEWER MANHOLE
TB	8" TREE
TCB	TRAFFIC CONTROL BOX
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
UP	UTILITY POLE
WDF	WOOD FENCE
WG	WATER GATE
WW	WINDOW WELL
-----	OVERHEAD WIRE
~~~~~	LANDSCAPE/LAWN LINE

**REFERENCES**  
MIDDLESEX COUNTY REGISTRY OF DEEDS  
PLAN No. 1054 OF 1955  
1099 * 1989  
PLAN BOOK 166 PAGE 3

CITY OF WALTHAM ENGINEERING DEPARTMENT  
"PLAN OF LAND IN WALTHAM, MA, BELONGING TO LELAND HOME CORP., JUNE 1964, BY ROLAND BARNES."  
1900 PLAN AND PROFILE OF CENTRAL STREET  
PLAN No.: MAIN ST F-12-59  
NEWTON STREET LAYOUT, SHEETS E & F  
1872 LAYOUT OF HEARD STREET

To: 2Life Leland LLC, 2Life Communities Inc. or its affiliated designee, Marsh, Moriarty, Ontell and Golder, P.C. and Fidelity National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6a, 6b, 7a, 7b, 8, 9, 13, 14, 16, and 17 of Table A thereof. The field work was completed on July 29, 2021.

Michael A. Pustizzi, PLS  
mike@pls-inc.net  
Registration No. 46505  
Date of Survey: July 29, 2021  
Date of Last Revision: February 8, 2022



**#21 NEWTON STREET**  
**ALTA/NSPS LAND TITLE SURVEY**  
IN  
**WALTHAM, MA**  
(MIDDLESEX COUNTY)  
SCALE: 1"= 20' DATE: JULY 29, 2021  
REVISED: FEBRUARY 8, 2022

Precision Land Surveying, Inc.  
32 Turnpike Road  
Southborough, Massachusetts 01772  
TEL NO.: (508) 460-1789 FAX NO.: (508) 970-0096  
4935TP1.DWG




**REFERENCES**  
 MIDDLESEX COUNTY REGISTRY OF DEEDS  
 PLAN No. 1054 OF 1955  
 " " 1099 " 1989  
 PLAN BOOK 166 PAGE 3  
 CITY OF WALTHAM ENGINEERING DEPARTMENT  
 "PLAN OF LAND IN WALTHAM, MA, BELONGING TO  
 LELAND HOME CORP., JUNE 1964, BY ROLAND BARNES."  
 1900 PLAN AND PROFILE OF CENTRAL STREET  
 PLAN No.: MAIN ST F-12-59  
 NEWTON STREET LAYOUT, SHEETS E & F  
 1872 LAYOUT OF HEARD STREET

**AS-SURVEYED BOUNDARY DESCRIPTION**  
 A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Waltham, situated on the westerly sideline of Newton Street and the easterly sideline of Heard Street, more particularly bounded and described as follows:

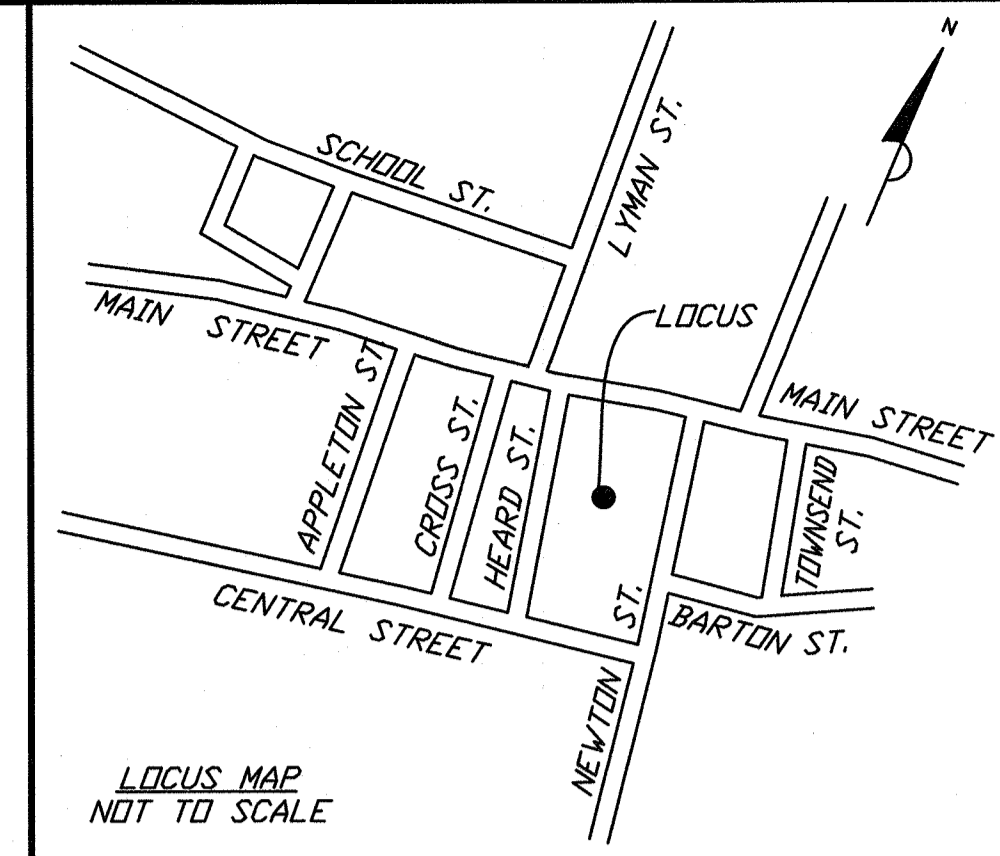
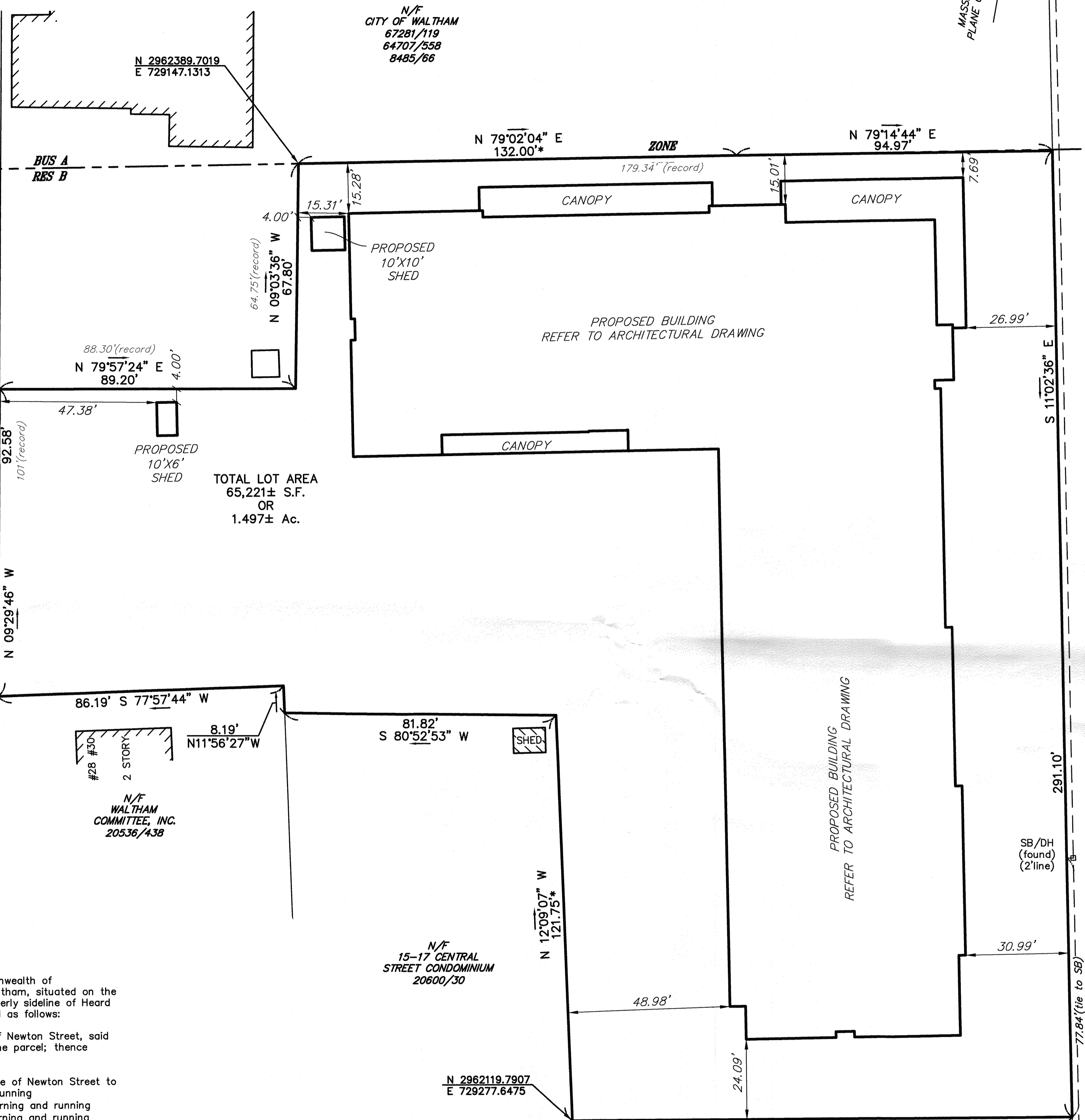
Beginning at a point on the westerly sideline of Newton Street, said point being the most northeasterly corner of the parcel; thence running  
 S 11°02'36" E 291.10' by the westerly sideline of Newton Street to a point; thence turning and running  
 S 79°39'29" W 150.58' to a point; thence turning and running  
 N 12°09'07" W 121.75' to a point; thence turning and running  
 S 80°52'53" W 81.82' to a point; thence turning and running  
 N 11°56'27" W 8.19' to a point; thence turning and running  
 S 77°57'44" W 86.19' to a point; thence turning and running  
 N 09°29'46" W 92.58' by the easterly sideline of Heard Street to a point; thence turning and running  
 N 79°57'24" E 89.20' to a point; thence turning and running  
 N 09°03'36" W 67.80' to a point; thence turning and running  
 N 79°02'04" E 132.00' to a point; thence turning and running  
 N 79°14'44" E 94.97' to the POINT OF BEGINNING.

Containing 65,221 square feet or 1.497 acres, more or less.

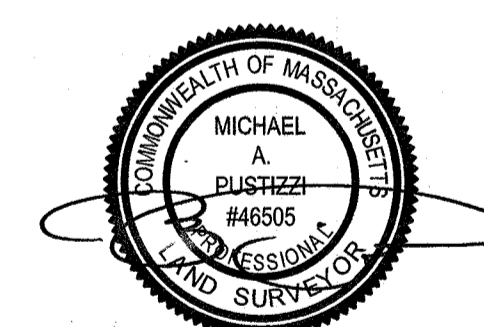
**FLOOD NOTE**  
 THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25017C0413E, EFFECTIVE DATE JUNE 4, 2010.

 UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

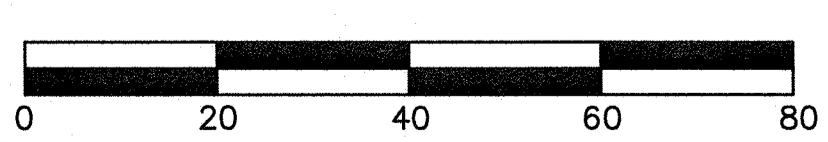
**HEARD STREET**  
 (PUBLIC - 25' WIDE)  
 ONE WAY ↑



- NOTES**
- 1) HORIZONTAL COORDINATES REFER TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD 83, AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
  - 2) SEE PLAN ON FILE WITH THE CITY OF WALTHAM ENGINEERING DEPARTMENT SHOWING ALL LAND OWNED BY LELAND HOME CORP., BY ROWLAND H. BARNES, JUNE 1964. SAID PLAN SHOWS ALL LAND FROM THE NORTHERLY ABUTTER, CITY OF WALTHAM, TO CENTRAL STREET. LAND TO THE SOUTH WAS DEEDED OUT TO THE SOUTHERLY ABUTTERS UTILIZING PLAN No. 1099 OF 1989 FILED WITH THE MIDDLESEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS. SEE ALSO THE FOLLOWING DEED BOOK AND PAGES: 6030/142, 6298/153, 9962/351, 10182/67.
  - 3) THE PARCEL SHOWN HEREON IS LOCATED IN ZONE RESIDENCE B.
  - 4) OWNER: THE LELAND HOME  
 DEED BOOK 1940 PAGE 261  
 DEED BOOK 6189 PAGE 346  
 DEED BOOK 7078 PAGE 49  
 ASSESSOR'S PARCEL ID No. R061 013 0003



**#21 NEWTON STREET**  
**PLOT PLAN**  
 IN  
**WALTHAM, MA**  
 (MIDDLESEX COUNTY)  
 SCALE: 1"= 20' DATE: FEBRUARY 14, 2022



Precision Land Surveying, Inc.  
 32 Tumpike Road  
 Southborough, Massachusetts 01772  
 TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096  
 4935TP1.DWG

THE BOARD IS MAKING NO DETERMINATION AS TO WHETHER OR NOT THE LOTS SHOWN HEREON COMPLY WITH THE WALTHAM ZONING ORDINANCE.

APPROVAL IS NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW BY THE BOARD OF SURVEY AND PLANNING.

DATE _____

CLERK _____

BOARD OF SURVEY AND PLANNING  
CITY OF WALTHAM, MA

**REFERENCES**  
MIDDLESEX COUNTY REGISTRY OF DEEDS  
PLAN No. 1054 OF 1955  
" " " 1099 " 1989  
PLAN BOOK 166 PAGE 3

CITY OF WALTHAM ENGINEERING DEPARTMENT  
"PLAN OF LAND IN WALTHAM, MA, BELONGING TO LELAND HOME CORP., JUNE 1964, BY ROLAND BARNES."

1900 PLAN AND PROFILE OF CENTRAL STREET

PLAN No.: MAIN ST F-12-59

NEWTON STREET LAYOUT, SHEETS E & F

1872 LAYOUT OF HEARD STREET

**AS-SURVEYED BOUNDARY DESCRIPTION**


A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Waltham, situated on the westerly sideline of Newton Street and the easterly sideline of Heard Street, more particularly bounded and described as follows:

Beginning at a point on the westerly sideline of Newton Street, said point being the most northeasterly corner of the parcel; thence running

- S 11°02'36" E 291.10' by the westerly sideline of Newton Street to a point; thence turning and running
- S 79°39'29" W 150.58' to a point; thence turning and running
- N 12°09'07" W 121.75' to a point; thence turning and running
- S 80°52'53" W 81.82' to a point; thence turning and running
- N 11°56'27" W 8.19' to a point; thence turning and running
- S 77°57'44" W 86.19' to a point; thence turning and running
- N 09°29'46" W 92.58' by the easterly sideline of Heard Street to a point; thence turning and running
- N 79°57'24" E 89.20' to a point; thence turning and running
- N 09°03'36" W 67.80' to a point; thence turning and running
- N 79°02'04" E 132.00' to a point; thence turning and running
- N 79°14'44" E 94.97' to the POINT OF BEGINNING.

Containing 65,221 square feet or 1.497 acres, more or less.

**FLOOD NOTE**  
THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25017C0413E, EFFECTIVE DATE JUNE 4, 2010.

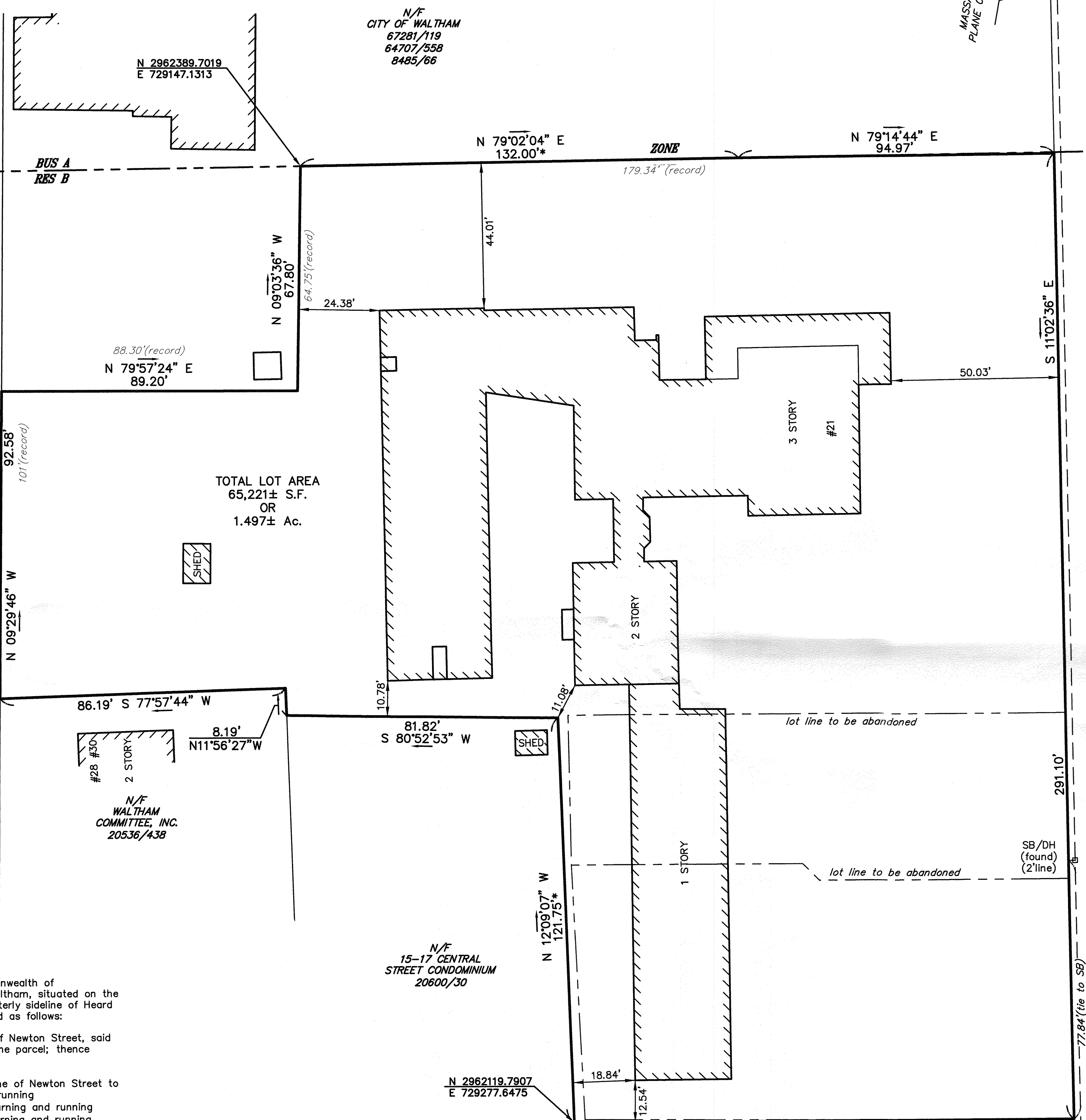
 UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

ZONE LINE  
**STREET**

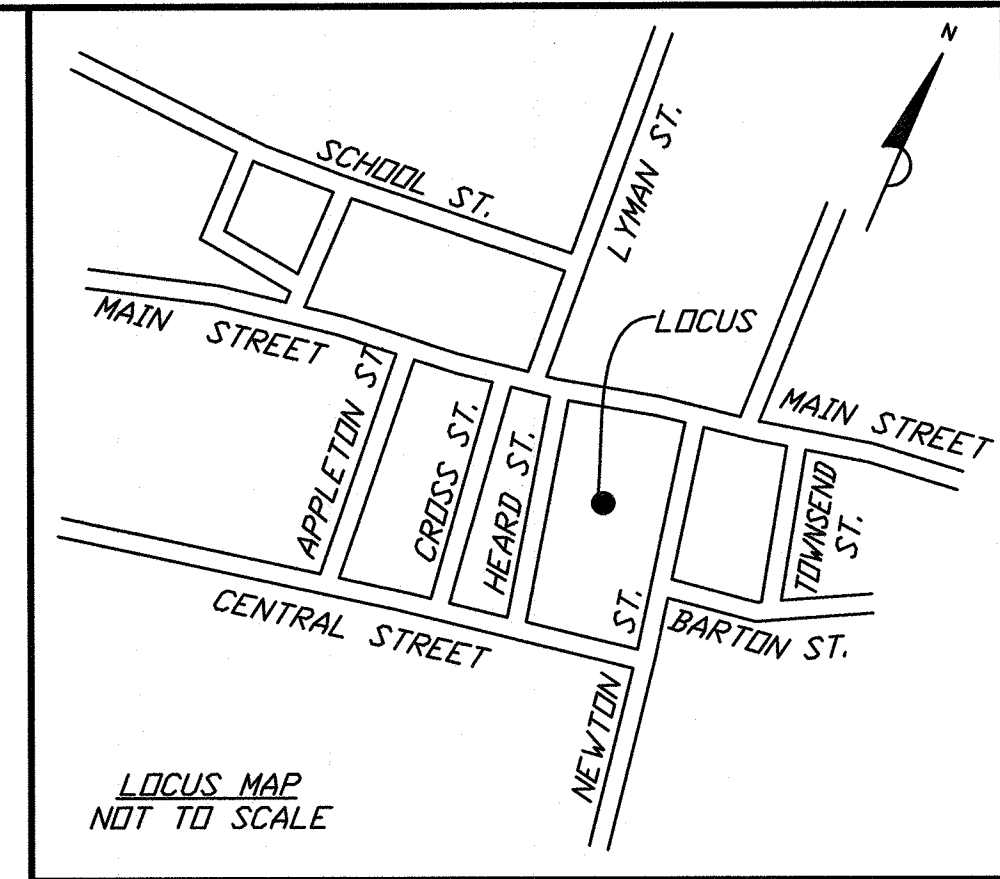
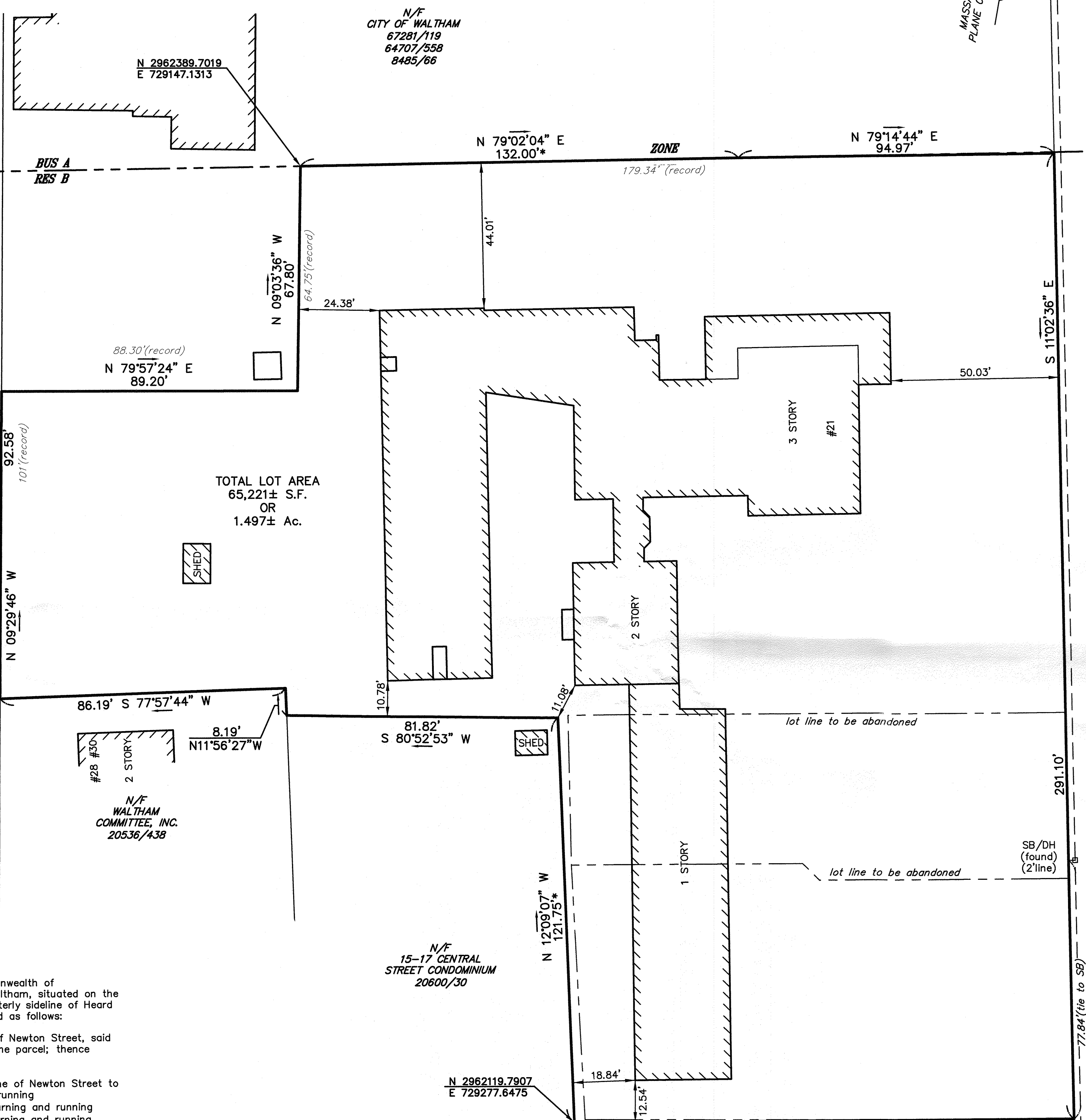
ONE WAY  
↑

(PUBLIC - 25' WIDE)

**HEARD STREET**




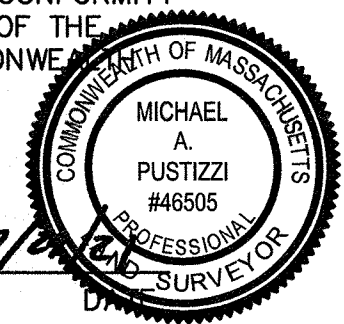
TOTAL LOT AREA  
65,221± S.F.  
OR  
1.497± Ac.



- NOTES**
- HORIZONTAL COORDINATES REFER TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD 83, AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
  - SEE PLAN ON FILE WITH THE CITY OF WALTHAM ENGINEERING DEPARTMENT SHOWING ALL LAND OWNED BY LELAND HOME CORP., BY ROWLAND H. BARNES, JUNE 1964. SAID PLAN SHOWS ALL LAND FROM THE NORTHERLY ABUTTER, CITY OF WALTHAM, TO CENTRAL STREET. LAND TO THE SOUTH WAS DEEDED OUT TO THE SOUTHERLY ABUTTERS UTILIZING PLAN No. 1099 OF 1989 FILED WITH THE MIDDLESEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS. SEE ALSO THE FOLLOWING DEED BOOK AND PAGES: 6030/142, 6298/153, 9962/351, 10182/67.
  - THE PARCEL SHOWN HEREON IS LOCATED IN ZONE RESIDENCE B.
  - OWNER: THE LELAND HOME  
DEED BOOK 1940 PAGE 261  
DEED BOOK 6189 PAGE 346  
DEED BOOK 7078 PAGE 49  
ASSESSOR'S PARCEL ID No. R061 013 0003

I HEREBY CERTIFY THAT:  
THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

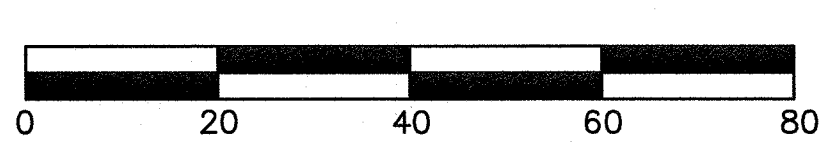
  
MICHAEL PUSTIZZI, PLS No. 46505




**#21 NEWTON STREET**

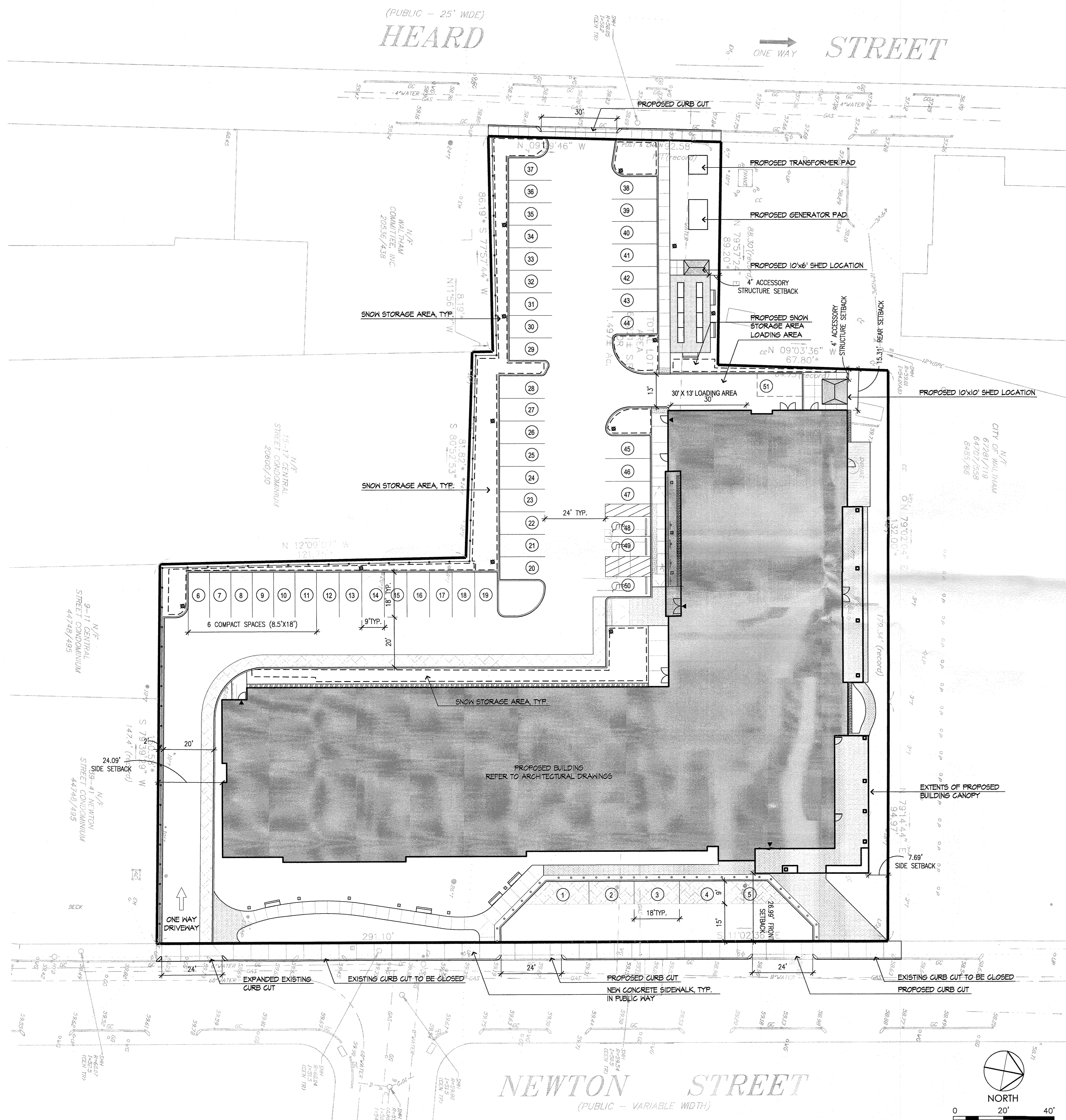
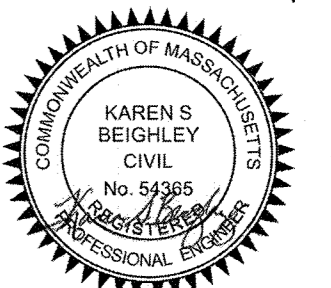
PLAN OF LAND  
IN  
**WALTHAM, MA**  
(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: JULY 29, 2021



 Precision Land Surveying, Inc.  
32 Turnpike Road  
Southborough, Massachusetts 01772  
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096  
4935TP1.DWG





**LEGEND**

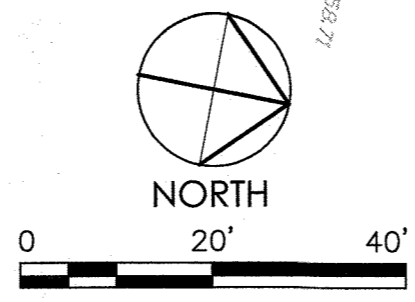
- PROPERTY LINE
- PARKING SPACE NUMBER (SHOWN FOR REFERENCE, NOT TO BE PERMANENTLY MARKED)
- PROPOSED SNOW STORAGE AREA (~3,000 SF TOTAL IN ALL SHOWN AREAS)

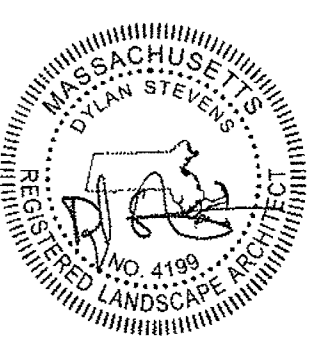
**Zoning Summary**

Zoning information below (as well as waivers) are based on the dimensional requirements of the Residence B Zoning District for Single- and Two-family uses, and the proposed multifamily use, which is Not Allowed in the Residence B Zone pursuant to Section 3.4 The Table of Uses.

ZONE RB	EXISTING	REQUIRED/ALLOWED	PROPOSED	WAIVER
MIN BLDG SETBACKS FRONT	50'	15'	28.99'	No
SIDE (NORTH)	44'	10'	7.89'	Yes
SIDE (SOUTH)	12'-6"	10'	24.09'	No
REAR	18'-10"	30'	15.31'	Yes
MAX HEIGHT	40 FT	40 FT	40 FT	No
MAX STORIES	3 STORIES	3 STORIES	3 STORIES	No
FAR	.23	-	1.12 (72,950 GSF/Lot Area)	Yes
LOT COVERAGE (%)	15,000 SF (23.6%)	Max. 30%	25,780 SF (39.5%)	Yes
MIN OPEN SPACE (%)	77% (50,221 SF/Lot Area)	-	26.4% (17,191 SF/Lot Area)	Yes
LOT AREA (SF)	65,221	6,000	65,221	No
MAX DWELLING UNITS/ACRE	26 units/acre	-	48 units/acre	Yes
LOT FRONTAGE (FT)	292	60	292	No
MIN LOT AREA/UNIT (SF)	1718.3 SF per unit (65,221 SF/38 units)	-	959.1 SF per unit (65,221 SF/68 units)	Yes
MIN OPEN SPACE/UNIT (SF)	1321.6 SF per unit (50,221 SF/38 units)	-	252.8 SF per unit (17,191 SF/68 units)	Yes
MIN LOT WIDTH (FT)	89	-	89	No
PARKING	2 per Unit	2 per unit	0.75 per unit (68 units X .75 = 51 SPOTS)	Yes
LANDSCAPE	18 Trees	1 tree per 10 cars (8 Trees @ 51 spots)	>30 Trees	No
SNOW STORAGE	N/A	40 SF per parking space (2,040 SF)	~3,000 SF	No
LOADING	-	12'x70'	13x30'	Yes

ACCESSORY STRUCTURE	EXISTING	REQUIRED/ALLOWED	PROPOSED	WAIVER
MINIMUM SETBACKS SIDE	N/A	5'	4' (8' x 10' shed)	Yes
REAR	N/A	5'	4' (10' x 10' shed)	Yes
SETBACK FROM PRINCIPAL BUILDING	N/A	10'	2' (10' x 10' shed)	Yes



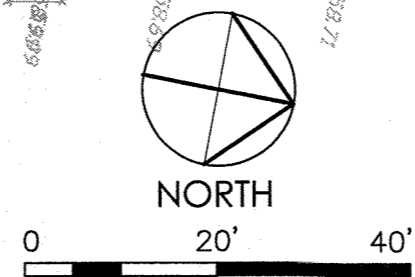
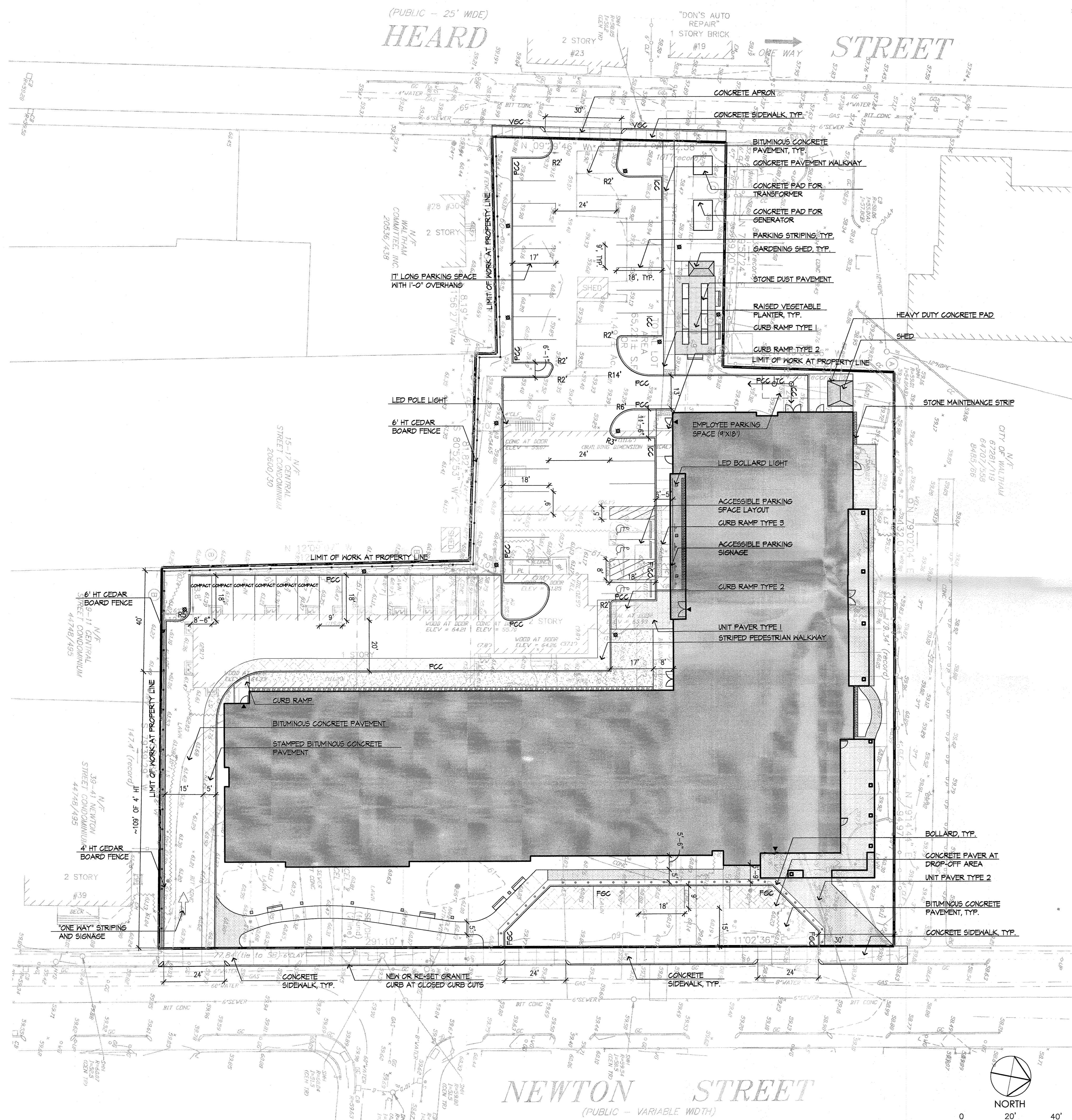


LEGEND

	PROPERTY LINE		LED POLE LIGHT
	UNIT PAVER		LED BOLLARD LIGHT
	UNIT PAVER- VEHICULAR		CEDAR BOARD FENCE (4' OR 6' HT, REFER TO)
	COMPOSITE DECKING		LANDSCAPED AREA
	CEMENT CONCRETE PAVEMENT		BENCH
	VERTICAL GRANITE CURB		
	FLUSH GRANITE CURB		
	PRECAST CONCRETE CURB		
	INTEGRAL CONCRETE CURB		

LAYOUT AND MATERIAL NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND DATED JULY 29, 2021.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DISAFC AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF WALTHAM AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT).
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.



(PUBLIC - 25' WIDE)  
**HEARD STREET**  
 ONE WAY



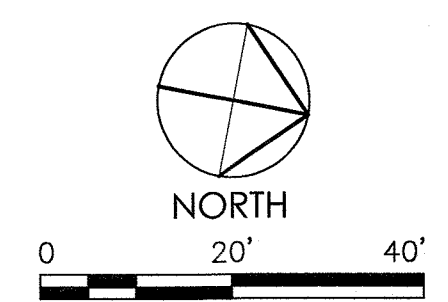
**NEWTON STREET**  
 (PUBLIC - VARIABLE WIDTH)

**LEGEND**

---	PROPERTY LINE
110	PROPOSED CONTOUR MAJOR LINE
112	PROPOSED CONTOUR MINOR LINE
TC(58.50) BC(58.00)	SPOTGRADE
■	CATCH BASIN

**GRADING NOTES**

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY AN ALTAMPS LAND TITLE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND DATED JULY 24, 2021.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MEET THE REQUIREMENTS OF 521 CMR OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL GRADES ON WALKWAYS, RAMPS, CURB CUTS AND PARKING AREAS AS DEFINED BY 521 CMR SHALL COMPLY WITH THE MAXIMUM ALLOWABLE GRADES. GRADES SHALL BE MEASURED AT TWO FOOT INTERVALS. CROSS SLOPES ON ALL WALKS, PATHS OF TRAVEL AND ACCESSIBLE ROUTES AS DEFINED IN 521 CMR SHALL NOT EXCEED 1.5%. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE BETWEEN THE ACTUAL GRADES SHOWN ON THE PLANS AND THE MAXIMUM ALLOWABLE GRADES INDICATED IN 521 CMR.
- ALL WALKWAYS SHALL BE GRADED TO A MAXIMUM 4.5% RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL). THE CROSS PITCH OF ALL WALKWAYS, PATHS AND PLAZAS SHALL NOT EXCEED 1.5% (PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE SLOPE OF ALL RAMPS AND SIDE SLOPES OF HANDICAP CURB CUTS AS DEFINED BY SECTION 211 OF 521 CMR SHALL BE CONSTRUCTED AT 1.5% MAXIMUM. RAMPS AS DEFINED IN SECTION 24.1 OF 521 CMR SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 1.5%.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR CATCH.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.



**PCA**

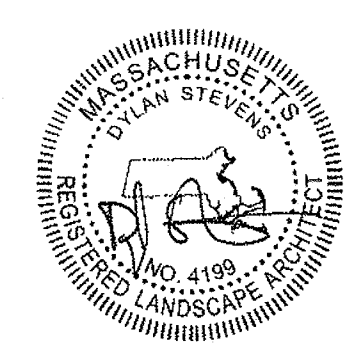
ARCHITECT:  
 PCA, INC.  
 221 Hampshire Street  
 Cambridge, MA 02139  
 617-547-8120

OWNER:  
 2Life Development Inc.  
 30 Wallingford Road  
 Brighton, MA 02135  
 617-912-8400

CIVIL/LANDSCAPE ENGINEER:  
 Stantec Consulting  
 226 Causeway Street, 6th floor  
 Boston, MA 02114  
 617-523-8103

**LELAND HOUSE COMP.  
 PERMIT (M.G.L.C 40B)**  
 21 NEWTON STREET, WALTHAM, MA 0:PCA PROJECT #: 21008.00

REVISIONS:  
 10/09/2022 COMP PERMIT  
 02/14/2022 COMP PERMIT



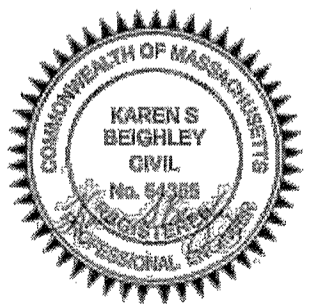
ORIGINAL ISSUE:  
 12/20/2021

SCALE:

GRADING PLAN

L-301

8700

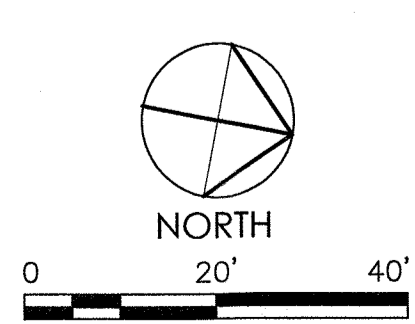
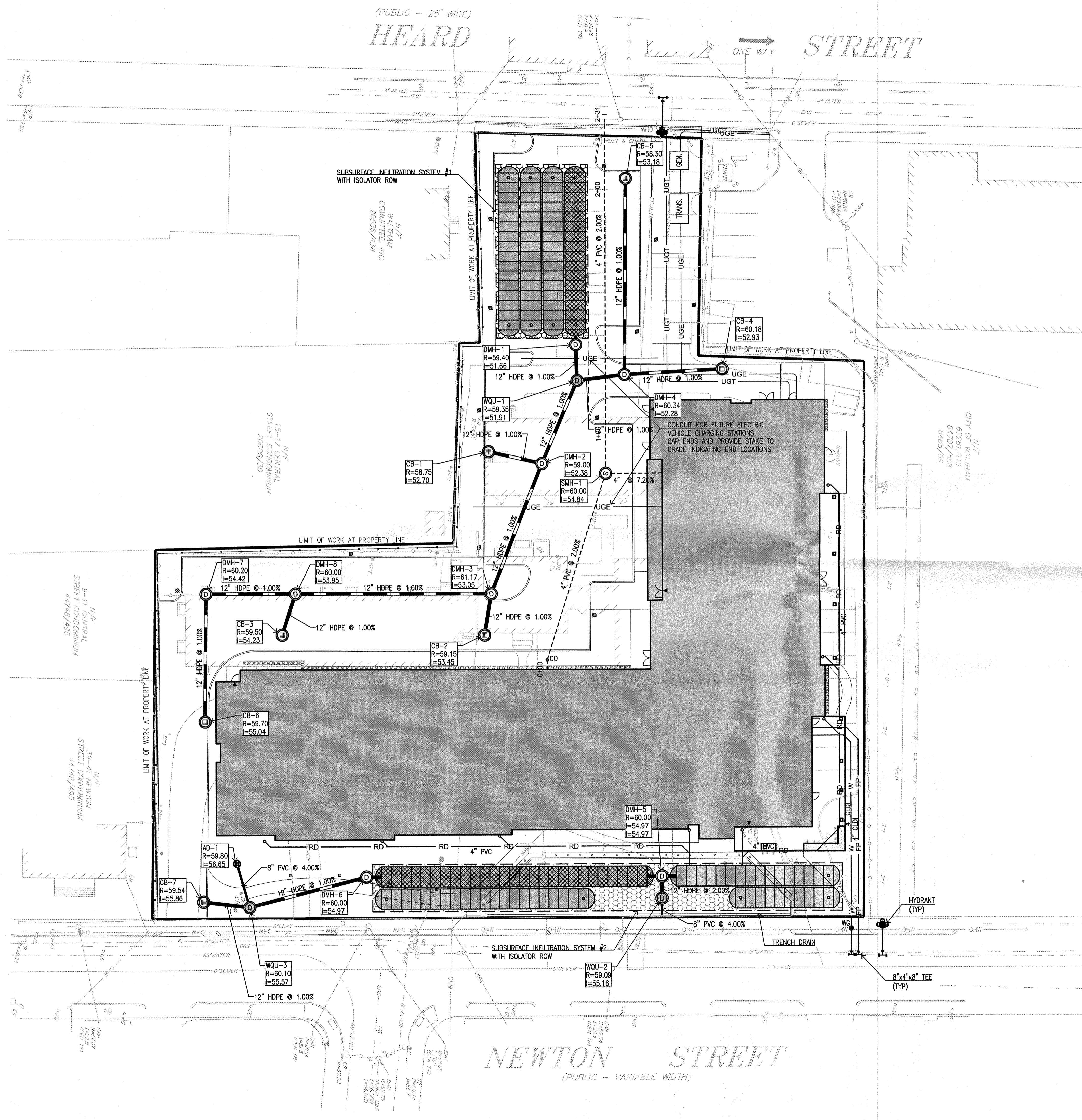


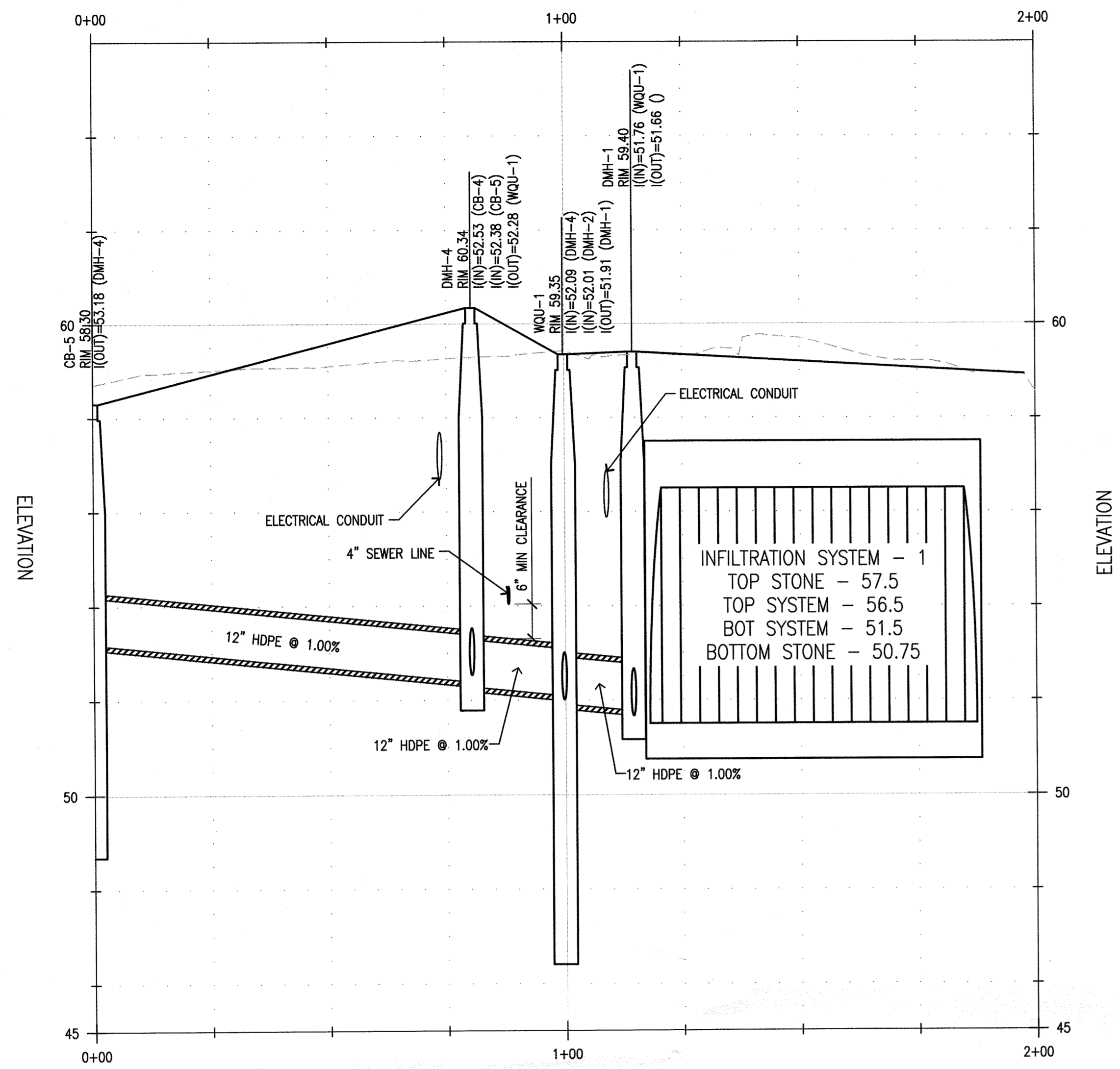
UTILITY LEGEND

	STORM DRAIN LINE		STORM DRAIN MANHOLE
	SANITARY SEWER LINE		WATER QUALITY UNIT
	WATER LINE		CATCH BASIN
	FIRE PROTECTION LINE		AREA DRAIN
	UNDERGROUND TELECOM		SANITARY SEWER MANHOLE
	UNDERGROUND ELECTRIC		FIRE DEPARTMENT CONNECTION
	ROOF DRAIN LINE		WATER GATE VALVE
			TEE CONNECTION
			CEMENT-LINED DUCTILE IRON
			POLYVINYL CHLORIDE
			ROOF DRAIN

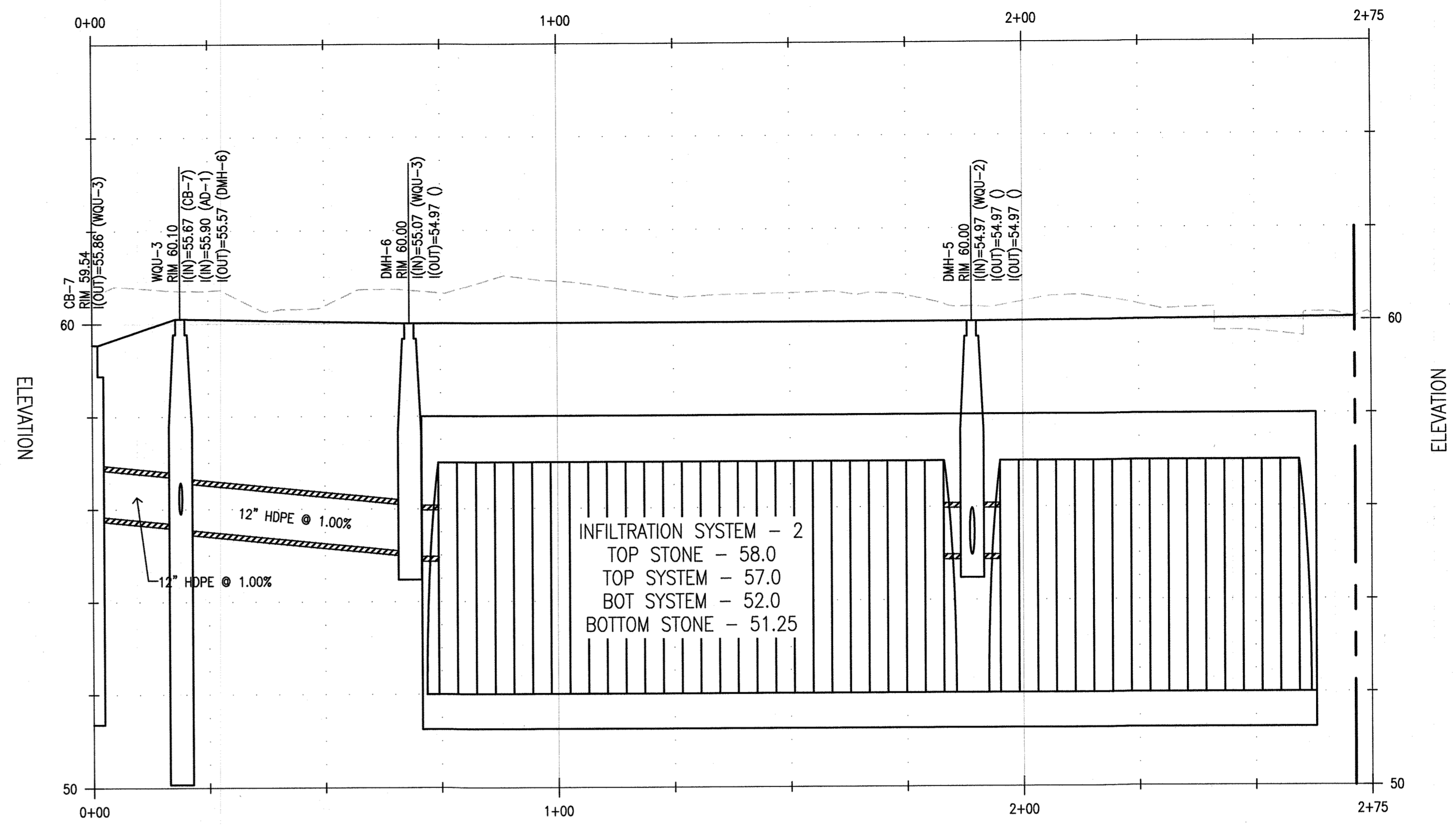
UTILITY NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND DATED JULY 29, 2021.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE CITY OF WALTHAM PUBLIC WORKS DEPARTMENT SPECIFICATIONS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF WALTHAM PUBLIC WORKS DEPARTMENT.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE, AS NECESSARY, ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAIN AND SEWER STRUCTURES, AS NECESSARY, FOR CHANGES IN GRADE. CONTRACTOR SHALL RESET UTILITY FRAMES, GRATES, AND COVERS MEANT TO BE FLUSH WITH GRADE (CLEANOUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS/TELEPHONE/ELECTRICAL) AND INSTALLED ACCORDING TO THOSE REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION, ALTERATION, OR ADJUSTMENT OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL WATER LINES SHALL BE CEMENT LINED DUCTILE IRON UNLESS OTHERWISE NOTED.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52) AND VALVES SHALL BE MECHANICAL WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER MUNICIPAL REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF FIVE FEET OF GROUND COVER AND A MINIMUM SEPARATION OF TEN FEET FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING.
- THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND REQUIRES A PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FILE AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (U.S. EPA) FOR CONSTRUCTION DISCHARGES ASSOCIATED WITH THIS PROJECT AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS.
- BITUMINOUS CONCRETE ELEVATIONS SHALL BE 1/4 INCH ABOVE THE RIM ELEVATION SHOWN FOR EACH CATCH BASIN.
- ALL PROPOSED STORM DRAIN LINES SHALL BE 12" NON-PERFORATED HDPE UNLESS OTHERWISE NOTED ON PLANS.
- REFER TO ARCHITECTURAL/PLUMBING PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING. FINAL DESIGN AND LOCATIONS OF UTILITY SERVICE STUBS WILL BE PROVIDED BY THE ARCHITECT AND/OR PLUMBING ENGINEER.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES. REFER TO SITE PREPARATION PLAN FOR COMPLETE EROSION AND SEDIMENTATION CONTROLS.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, THE CONTRACTOR SHALL ACCURATELY DETERMINE THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY AND TRANSMIT THIS INFORMATION TO THE ENGINEER WITHOUT DELAY.
- ALL PIPING WITHIN 10 FEET OF BUILDING IS COVERED UNDER THE COMMONWEALTH OF MASSACHUSETTS UNIFORM STATE PLUMBING CODE AND IS SHOWN FOR COORDINATION ONLY. REFER TO PLUMBING PLANS AND SPECIFICATIONS FOR UTILITY WORK WITHIN 10 FEET OF BUILDING.
- THE ENGINEER-OF-RECORD SHALL WITNESS INSTALLATION OF ALL SUBSURFACE INFILTRATION SYSTEMS. IF THE SUBSURFACE SOIL CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, THE DESIGN SHALL BE MODIFIED AND RESUBMITTED TO THE CITY OF WALTHAM FOR APPROVAL PRIOR TO CONTINUING INSTALLATION.
- CONTRACTOR SHALL COORDINATE ANY WATER SHUT DOWNS WITH THE CITY OF WALTHAM WATER AND SEWER DEPARTMENT AND FIRE DEPARTMENT.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMITS ARE REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- EXISTING UTILITY CONNECTIONS SHALL BE CUT AND CAPPED AT THEIR RESPECTIVE MAIN(S).
- EXISTING SEWER MAIN IN HEARD STREET SHALL BE INSPECTED VIA CCTV. FOOTAGE SHALL BE PROVIDED TO THE ENGINEER TO EVALUATE SUITABILITY OF EXISTING SEWER MAIN PRIOR TO CONNECTING PROPOSED SEWER LINE.

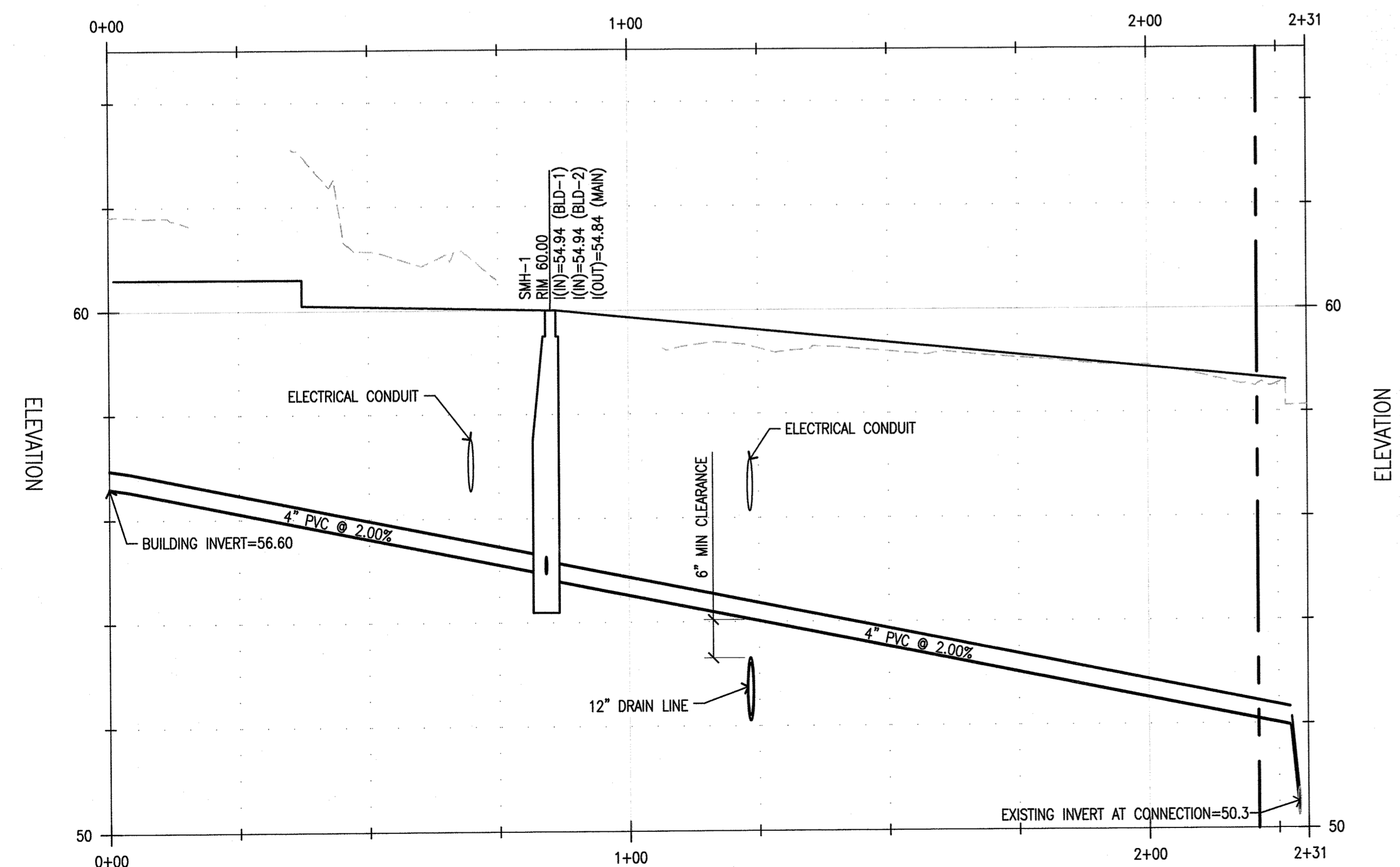




DRAIN PROFILE 1

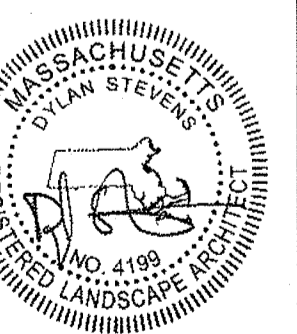


DRAIN PROFILE 2



SEWER PROFILE





LEGEND

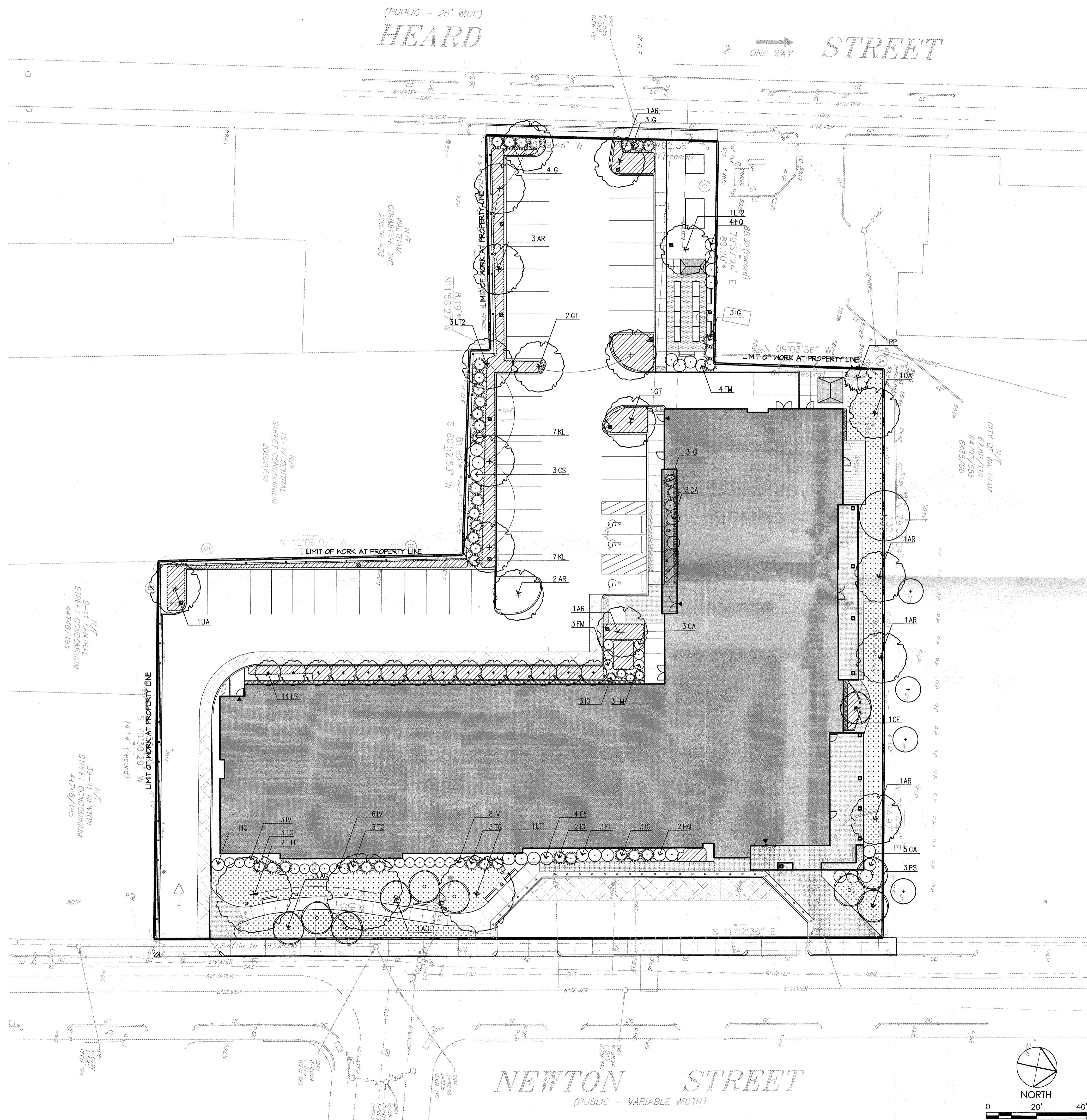
- PROPERTY LINE
- EXISTING TREE
- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- MEADOW SEED MIX
- SHRUB / GROUNDCOVER / PERENNIAL PLANTING

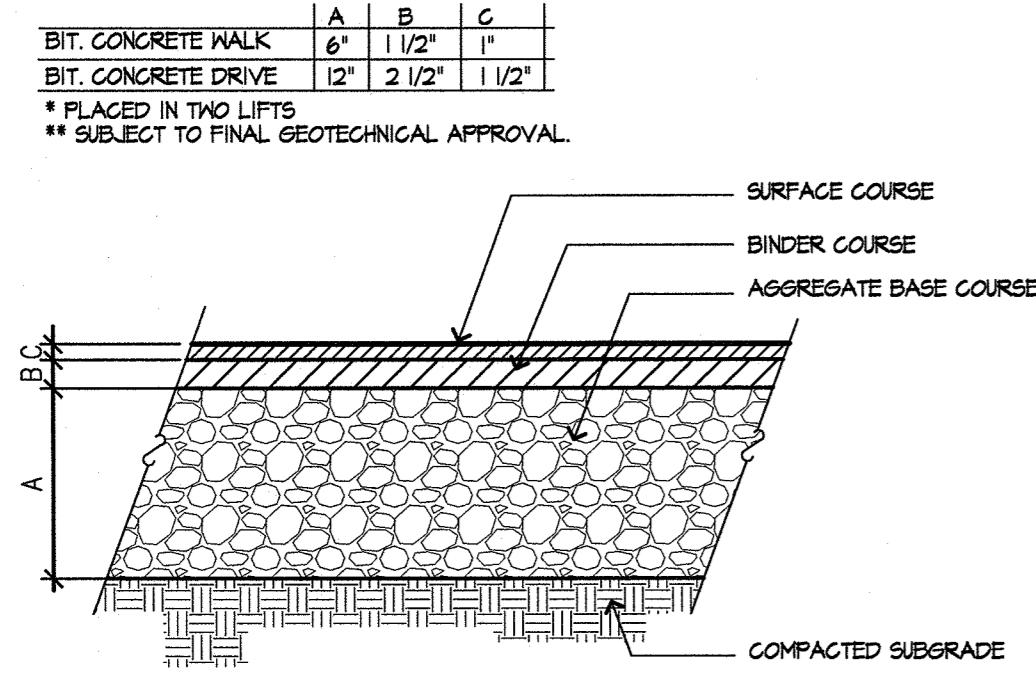
PLANTING NOTES

1. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
2. CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
3. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
4. MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
5. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
6. ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
7. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
8. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
9. MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
10. PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
11. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
12. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
13. ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.

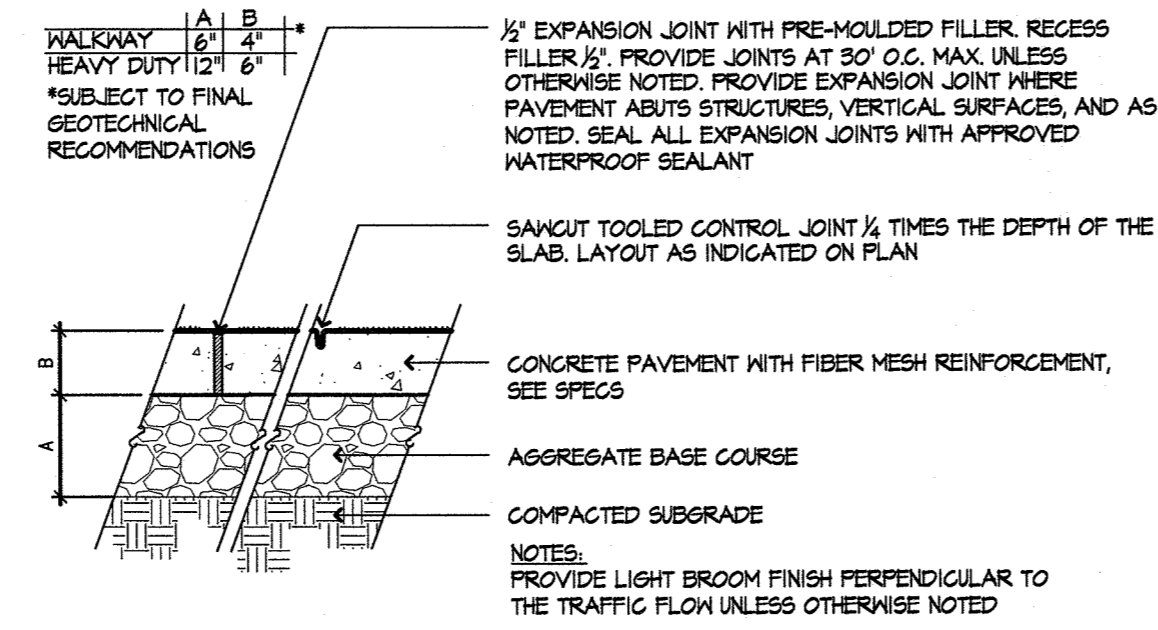
PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	NOTES
<b>DECIDUOUS TREES</b>					
AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	10	3-3 1/2" CAL	B&B
LT1	LIRIODENDRON TULIPIFERA	TULIP TREE (5" CAL)	3	5" CAL	B&B
LT2	LIRIODENDRON TULIPIFERA	TULIP TREE	4	3-3 1/2" CAL	B&B
GT	GLEDITSIA TRIACANTHOS 'INERMIS'	THORNLESS HONEY LOCUST	3	3-3 1/2" CAL	B&B
CH	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATE HORNBEECH	4	3-3 1/2" CAL	B&B
QA	QUERCUS ALBA	WHITE OAK	1	3-3 1/2" CAL	B&B
LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SIHOUETTE'	SWEETGUM 'SLENDER SIHOUETTE'	14	3-3 1/2" CAL	B&B
UA	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	1	3-3 1/2" CAL	B&B
<b>EVERGREEN TREES</b>					
PP	PICEA PUNGENS 'BACHER'	COLORADO SPRUCE	1	10'-12' HT	B&B
<b>ORNAMENTAL TREES</b>					
AG	AMELANCHIER X GRANDIFLORA 'ROBIN HILL'	SERVICEBERRY	6	8'-10' HT	
CF	CORNUS FLORIDA	FLOWERING DOGWOOD	1	8'-10' HT	
PS	PRUNUS SARGENTII	SARGENT CHERRY	3	8'-10' HT	
<b>SHRUBS</b>					
CA	CLETHRA ALNIFOLIA 'HUMMING BIRD'	HUMMING SUMMERSWEET	11	3 GAL	
CS	CORNUS SERICEA 'ARCTIC FIRE'	RED TWIG DOGWOOD	7	3 GAL	
FM	FOTHERGILLA 'MOUNT AIRY'	DWARF FOTHERGILLA	10	5 GAL	
HQ	HYDRANGEA QUERCIFOLIA 'FLEMINGEA' SNOW QUEEN	OAKLEAF HYDRANGEA	7	5 GAL	
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	21	3 GAL	
IV	ILEX VERTICILLATA	WINTERBERRY	17	3 GAL	
KL	KALMIA LATIFOLIA 'SNOWDRIFT'	MOUNTAIN LAUREL	14	3 GAL	
TC	TAXUS X MEDIA 'GREEN WAVE'	GREEN WAVE YEW	9	2-2 1/2" SPR	
<b>PERENNIALS / ORNAMENTAL GRASSES</b>					
PV	PANICUM VIRGATUM 'NORTHWIND'	SWITCH GRASS	1 GAL	SPACE 18" O.C.	
PA	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	1 GAL	SPACE 18" O.C.	
NF	NEPETA X FAASSENII	CATMINT	2 GAL	SPACE 24" O.C.	
PL	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	2 GAL	SPACE 24" O.C.	
LM	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	2 GAL	SPACE 24" O.C.	

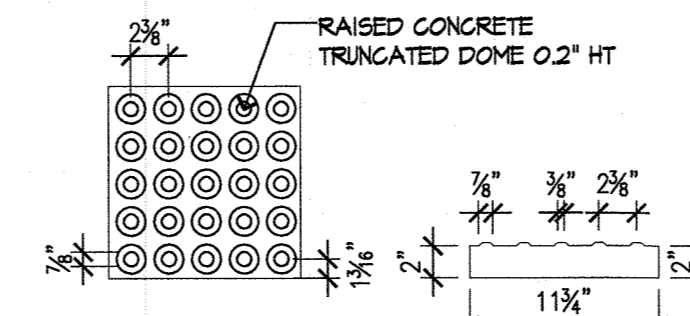




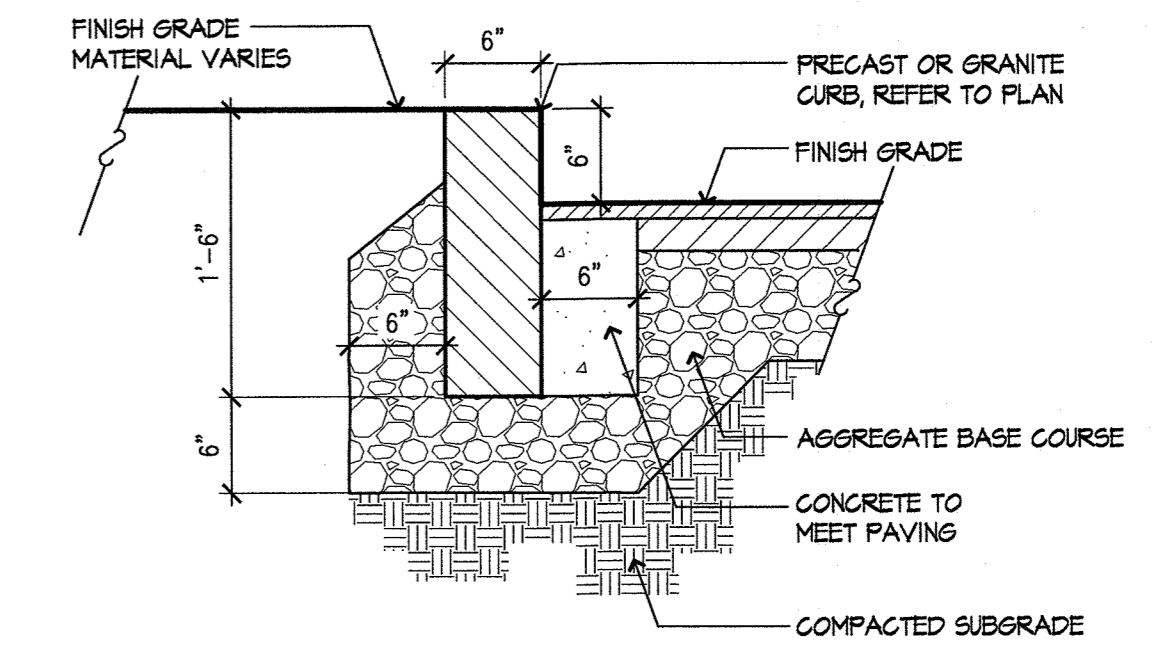
**1 BITUMINOUS CONCRETE PAVEMENT**  
SCALE: NTS



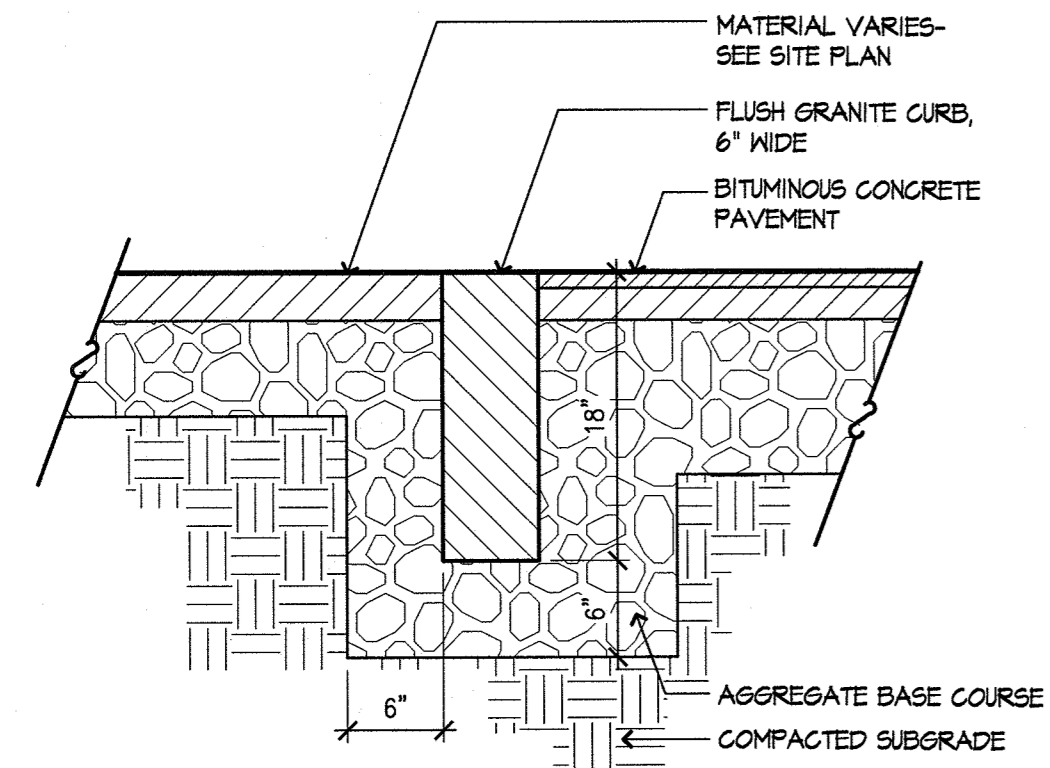
**2 CONCRETE PAVEMENT**  
SCALE: NTS



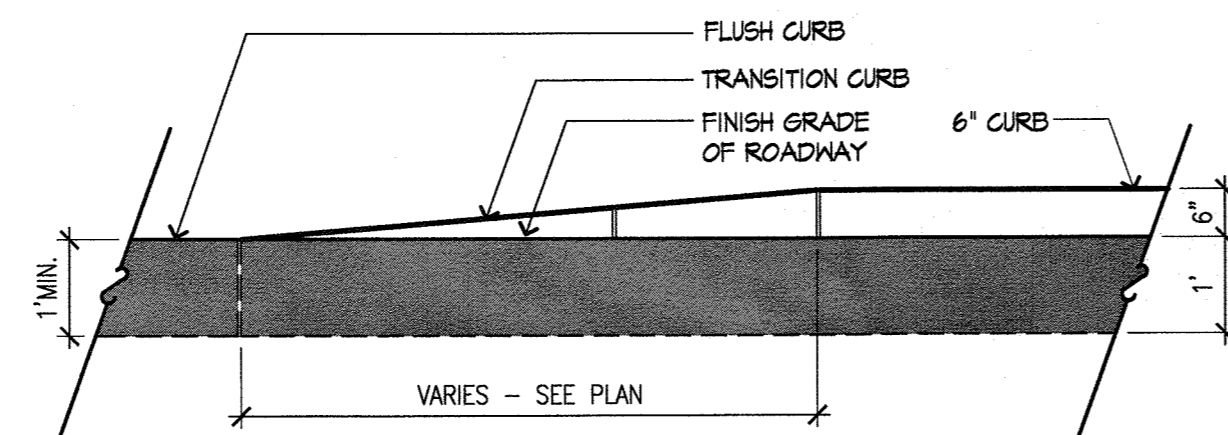
**3 DETECTABLE WARNING**  
SCALE: NTS



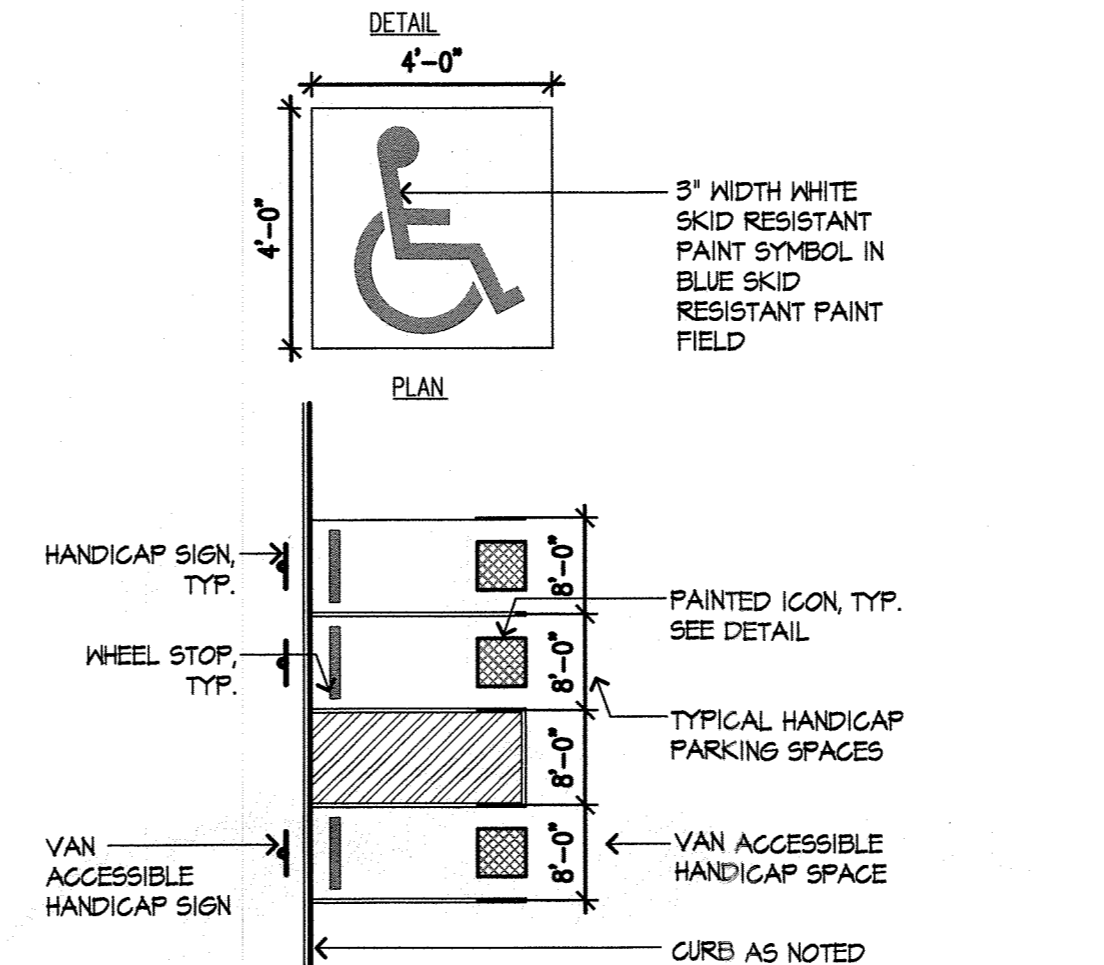
**4 VERTICAL CURB**  
SCALE: NTS



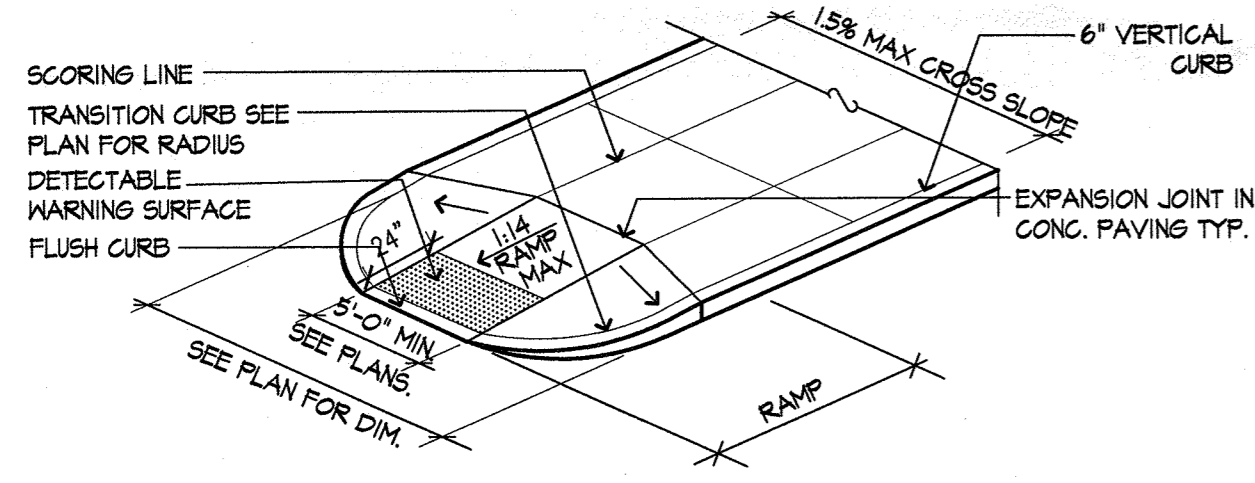
**5 FLUSH GRANITE CURB**  
SCALE: NTS



**6 TRANSITION CURB**  
SCALE: NTS

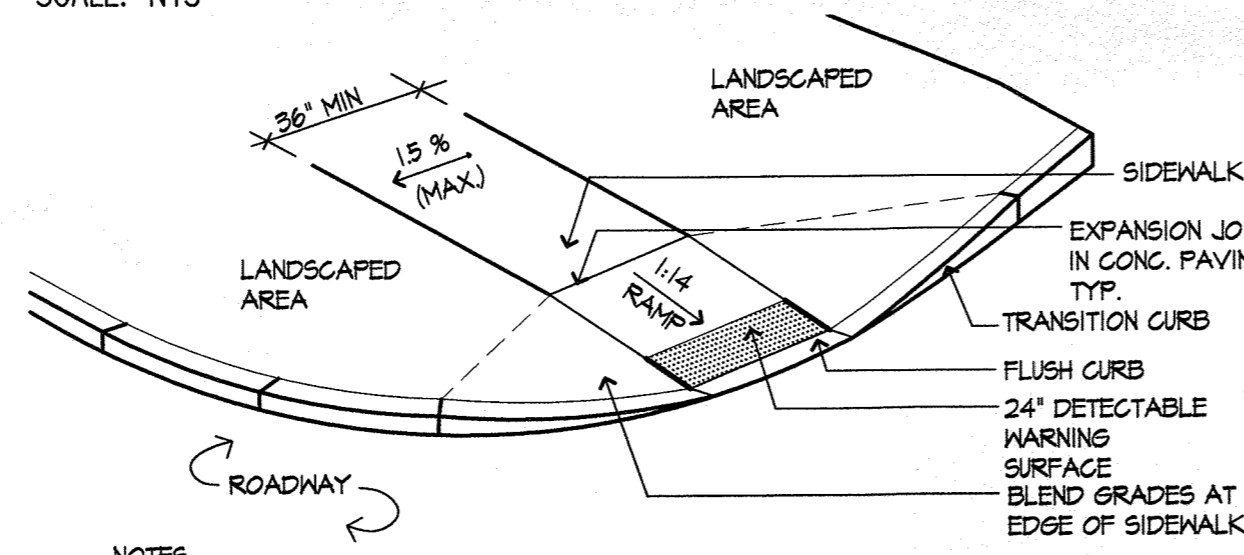


**7 HANDICAP PARKING LAYOUT AND SIGNAGE, TYP.**  
SCALE: NTS



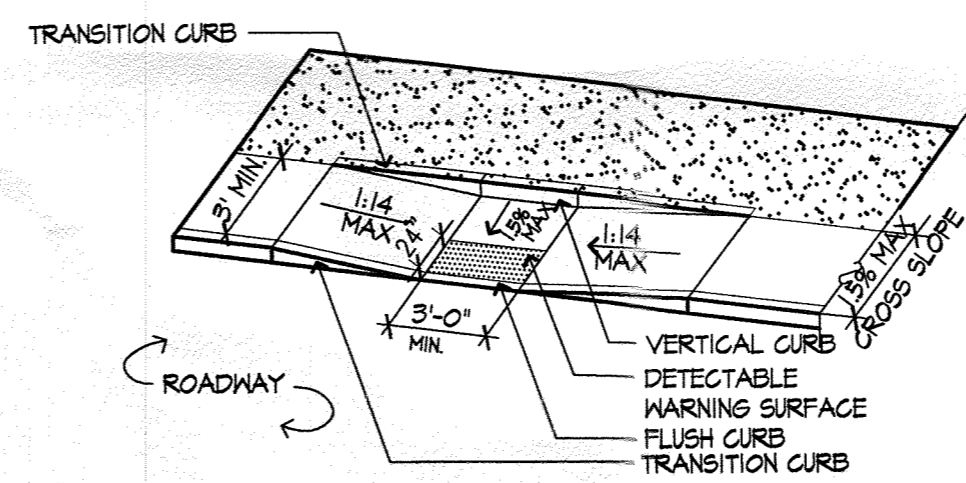
- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

**8 CURB CUT AND RAMP TYPE 1**  
SCALE: NTS



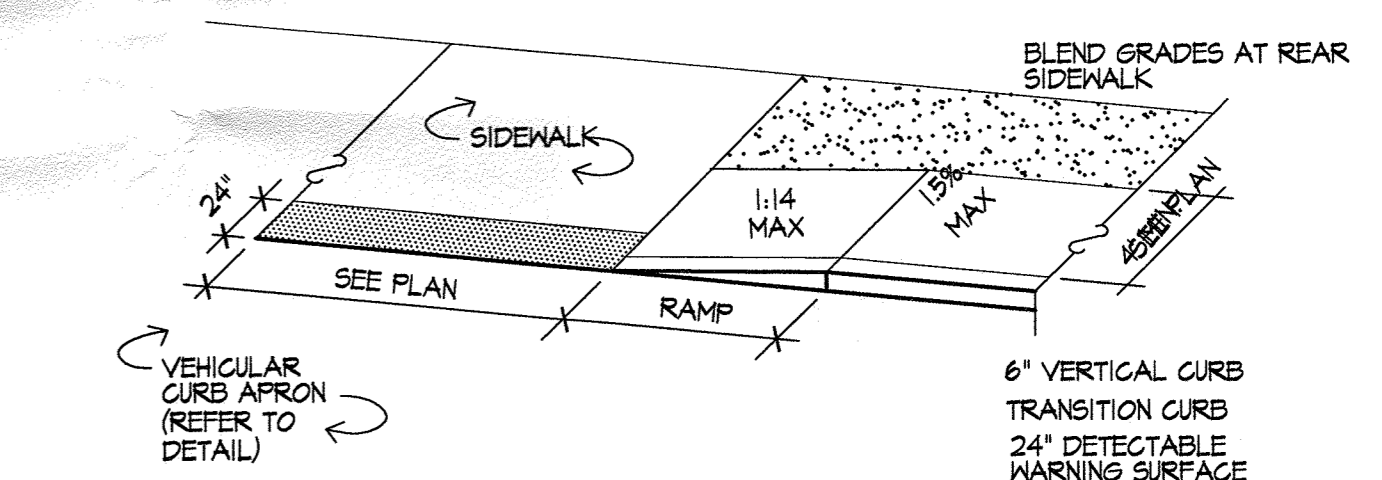
- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

**9 CURB CUT AND RAMP TYPE 2**  
SCALE: NTS



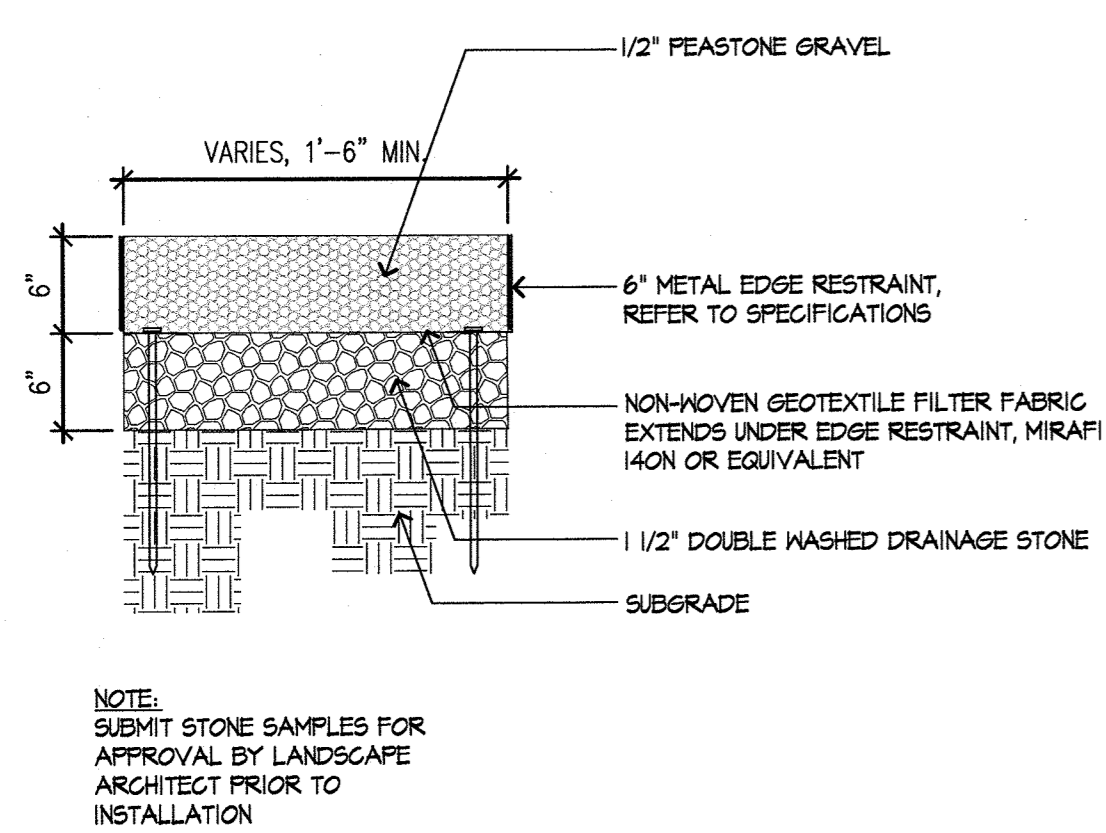
- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

**10 CURB CUT AND RAMP TYPE 3**  
SCALE: NTS

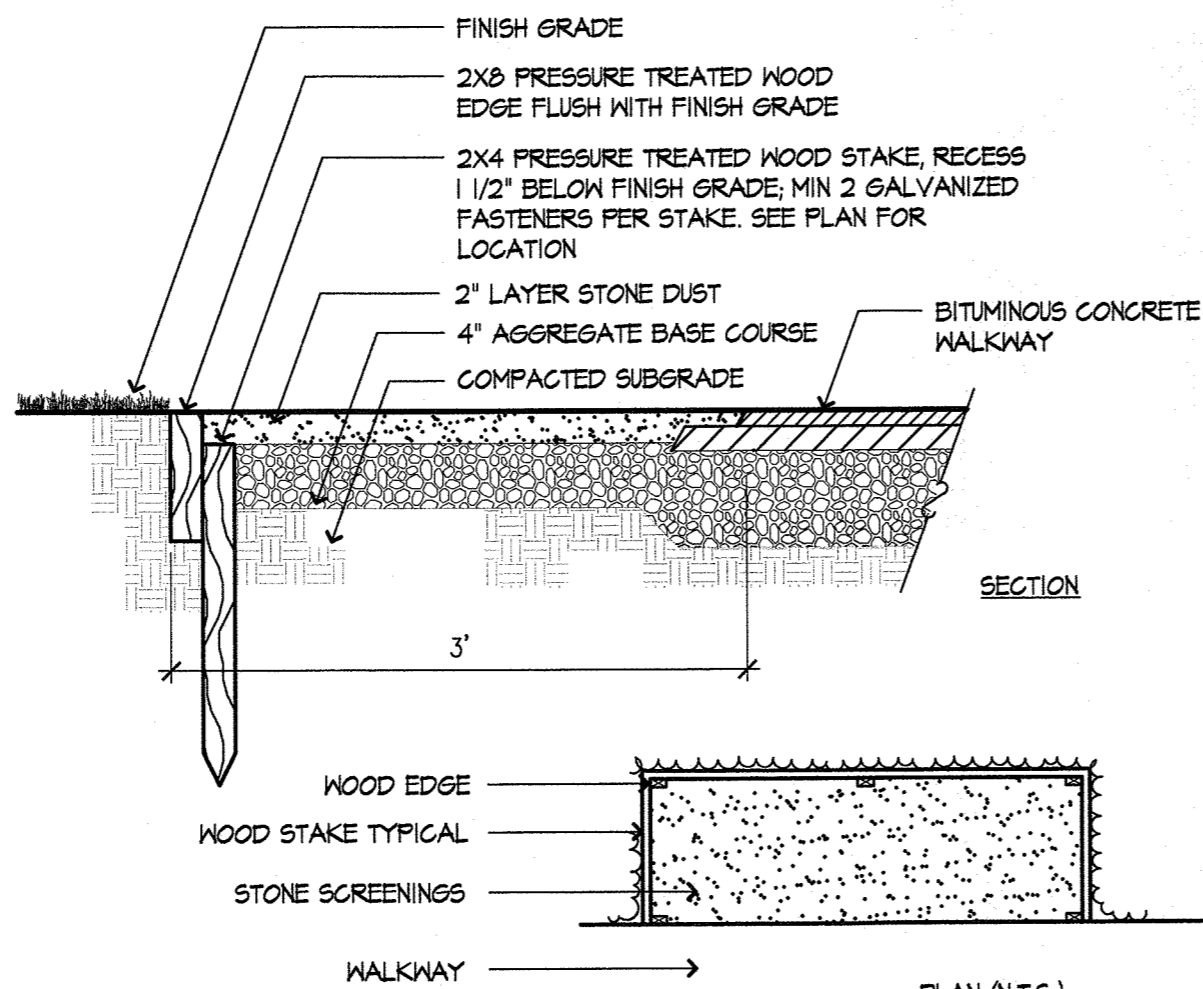


- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

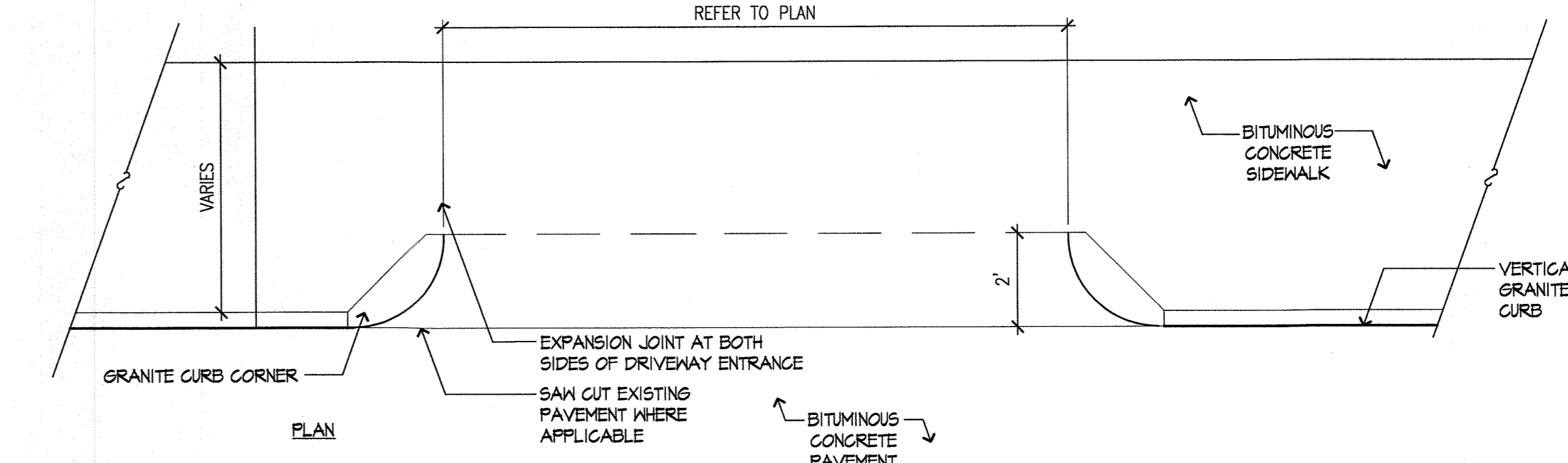
**11 CURB CUT AND RAMP TYPE 4**  
SCALE: NTS



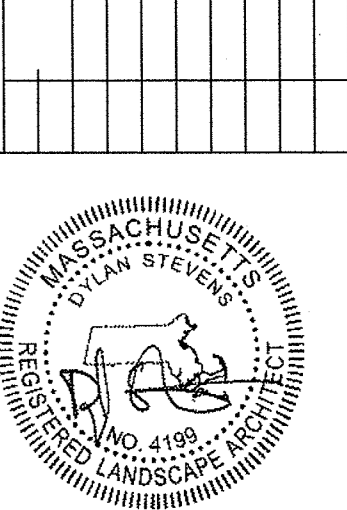
**12 STONE MAINTENANCE STRIP**  
SCALE: NTS



**13 STABILIZED STONE DUST PAVEMENT**  
SCALE: NTS



**14 CURB APRON**  
SCALE: NTS

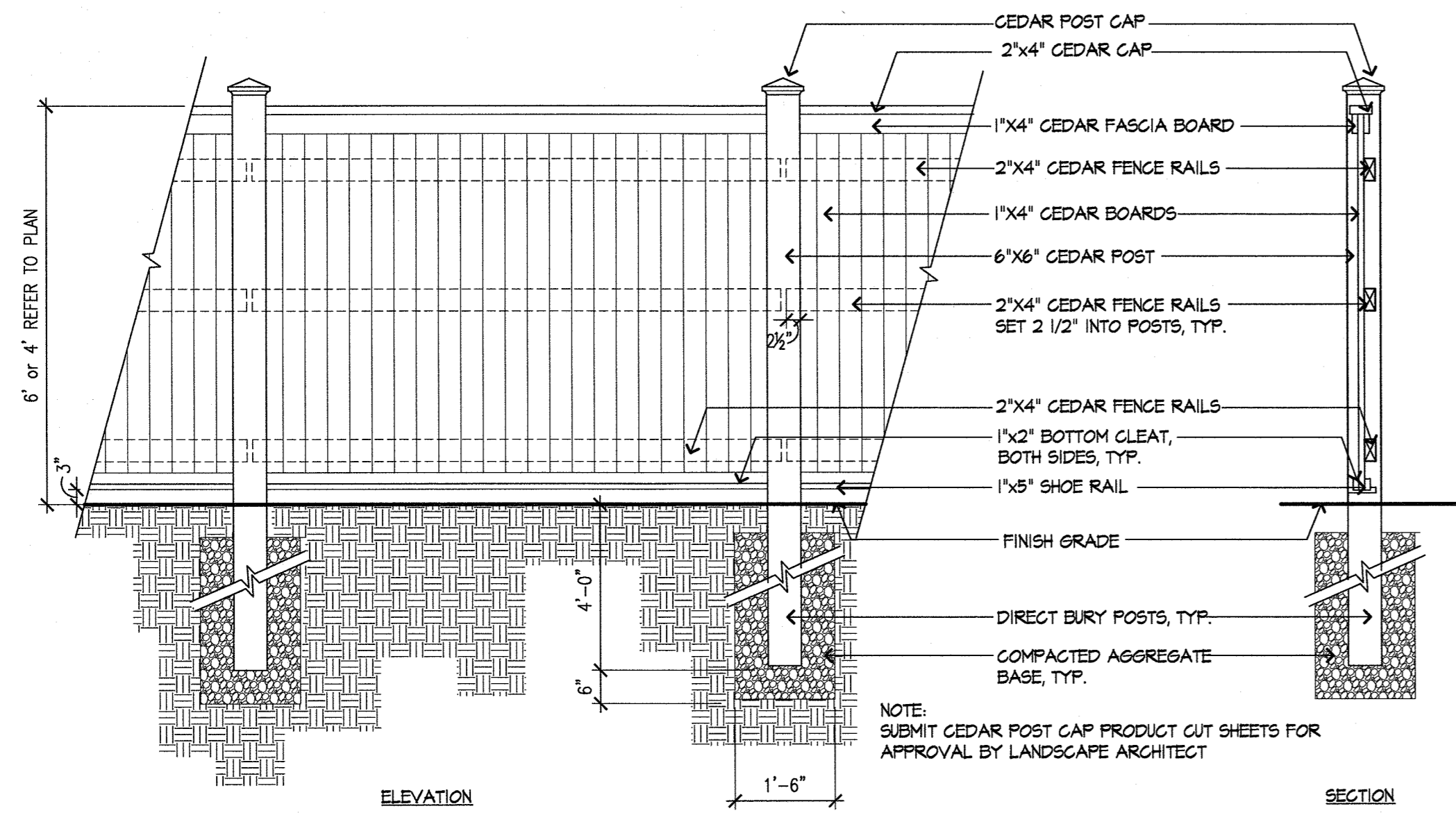


ORIGINAL ISSUE  
12/20/2021  
SCALE:

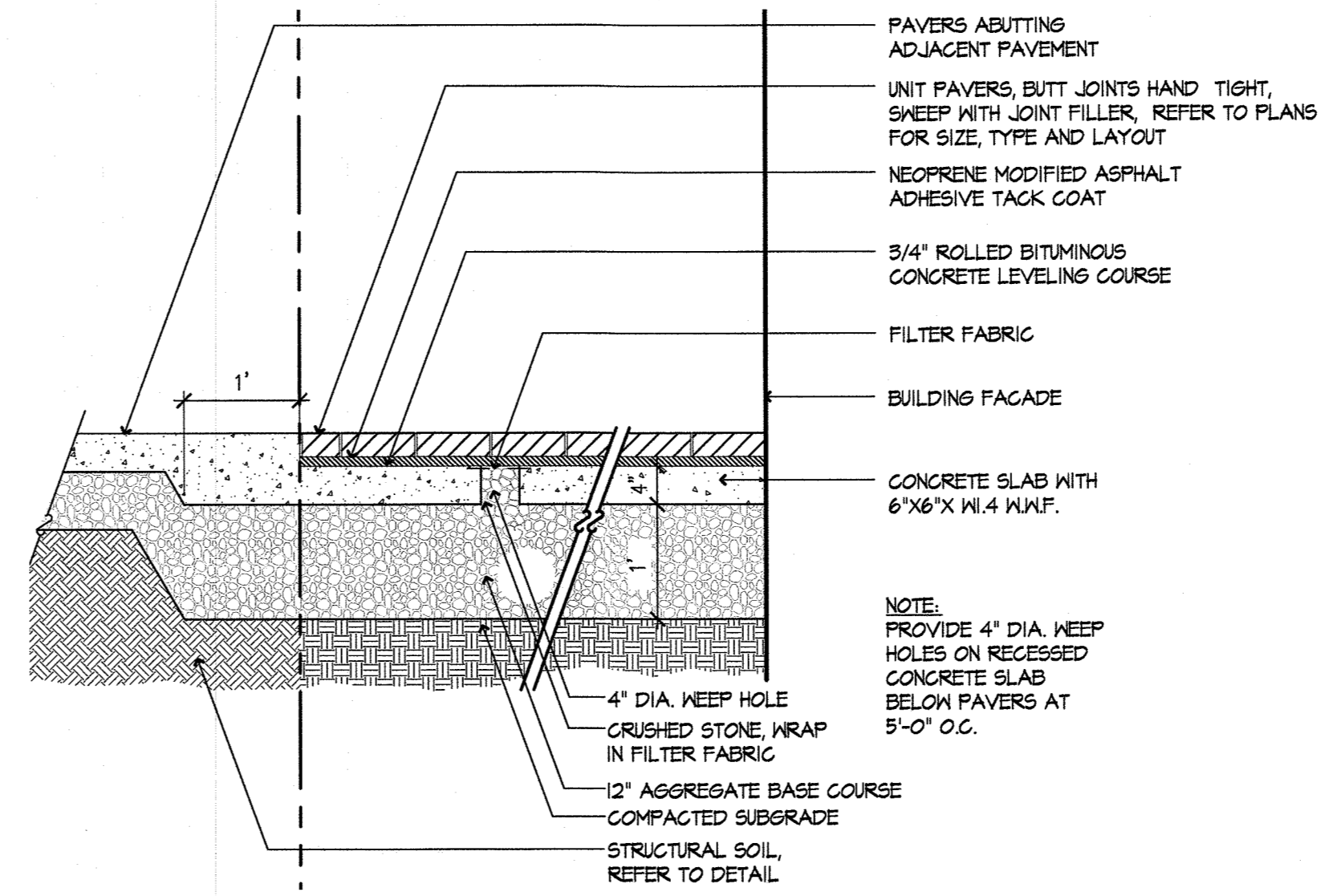
SITE DETAILS

L-601

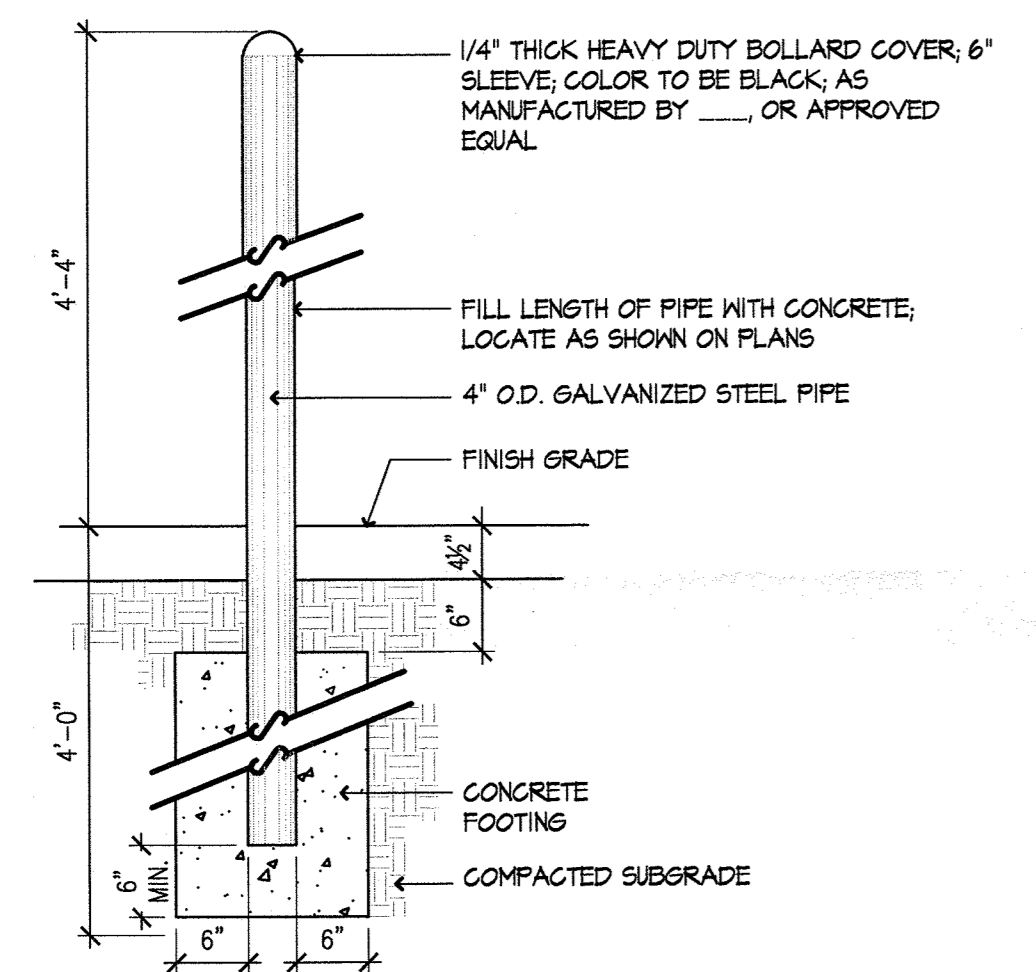
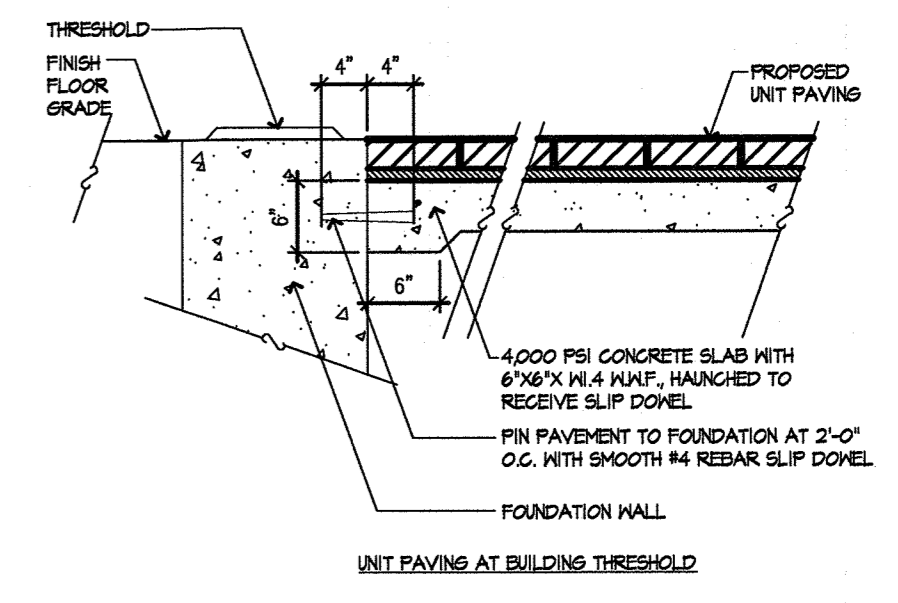
12 of 20



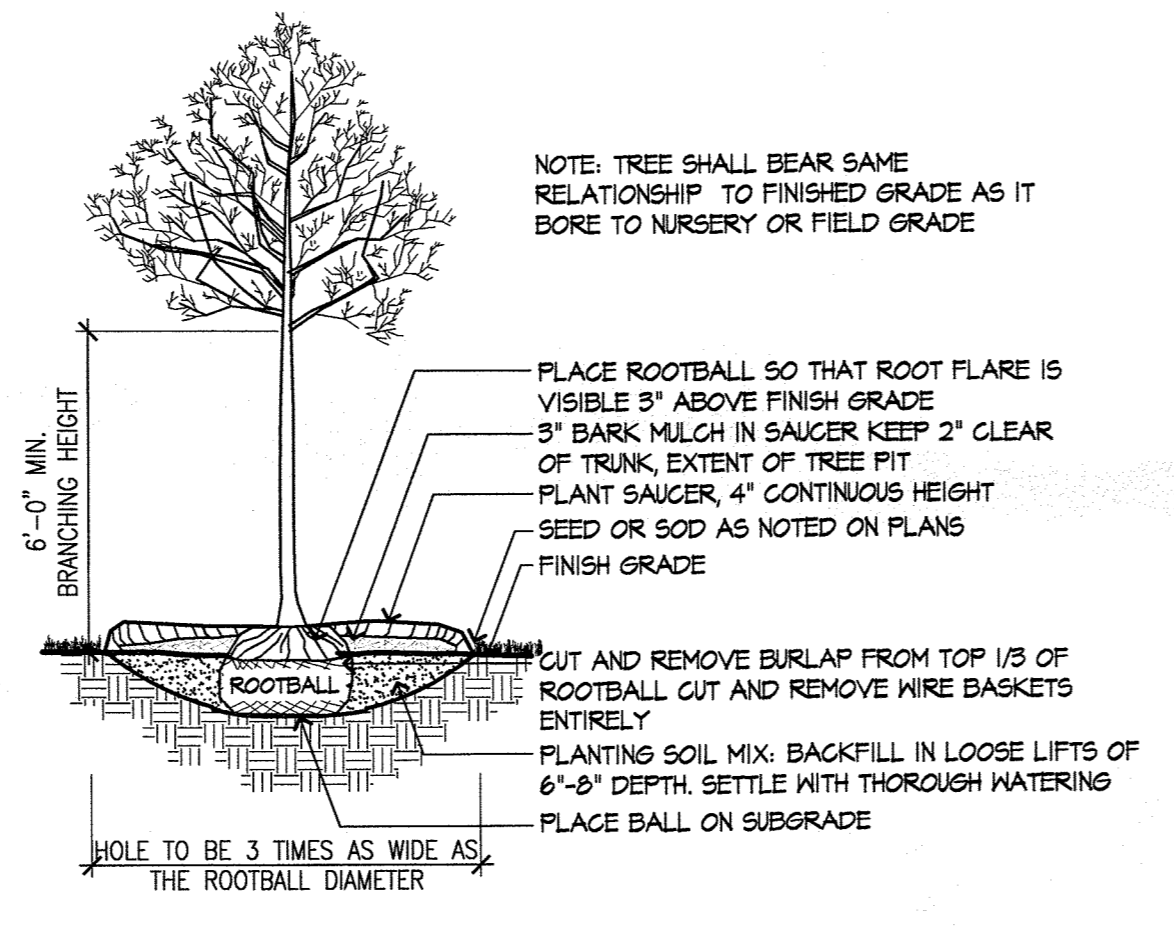
1 CEDAR BOARD FENCE  
SCALE: NTS



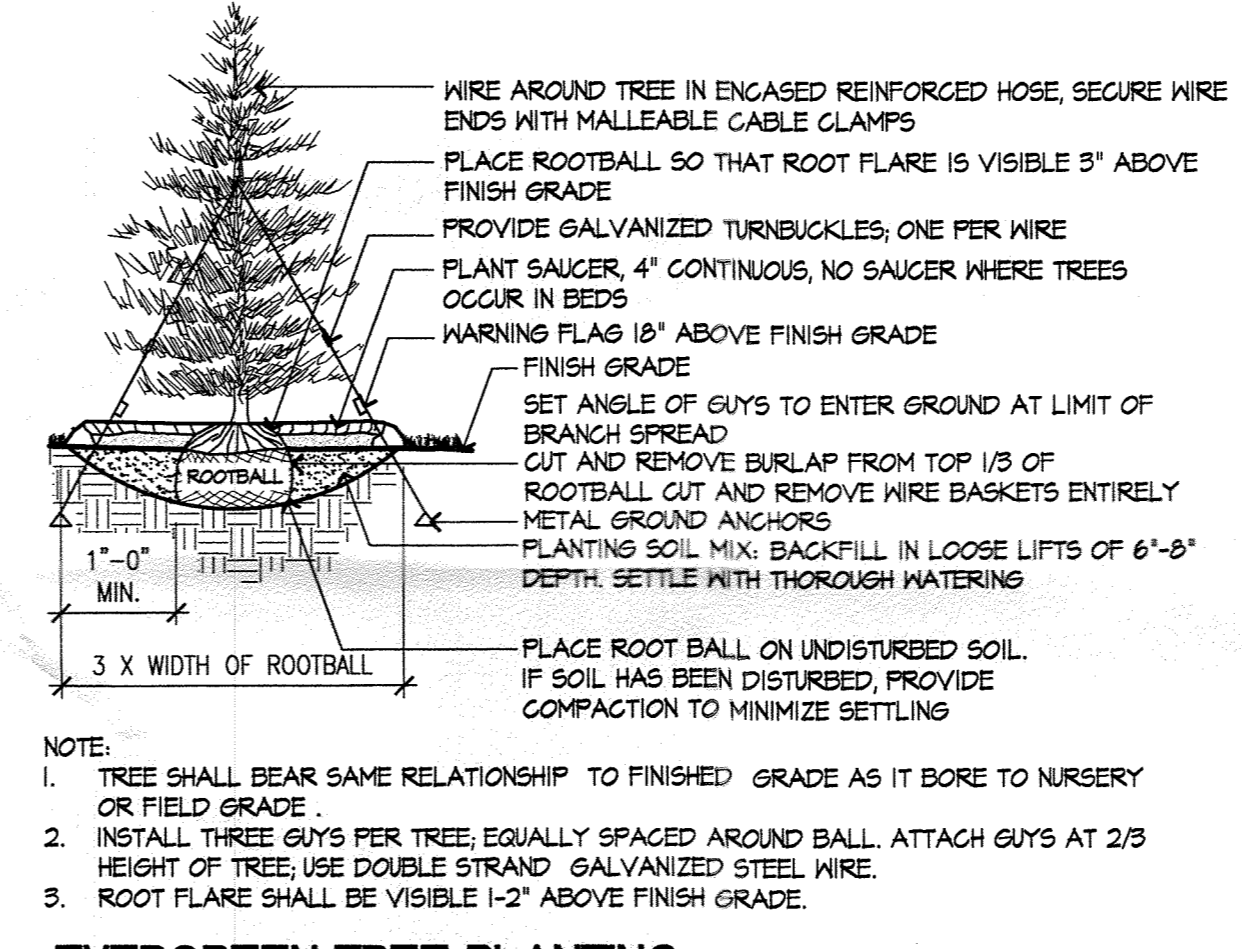
2 UNIT PAVER ON CONCRETE BASE  
SCALE: NTS



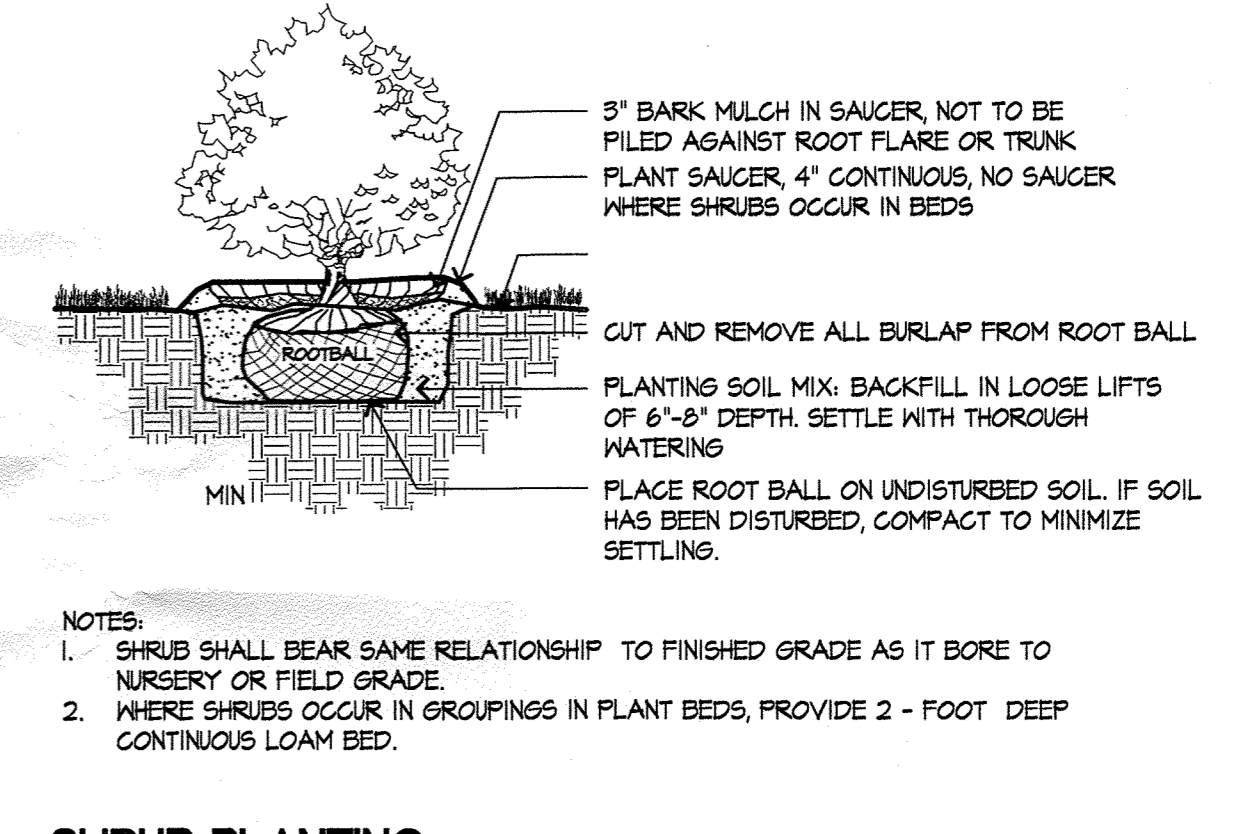
3 BOLLARD  
SCALE: NTS



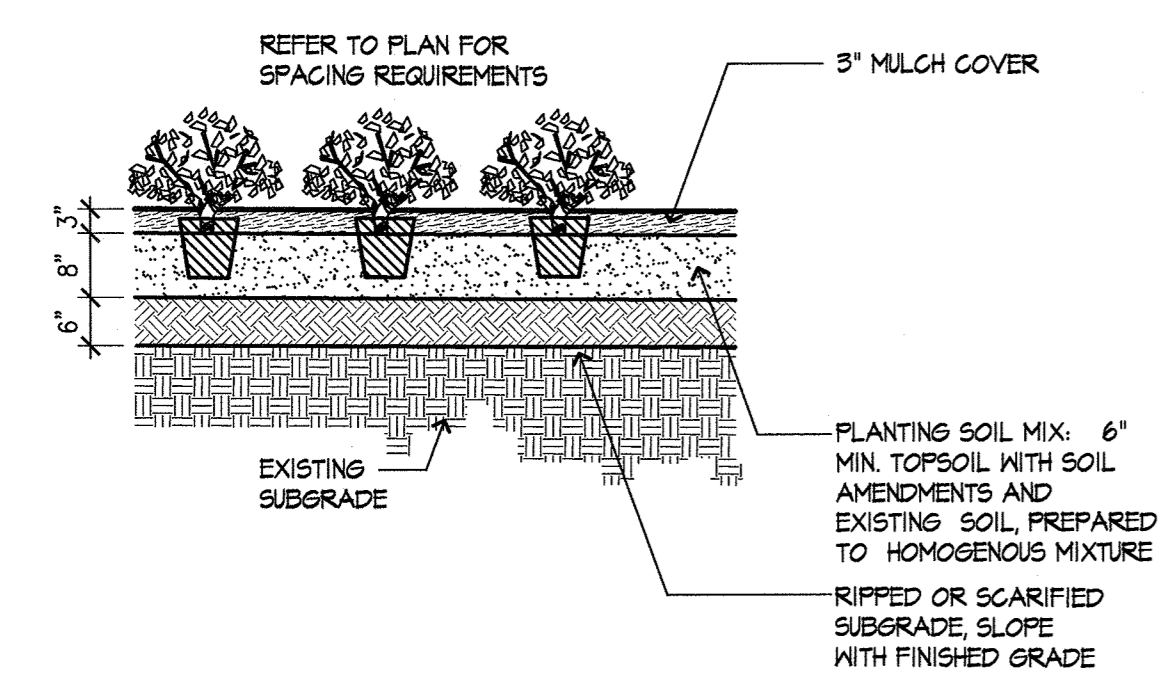
4 DECIDUOUS TREE PLANTING  
SCALE: NTS



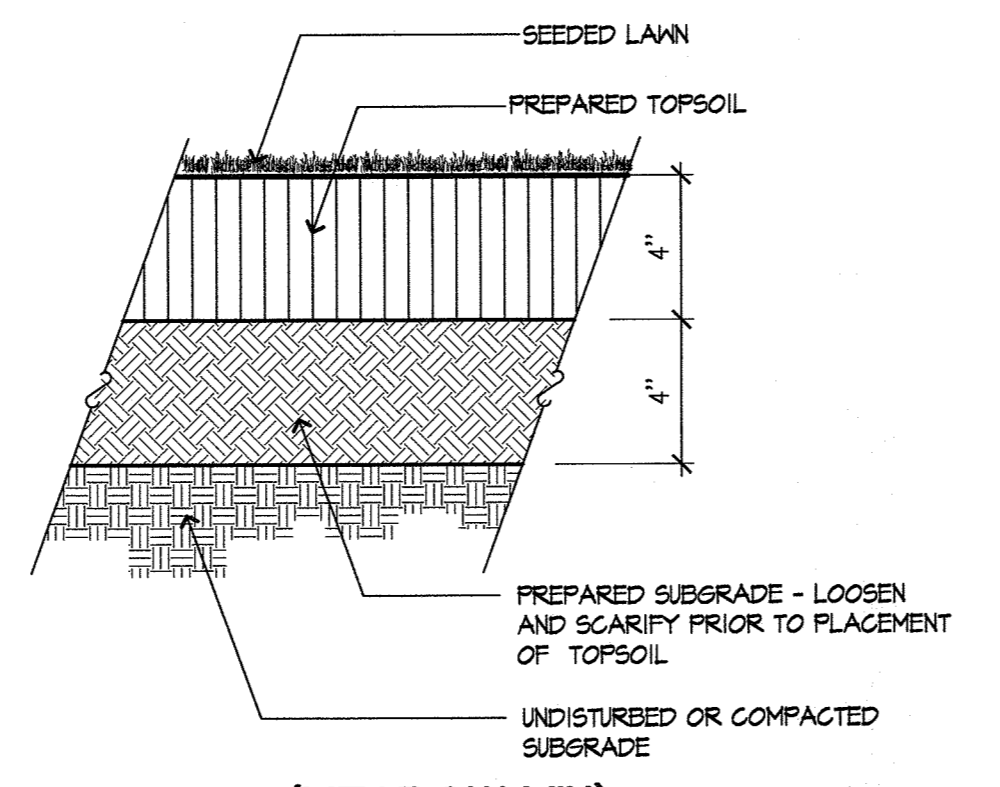
5 EVERGREEN TREE PLANTING  
SCALE: NTS



6 SHRUB PLANTING  
SCALE: NTS

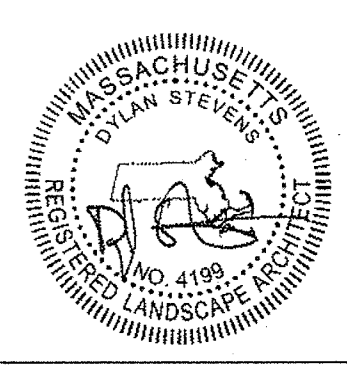


7 GROUNDCOVER PLANTING  
SCALE: 1\"/>



8 LOAM AND SEED (MEADOW MIX)  
SCALE: 1\"/>

REVISIONS:

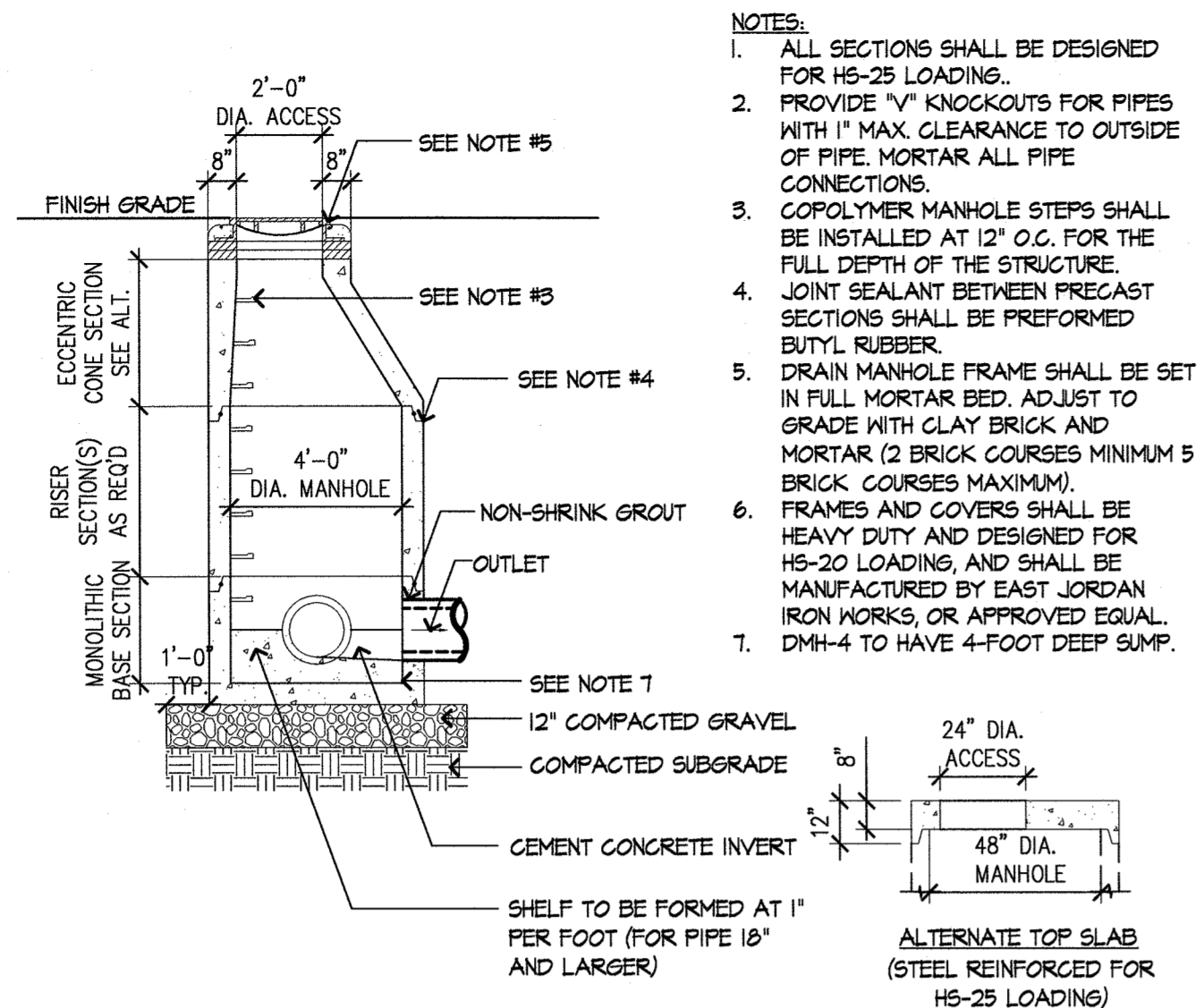


ORIGINAL ISSUE  
12/20/2021  
SCALE:

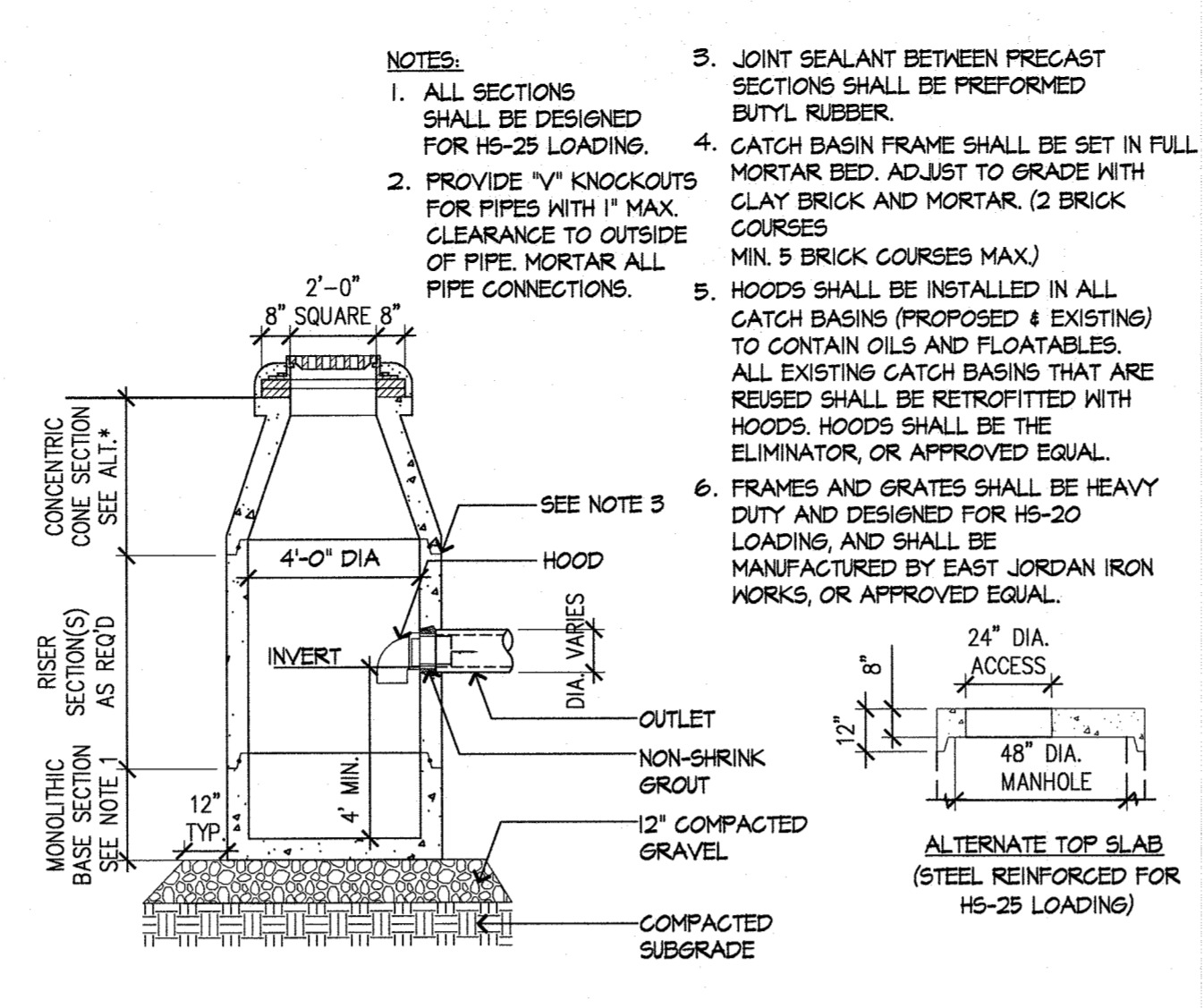
SITE DETAILS

L-602

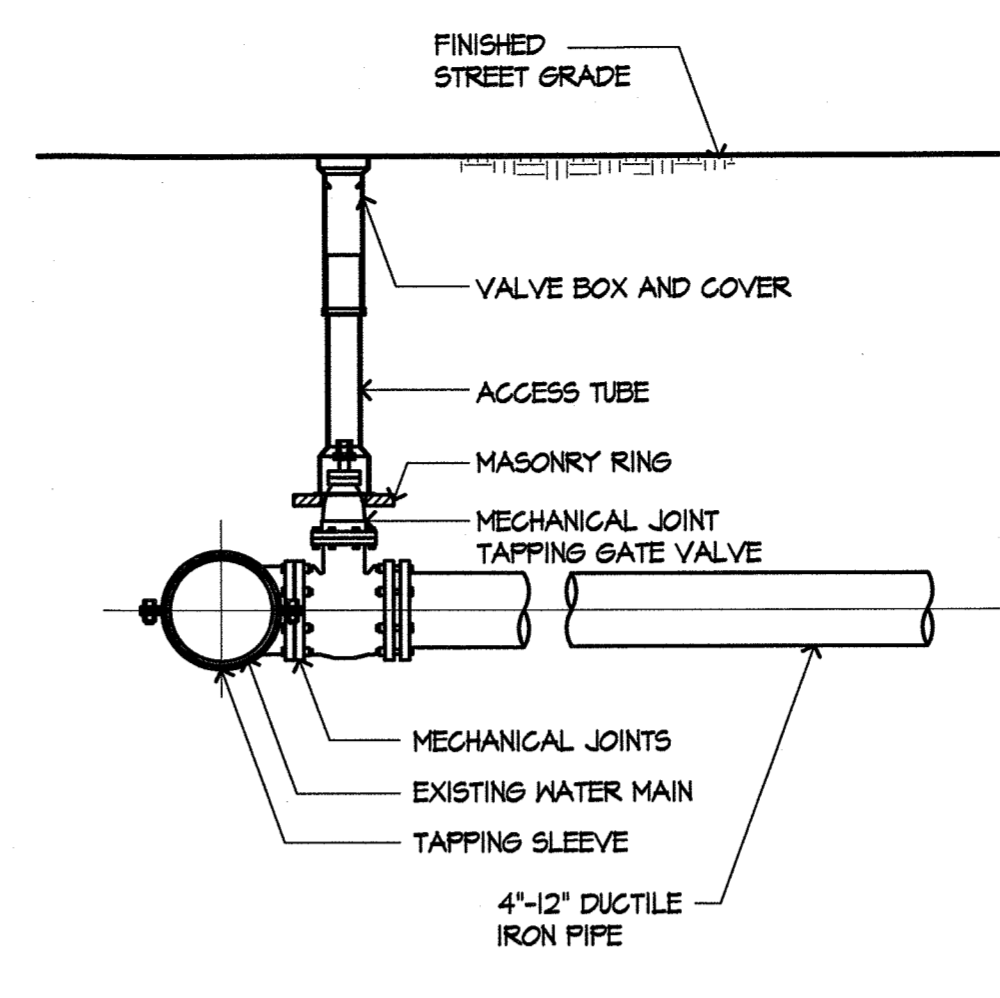
13 11 20



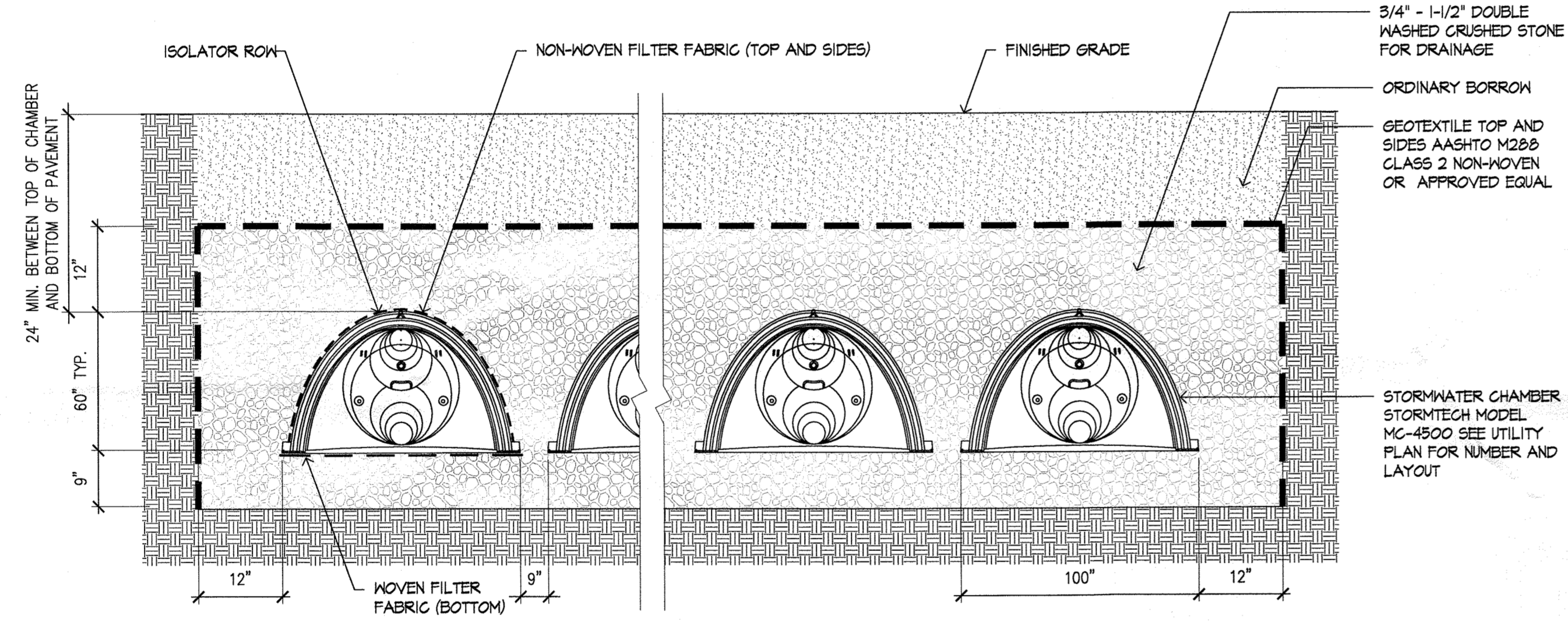
**1** DRAIN MANHOLE (TYP.)  
NOT TO SCALE



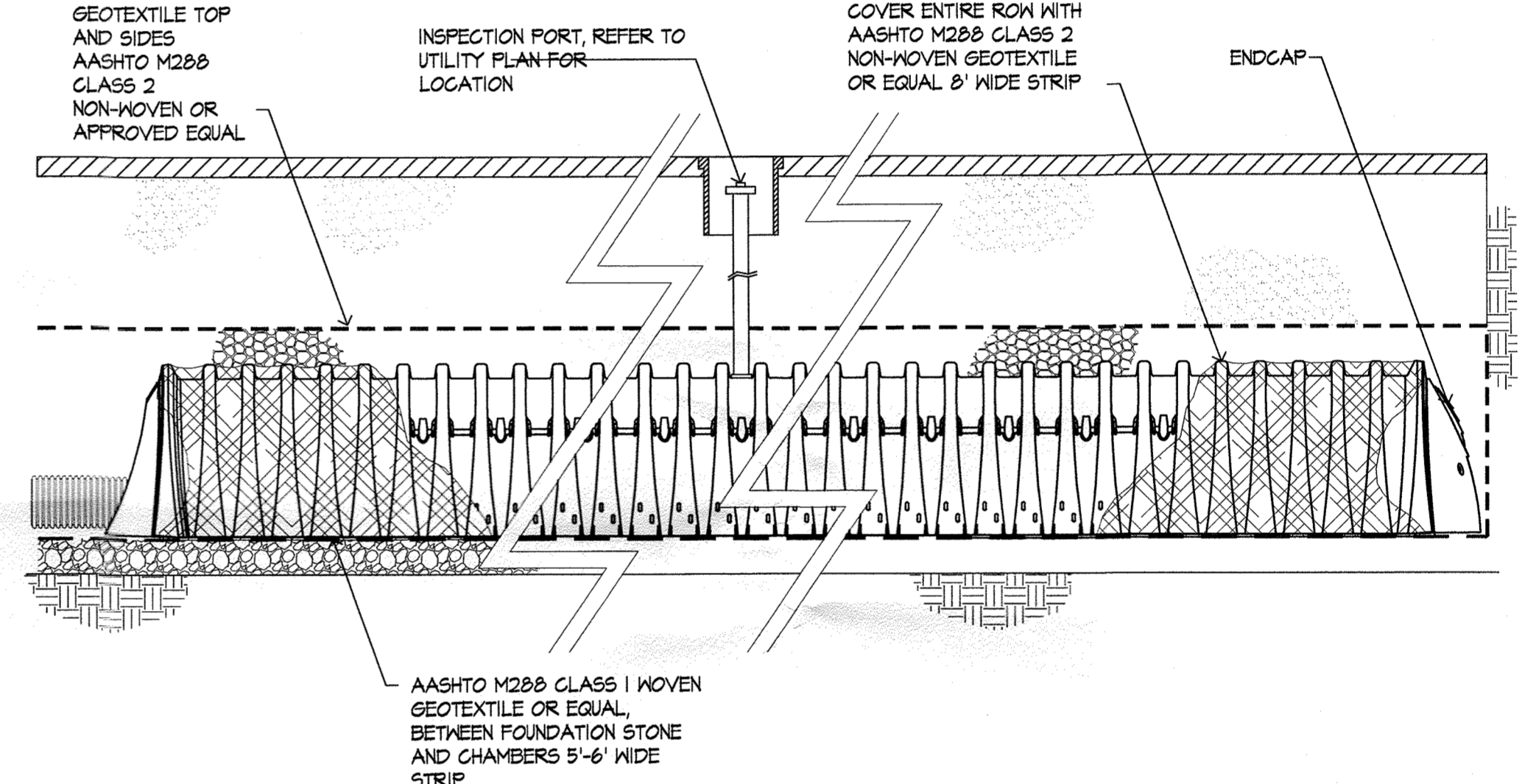
**2** NEW/PROPOSED CATCH BASIN  
NOT TO SCALE



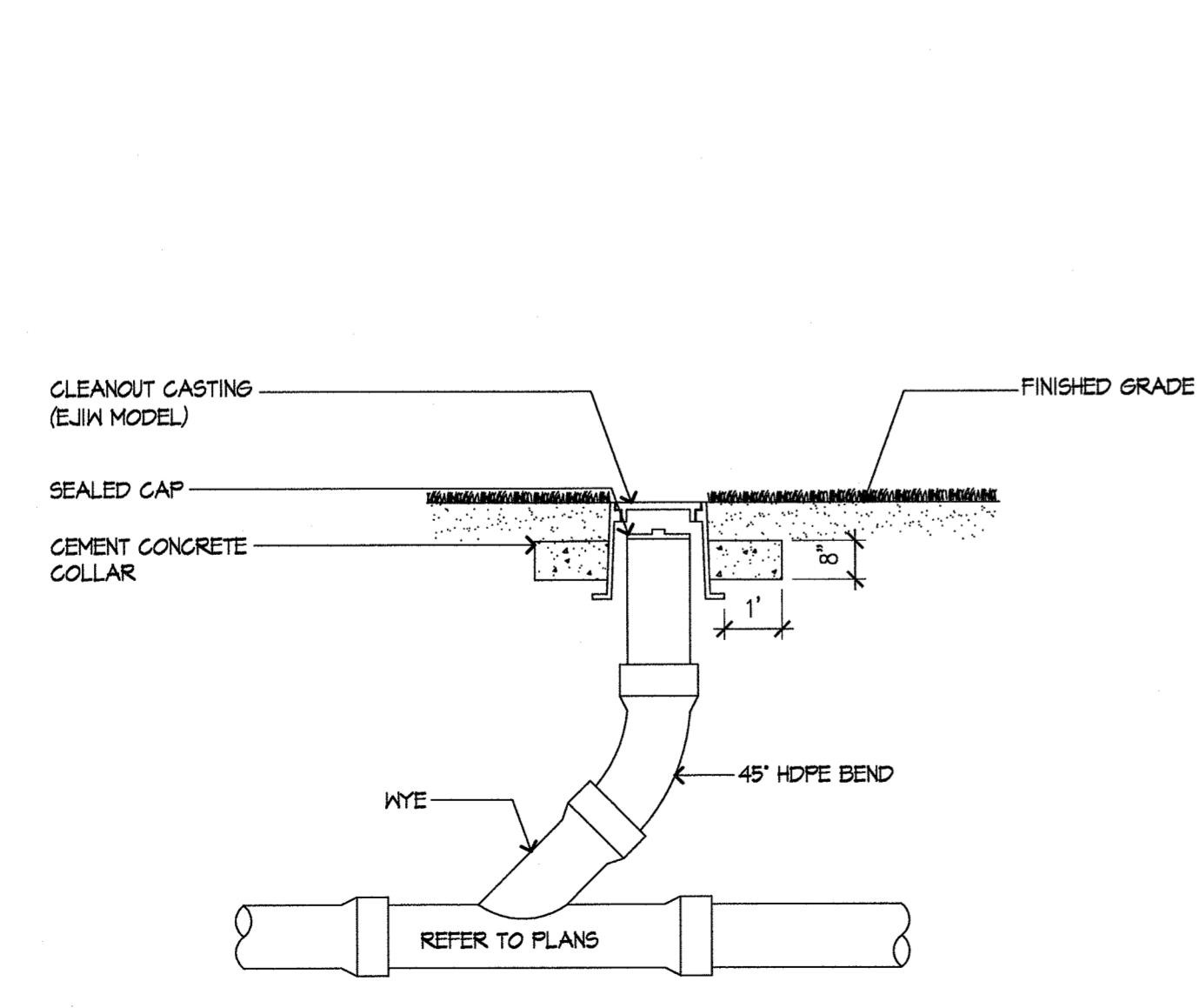
**3** TAPPING SLEEVE AND VALVE  
SCALE: NTS



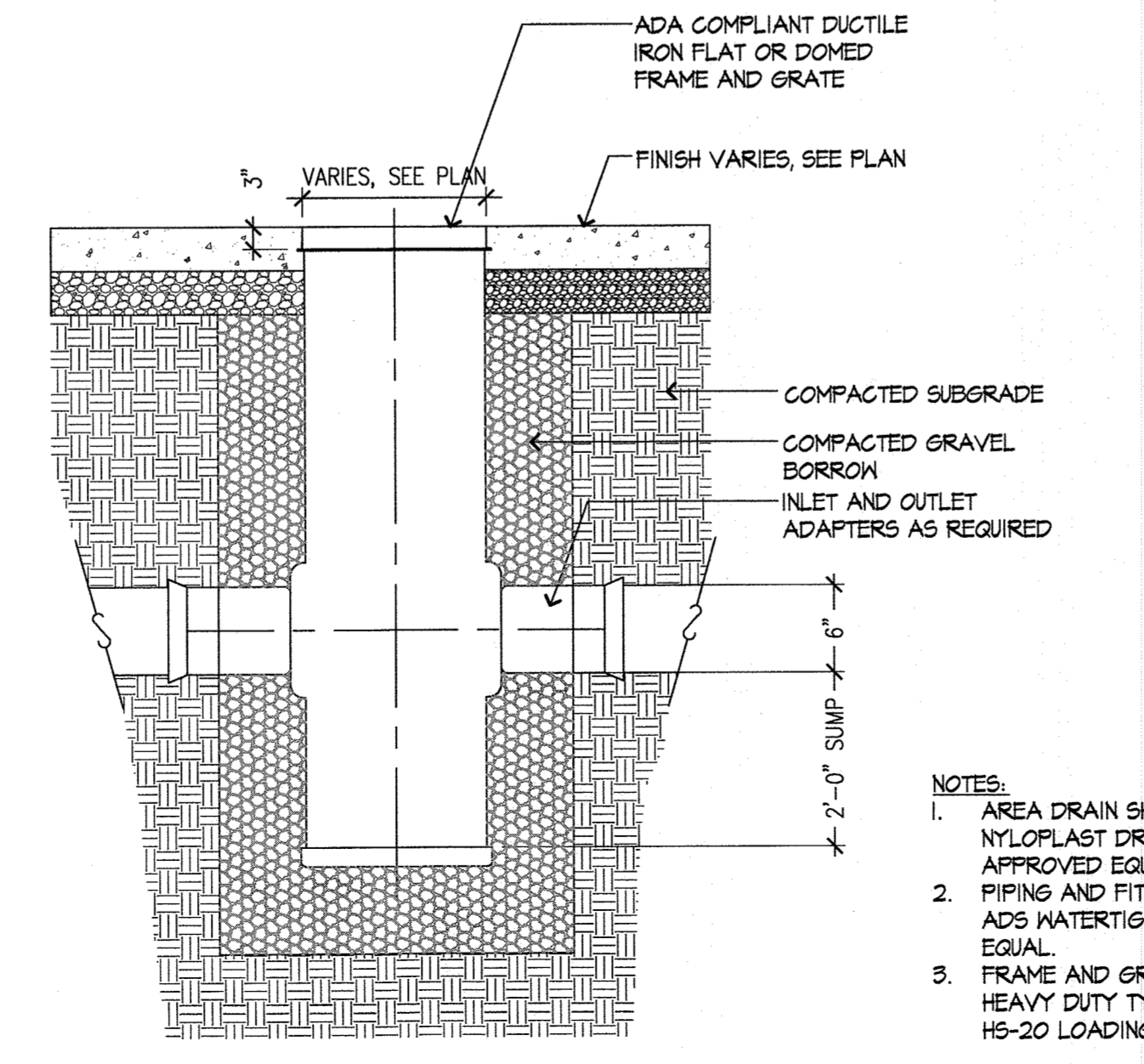
**4** SUBSURFACE INFILTRATION SYSTEM SECTION  
SCALE: NTS



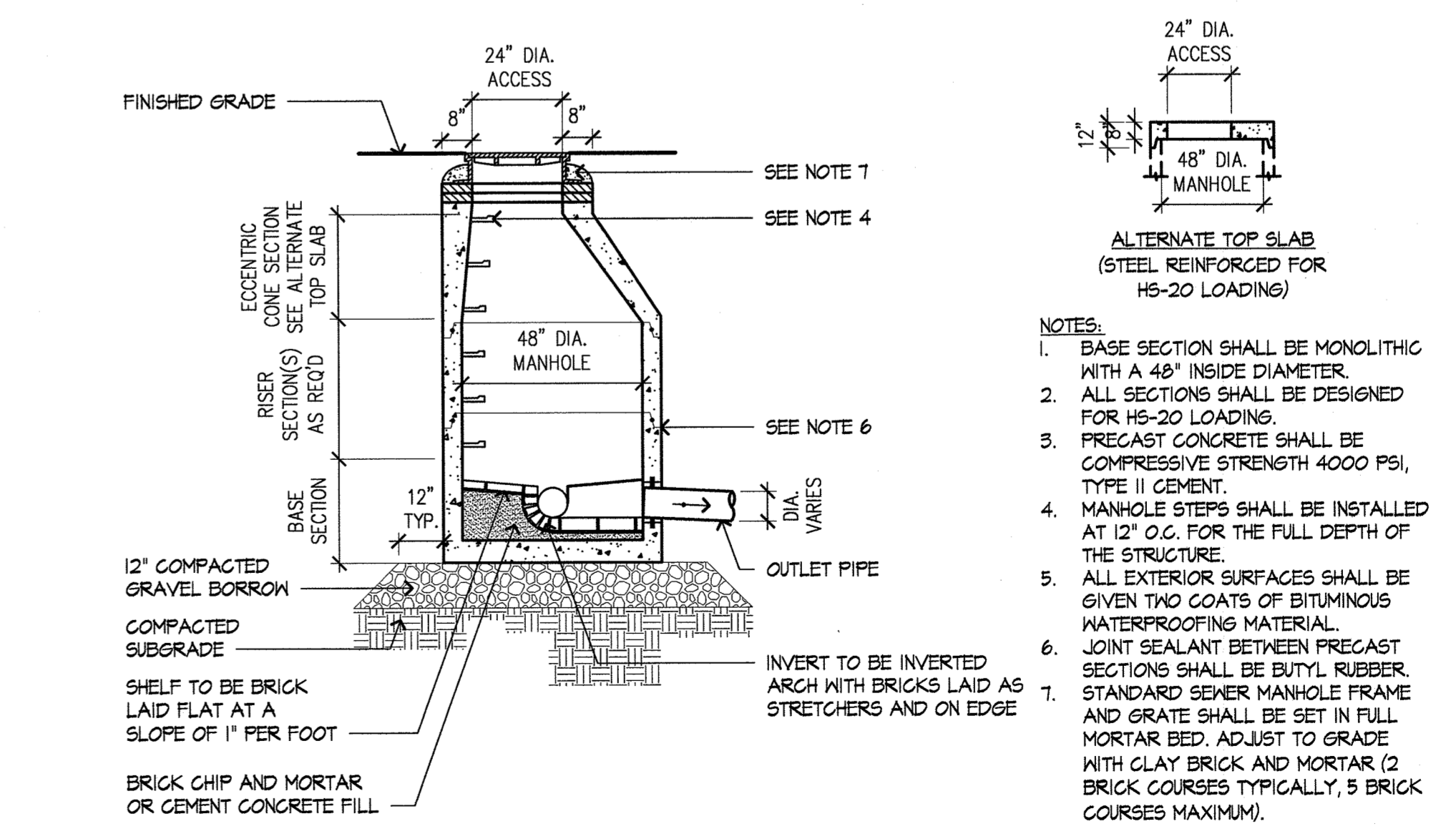
**5** SUBSURFACE INFILTRATION SYSTEM  
SCALE: NTS



**6** DRAINAGE CLEANOUT  
SCALE: N.T.S.



**7** AREA DRAIN  
SCALE: N.T.S.



**9** SANITARY SEWER MANHOLE  
SCALE: NTS

REVISIONS:



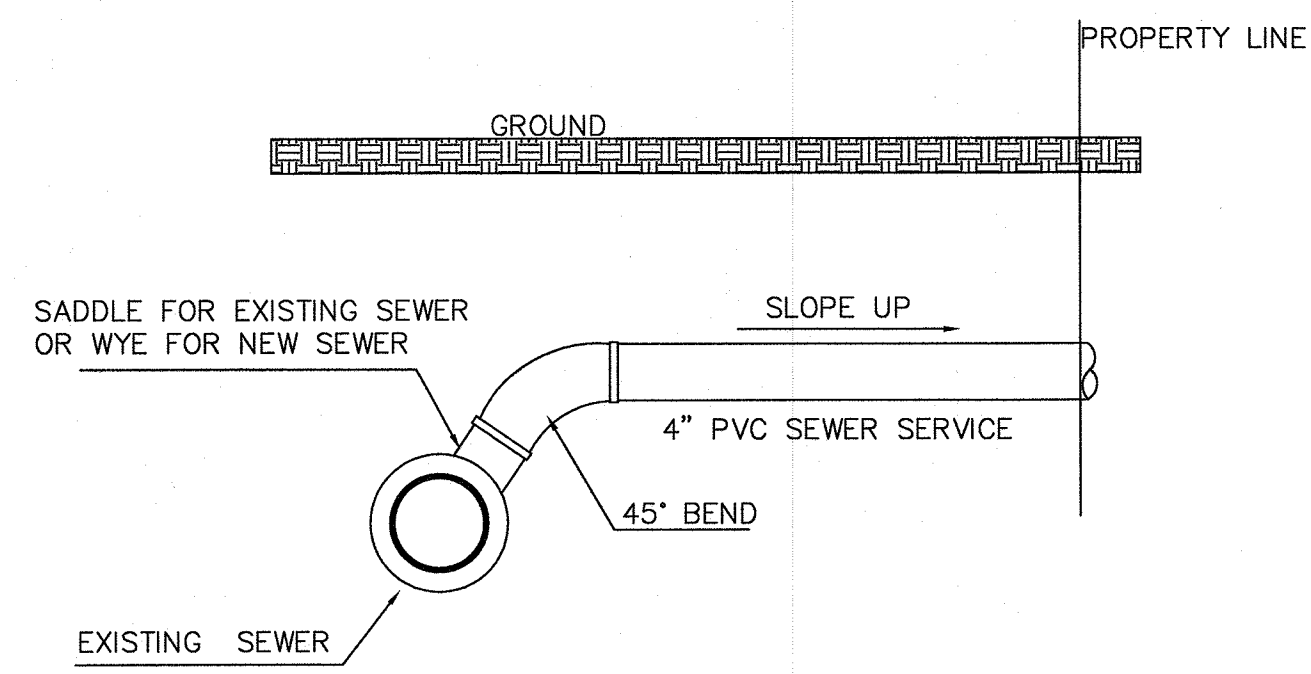
ORIGINAL ISSUE:  
12/20/2021

UTILITY DETAILS

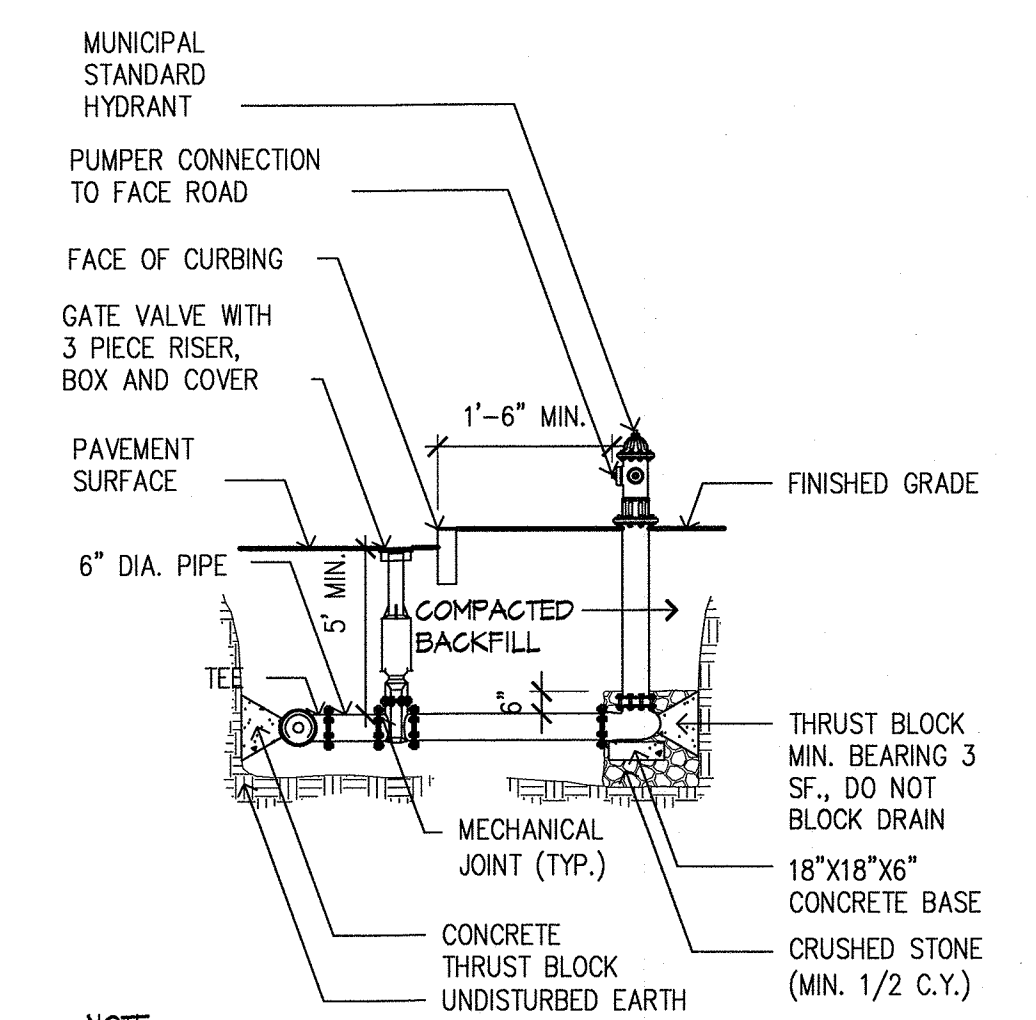
C-603

REV

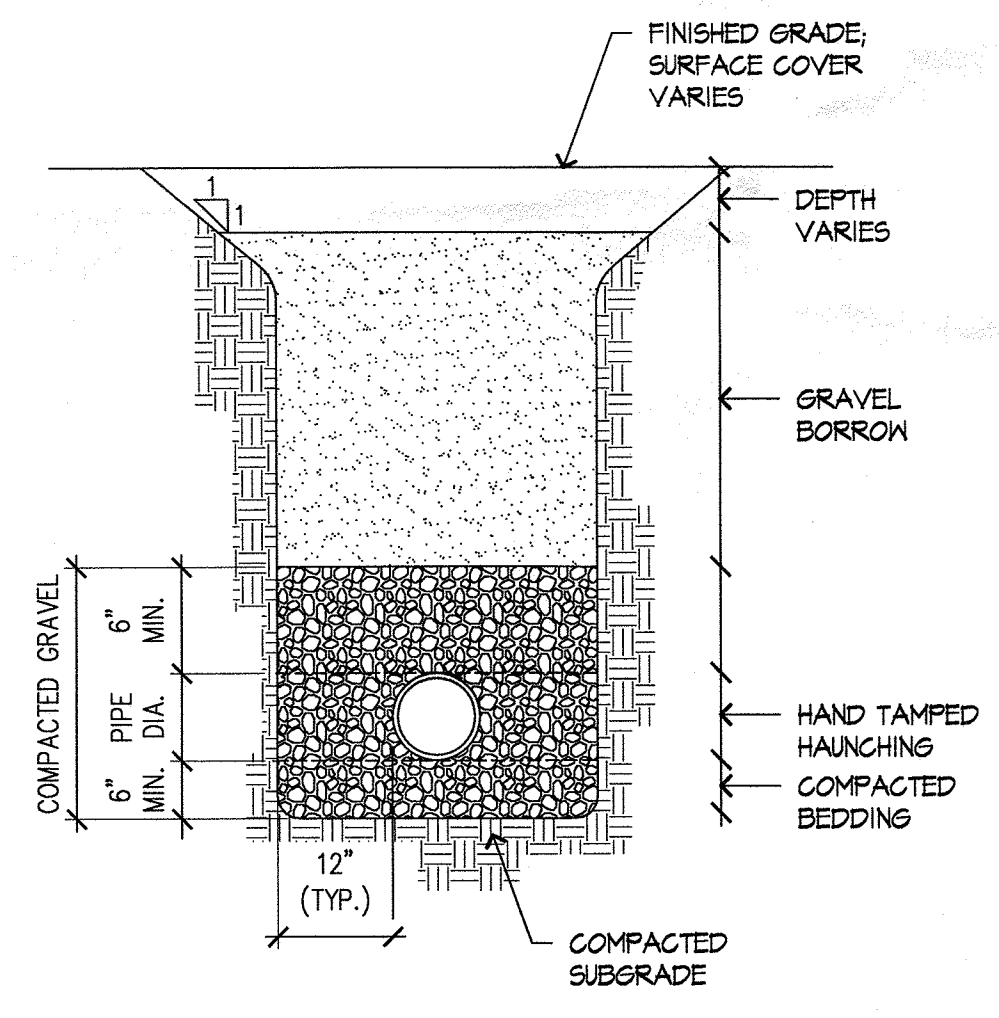
14th 20



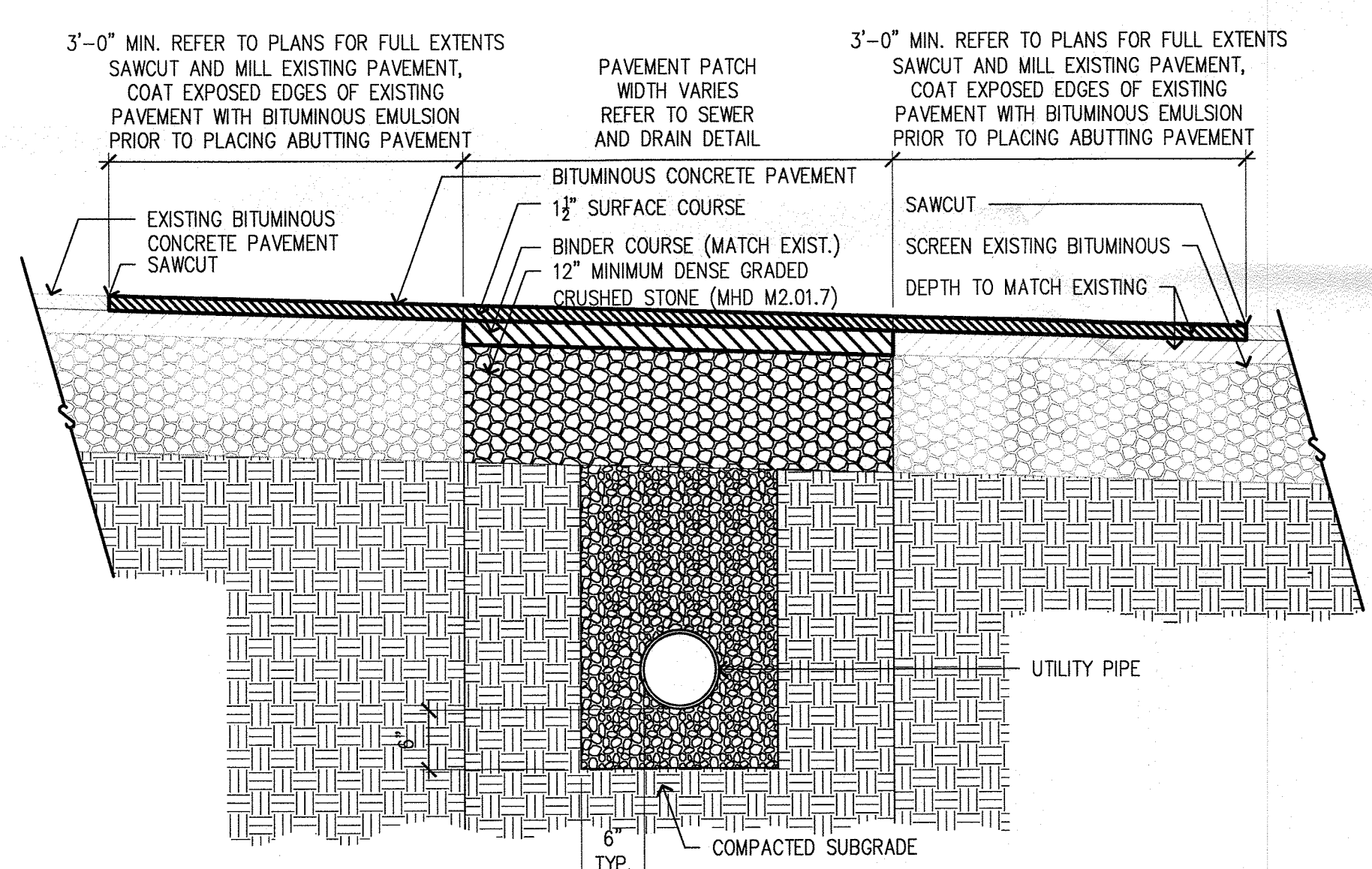
**1 SEWER SERVICE CONNECTION**  
SCALE: NTS REV



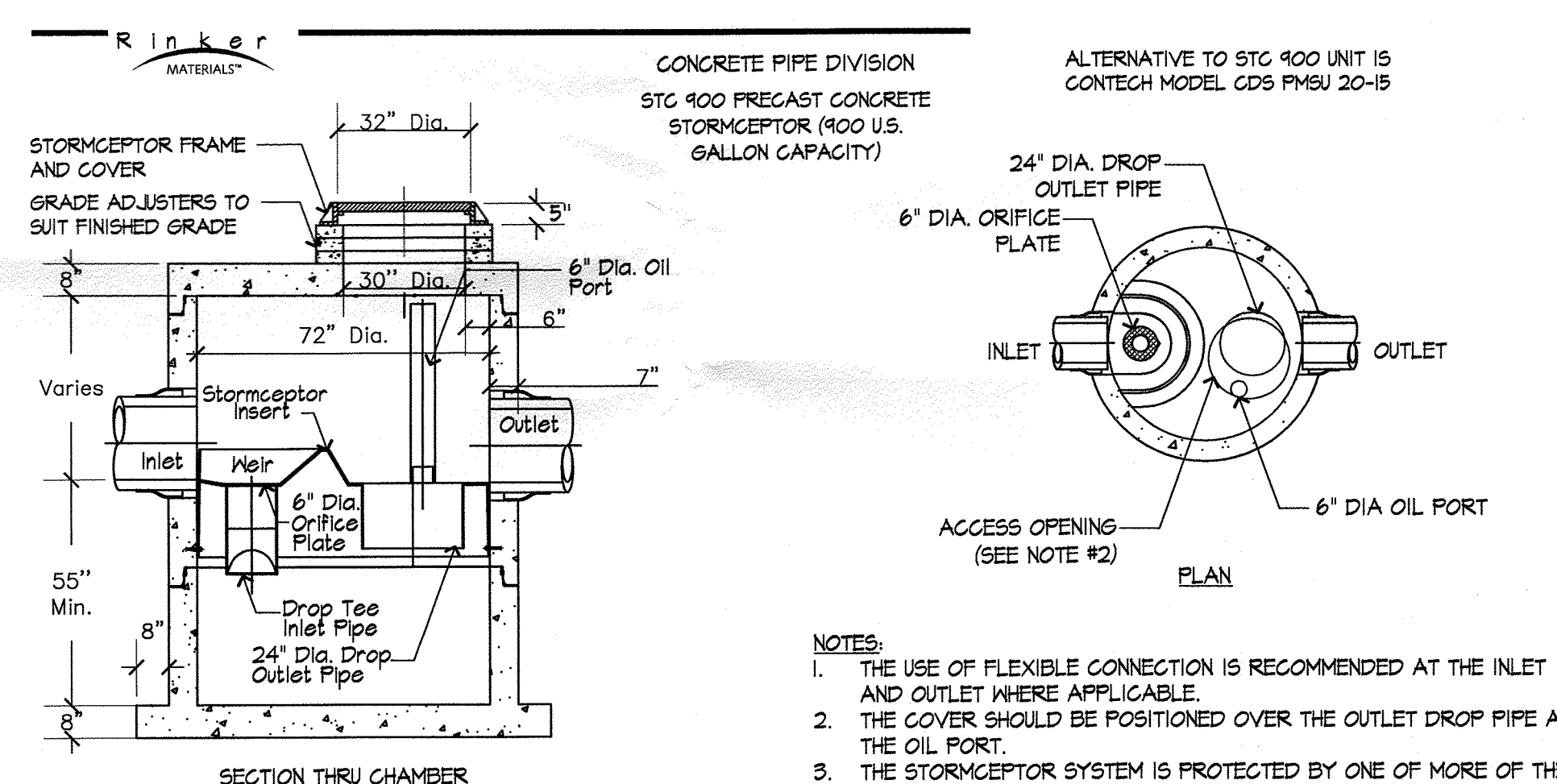
**2 HYDRANT CONNECTION**  
SCALE: NTS REV



**3 UTILITY TRENCH**  
SCALE: NTS REV



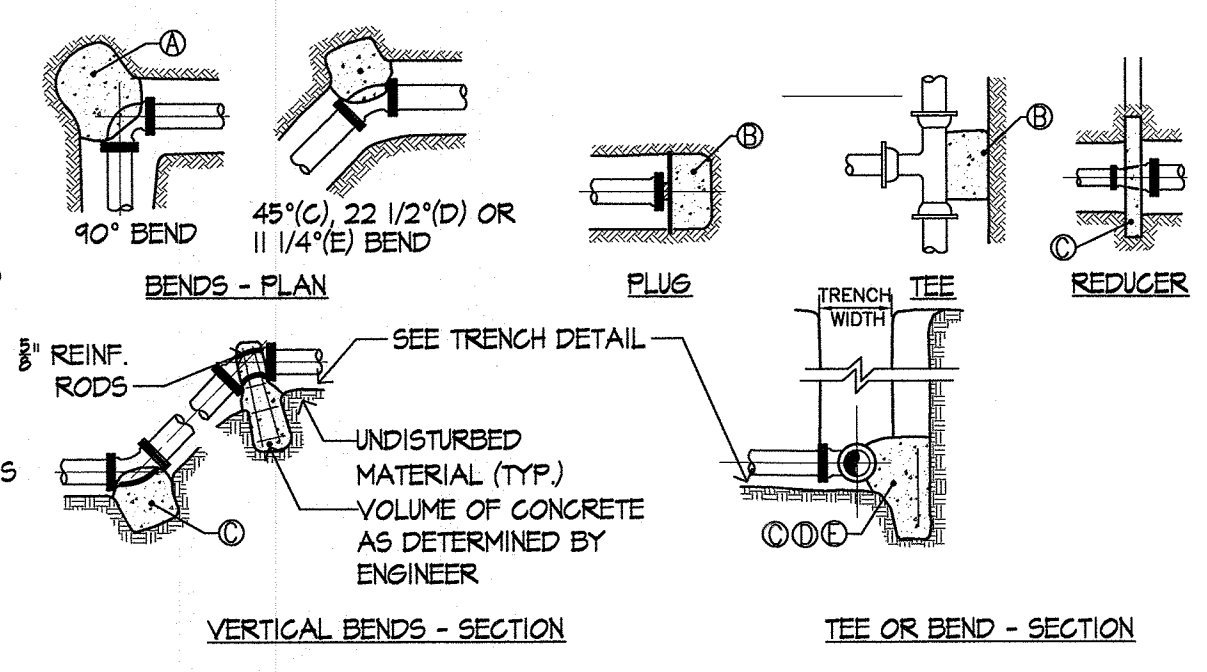
**4 UTILITY TRENCH AND PAVEMENT PATCH**  
SCALE: NTS REV



**5 STORMCEPTOR 900**  
SCALE: NTS REV

- NOTES:
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
  2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.
  3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OF MORE OF THE FOLLOWING U.S. PATENTS: #4485148, #5448331, #5125160, #5753115, #5849118, #6068765, AND #6316190.
  4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THE DRAWING.
  5. SEE TABLE 2 FOR INLET AND OUTLET PIPE SIZES.

- NOTES:
1. FOUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
  2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  3. PLACE SOLID CONCRETE BLOCKS IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCK.
  4. REQUIREMENTS OF THE ABOVE TABLE PRESUME MINIMUM SOIL BEARING OF 1 TON PER SQUARE FOOT, AND MAY BE VARIED BY THE ENGINEER TO MEET OTHER CONDITIONS ENCOUNTERED.
  5. MEGA-LUG RETAINER GLANDS ARE REQUIRED FOR ALL MECHANICAL JOINTS. THESE GLANDS DO NOT REDUCE THE REQUIREMENTS FOR THRUST RESTRAINT.
  6. ALL FITTINGS SHALL BE WRAPPED IN POLYETHYLENE OR BUILDING PAPER PRIOR TO INSTALLATION OF CONCRETE RESTRAINT.
  7. THREADED ROD SHALL BE ANSI A242 F150 PIPE RESTRAINT NUTS TO MATCH ANNA GILL THREADED RODS AND NUTS TO BE FIELD COATED WITH BITUMINOUS PAINT.
  8. THRUST RESTRAINT IS REQUIRED FOR ALL TEES, BENDS, REDUCERS, CAPS, PLUGS, OR CROSSES.
  9. INSTALL LIFT HOOKS INTO THRUST BLOCKS AT END CAPS AND PLUGS.



TYPE REACTION	PIPE SIZE	
	4"	8"
(A)	1.78	7.84
(B)	1.30	5.52
(C)	0.96	4.24
(D)	0.50	2.16
(E)	0.26	1.08

ABOVE DIMENSIONS ARE MINIMUM THRUST BLOCK SIZES. THEY HAVE BEEN CALCULATED USING A PRESSURE OF 200 PSI.

TEST PRESSURE TO BE 150 PSI MIN. OR AS REQUIRED BY CITY OF NEWTON.

SQUARE FEET OF CONCRETE THRUST BLOCKING FOR OTHER TEST PRESSURES IS DIRECTLY PROPORTIONAL TO THE ABOVE TABLE. FOR INSTANCE, AT 225 PSI TEST PRESSURE ABOVE NUMBERS SHOULD BE MULTIPLIED BY 1.125 (225 PSI/200 PSI=1.125).

**6 THRUST BLOCK**  
SCALE: NTS

REVISIONS:






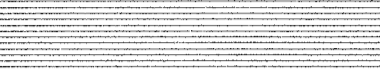
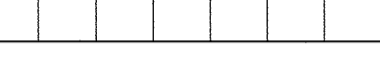






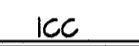



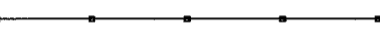
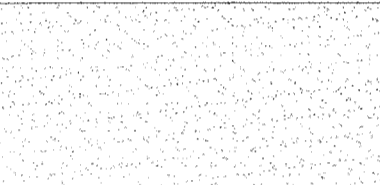
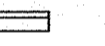
ORIGINAL ISSUE:  
12/20/2021

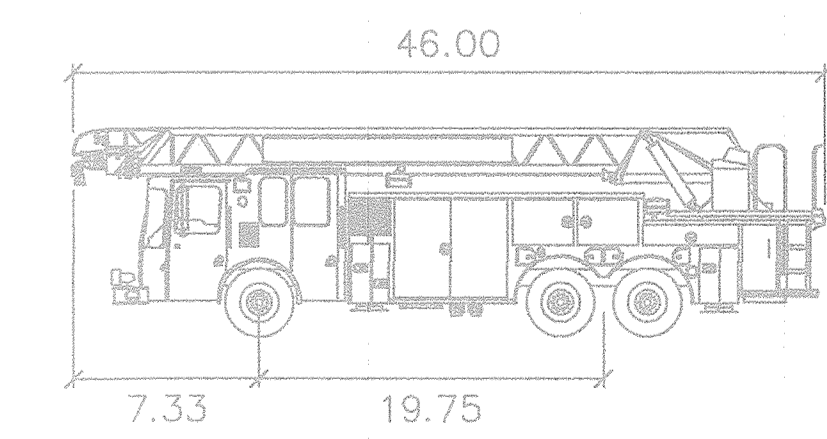
UTILITY DETAILS

C-604

157 20

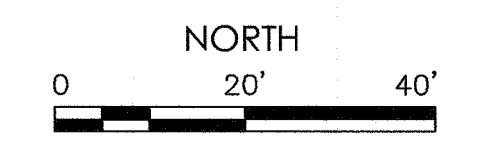
**LEGEND**

-  PROPERTY LINE
-  UNIT PAVER
-  UNIT PAVER- VEHICULAR
-  COMPOSITE DECKING
-  CEMENT CONCRETE PAVEMENT
-  VGC
-  VERTICAL GRANITE CURB
-  FGC
-  FLUSH GRANITE CURB
-  PCC
-  PRECAST CONCRETE CURB
-  ICC
-  INTEGRAL CONCRETE CURB
-  LED POLE LIGHT
-  LED BOLLARD LIGHT
-  CEDAR BOARD FENCE (4' OR 6' HT, REFER TO PLAN)
-  LANDSCAPED AREA
-  BENCH



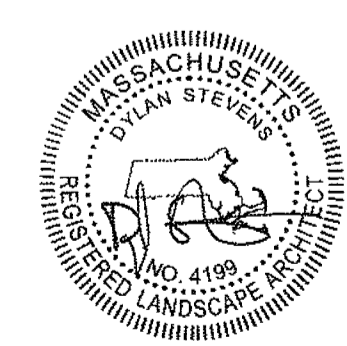
Waltham Fire

	feet
Width	: 8.07
Track	: 8.07
Lock to Lock Time	: 4.0
Steering Angle	: 39.9



1608

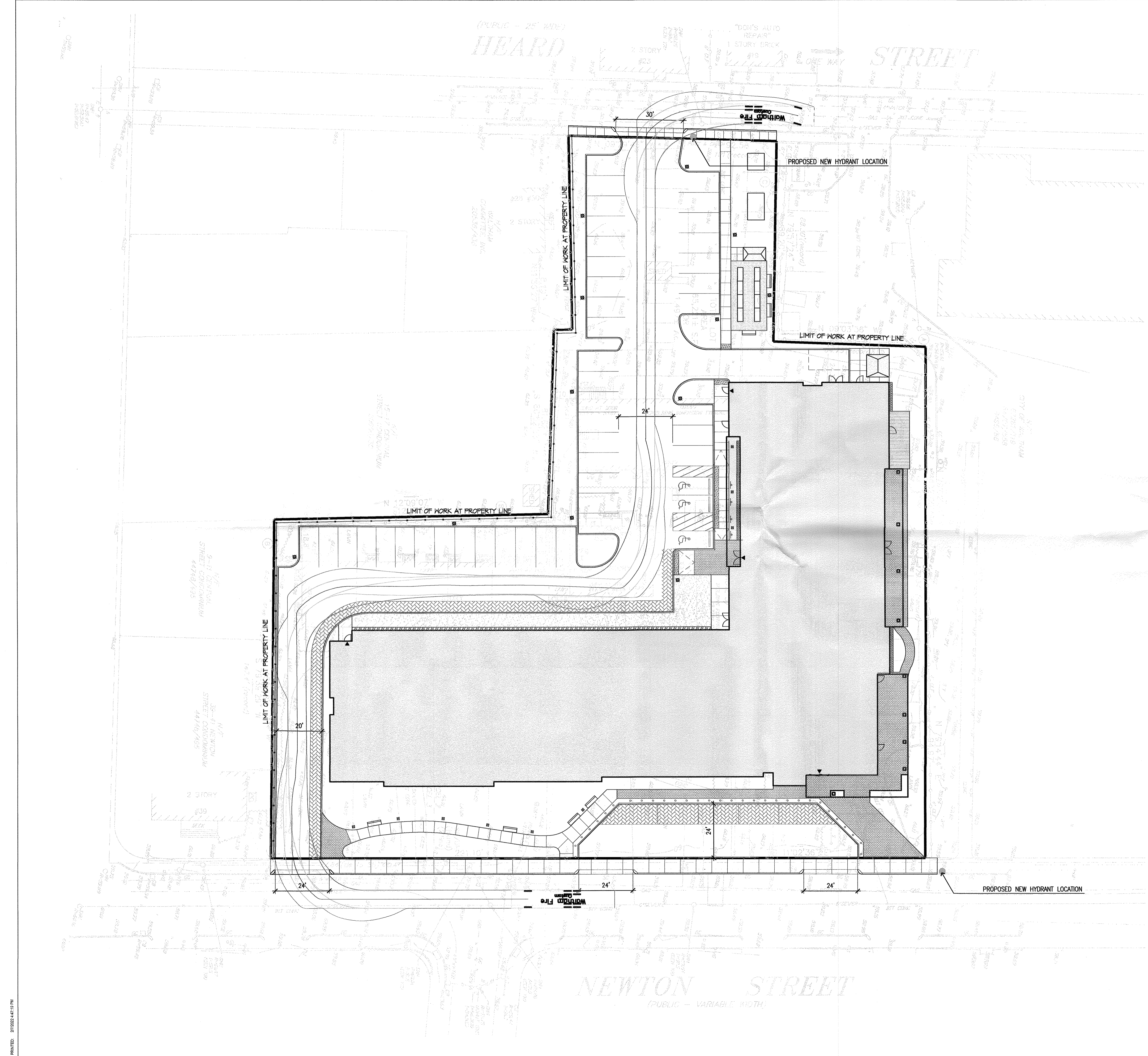
REVISIONS:  
02/14/2022 COMP PERMIT



ORIGINAL ISSUE  
02/09/2022  
SCALE:

FIRE DEPARTMENT  
EXHIBIT

L-701  
© 2021 PCA



# EXISTING



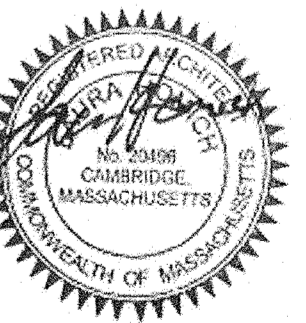
1 EXISTING AERIAL VIEW  
SCALE: 1" = 40'-0"

# PROPOSED



2 PROPOSED AERIAL VIEW  
SCALE: 1" = 40'-0"

REVISIONS:  
02/09/2022 COMP PERMIT  
02/14/2022 COMP PERMIT



ORIGINAL ISSUE:  
12/20/2021

SCALE: 1" = 40'-0"

AERIAL  
PHOTOS

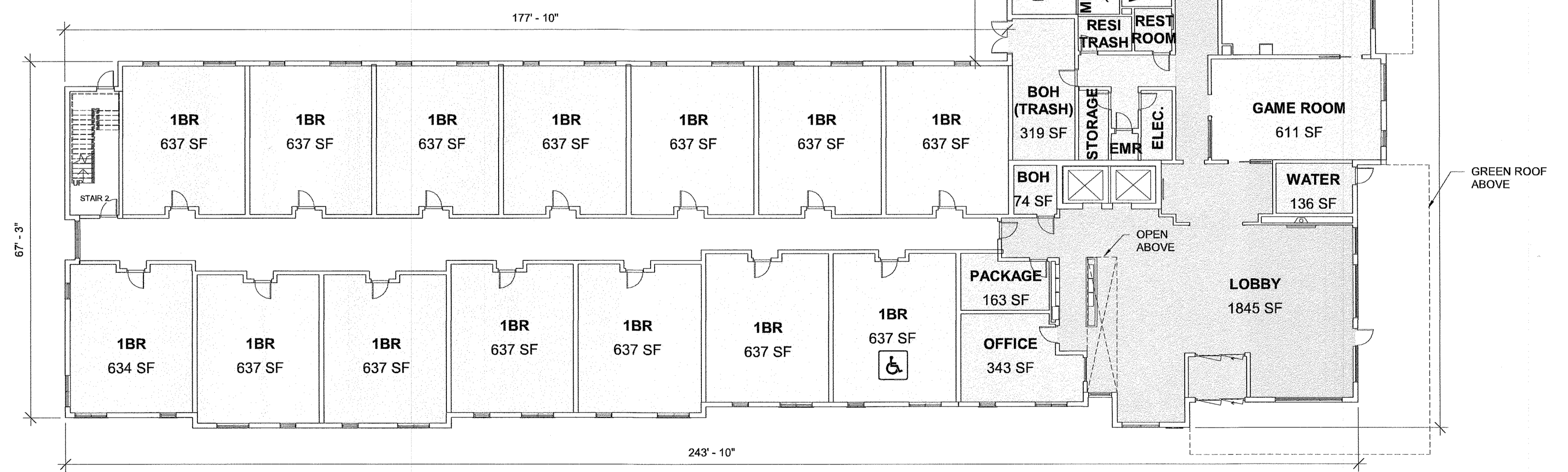
A1-01

UNIT MIX		
	1 BR	2 BR
LEVEL 1	14	0
LEVEL 2	26	1
LEVEL 3	26	1
SUBTOTAL	66	2
<b>TOTAL UNITS</b>	<b>68</b>	

AVG SF	
1 BR	645 SF
2 BR	862 SF

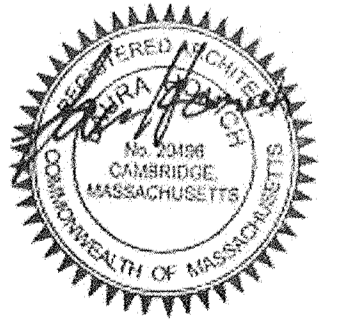


**LEVEL 2 FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**GROUND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

REVISIONS:  
02/09/2022 COMP PERMIT  
02/14/2022 COMP PERMIT



ORIGINAL ISSUE:  
12/20/2021

SCALE: 1/16" = 1'-0"

FLOOR PLANS

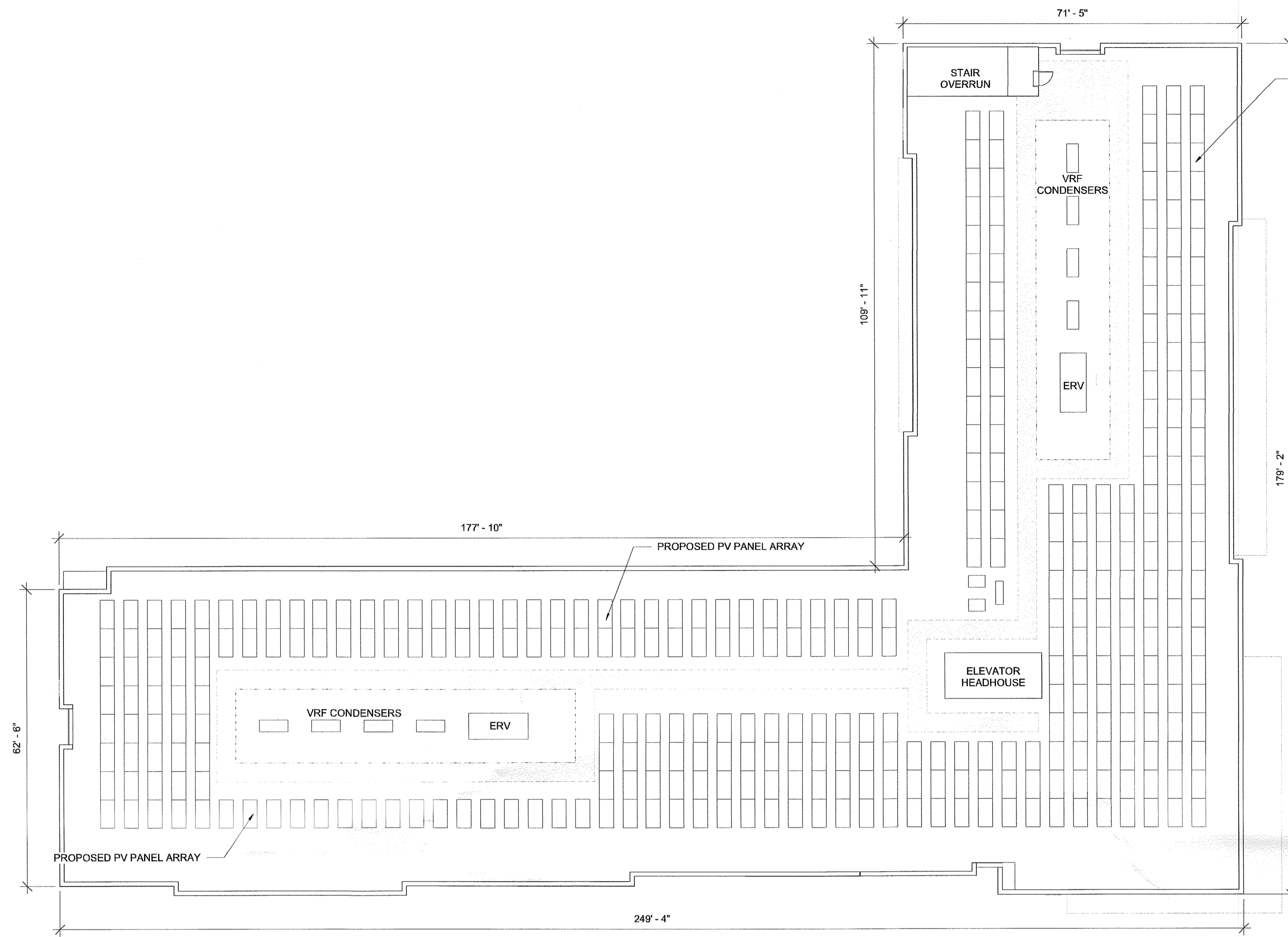
A1-10

18 of 20



UNIT MIX		
	1 BR	2 BR
LEVEL 1	14	0
LEVEL 2	26	1
LEVEL 3	26	1
SUBTOTAL	66	2
<b>TOTAL UNITS</b>	<b>68</b>	

AVG SF	
1 BR	645 SF
2 BR	862 SF



**ROOF FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**LEVEL 3 FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

REVISIONS:  
02/09/2022 COMP PERMIT  
02/14/2022 COMP PERMIT

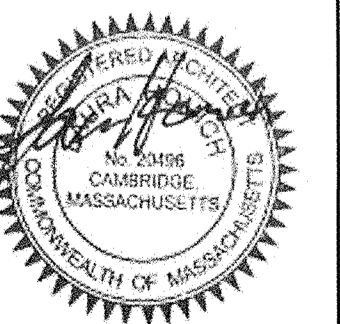


ORIGINAL ISSUE:  
12/20/2021  
SCALE: 1/16" = 1'-0"

FLOOR PLANS

A1-11

19th 20



2020