

THE CITY OF WALTHAM
MASSACHUSETTS

PURCHASING DEPARTMENT

**PHASE II RENOVATIONS TO THE FORMER BANKS SCHOOL ELDERLY HOUSING
CONDOMINIUMS AND
PHASE III RENOVATIONS TO THE FORMER BANKS SCHOOL ELDERLY HOUSING
CONDOMINIUMS**

GENERAL BID & FILED SUB BIDDERS

ADDENDUM NO. 8

September 27, 2012

CHANGES, CORRECTIONS AND CLARIFICATIONS

The following items shall modify or be added to the Bid Documents and Project Manual. This addendum forms part of the Contract Documents and modifies the original bidding documents. Portions of the Bidding and Contract Documents not altered by this addendum remain in full force.

These addendum form part of the Contract Documents and as such, **ALL BIDDERS SHOULD ACKNOWLEDGE IT IN SECTION A ON THE FORM FOR GENERAL BID AND IN SECTION B ON THE FORM FOR SUB-BID. FAILURE TO DO SO COULD RESULT IN THE REJECTION OF YOUR BID.**

ITEM 1. ANSWERS TO POSED QUESTIONS

Q1. Addenda #7 states work of 02081 is part of bid. Please provide quantities of hazardous materials to be removed. It should not be expected that bidders have to look for every item described in the above referenced section in order to put together a bid. Quantities should be given so all bidders are bidding on the same thing. The items listed could also be as easily done under the separate abatement contract

A1. Please build in your price an allowance of \$5,000 for this work

Q2. There are no plans or specs for the fire escape work. Please provide details

A2. See attached Drawing. Include the price for this work as **ALTERNATE TWO (2) IN THE ATTACHED SHEET**

End of Addendum 8

**EXISTING BUILDING
BANKS SCHOOL
CONDOMINIUMS**

948 MAIN STREET
WALTHAM, MASS

**PROPOSED NEW ROOF OVER
EXISTING FIRE ESCAPE**

General Notes :

1. IBC=INTERNATIONAL BUILDING CODE, 2009 EDITION SHALL BE ADHERED TO AND FOLLOWED BY ALL CONTRACTORS AND BUILDERS WORKING ON THE JOB UNLESS SPECIFICALLY NOTED OTHERWISE IN THE ADMINISTRATION, APPLICATIONS, CHAPTER 1, THRU CHAPTER 35, WITH ALL APPENDICES A THRU K. IT IS IMPORTANT THAT ALL CONTRACTORS BE COGNIZANT OF THE INTERNATIONAL BUILDING CODE ADDRESSING THE REQUIREMENTS FOR SAFETY AND WELFARE THROUGHOUT THE CONSTRUCTION PROCESS EMPHASIZING PERFORMANCE AND REGULATIONS THAT SAFEGUARD THE PUBLIC HEALTH SAFETY, AND WELFARE IN THE CONSTRUCTION PROCESS OF BUILDING.
2. IBC=INTERNATIONAL BUILDING CODE, 2009 EDITION TO BE USED FOR REMODELING, REPAIR OR ALTERATION OF EXISTING BUILDINGS, ADDITIONS, RENOVATIONS, EXPENSIVE REPAIRS, OR CHANGE OF USE.
3. THERE ARE THREE MAIN OPTIONS IN THE REHABILITATION OF EXISTING BUILDINGS. THESE THREE OPTIONS SHALL BE IN ACCORDANCE WITH THE IBC (CODE), SECTION 101.5 COMPLIANCE WITH THE CODE IS IMPERATIVE FOR ALL SCOPES, SECTIONS AND APPLICATIONS.

2. PROVIDE WORKING SHOP DRAWINGS SHOWING EXACT CONNECTIONS.
3. BOLTING AND/OR WELDING CONNECTIONS, INCLUDING ROOF METAL DECK STRUCTURE AS SHOWN.

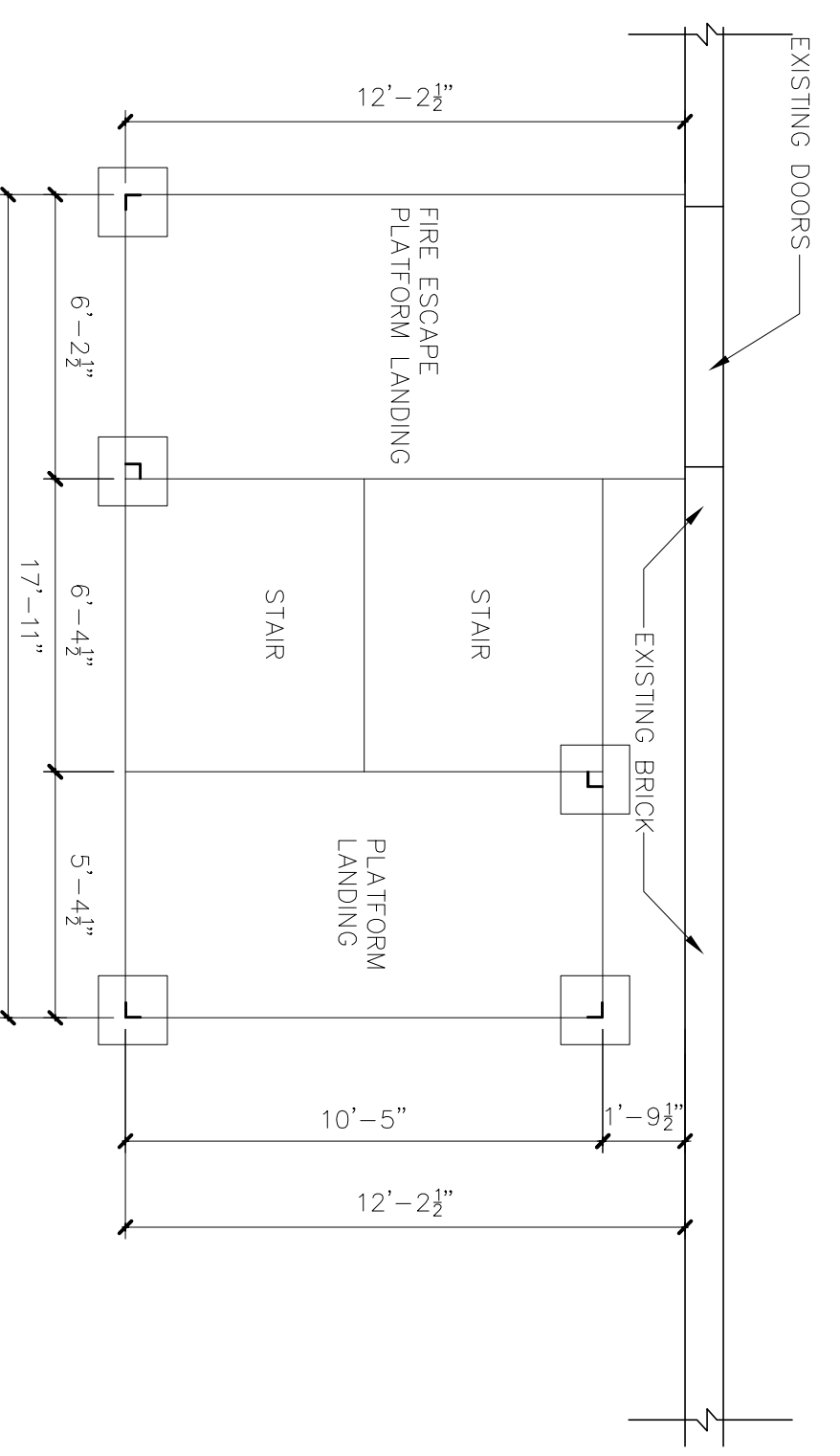
COSTA
Architects
333 Moody Street
Waltham, MA 02453-5255
Tel./fax: 81-647-5831

Job Number:	20588.00
Scale:	AS NOTED
Date:	08-26-2012
Revisions:	08-27-2012

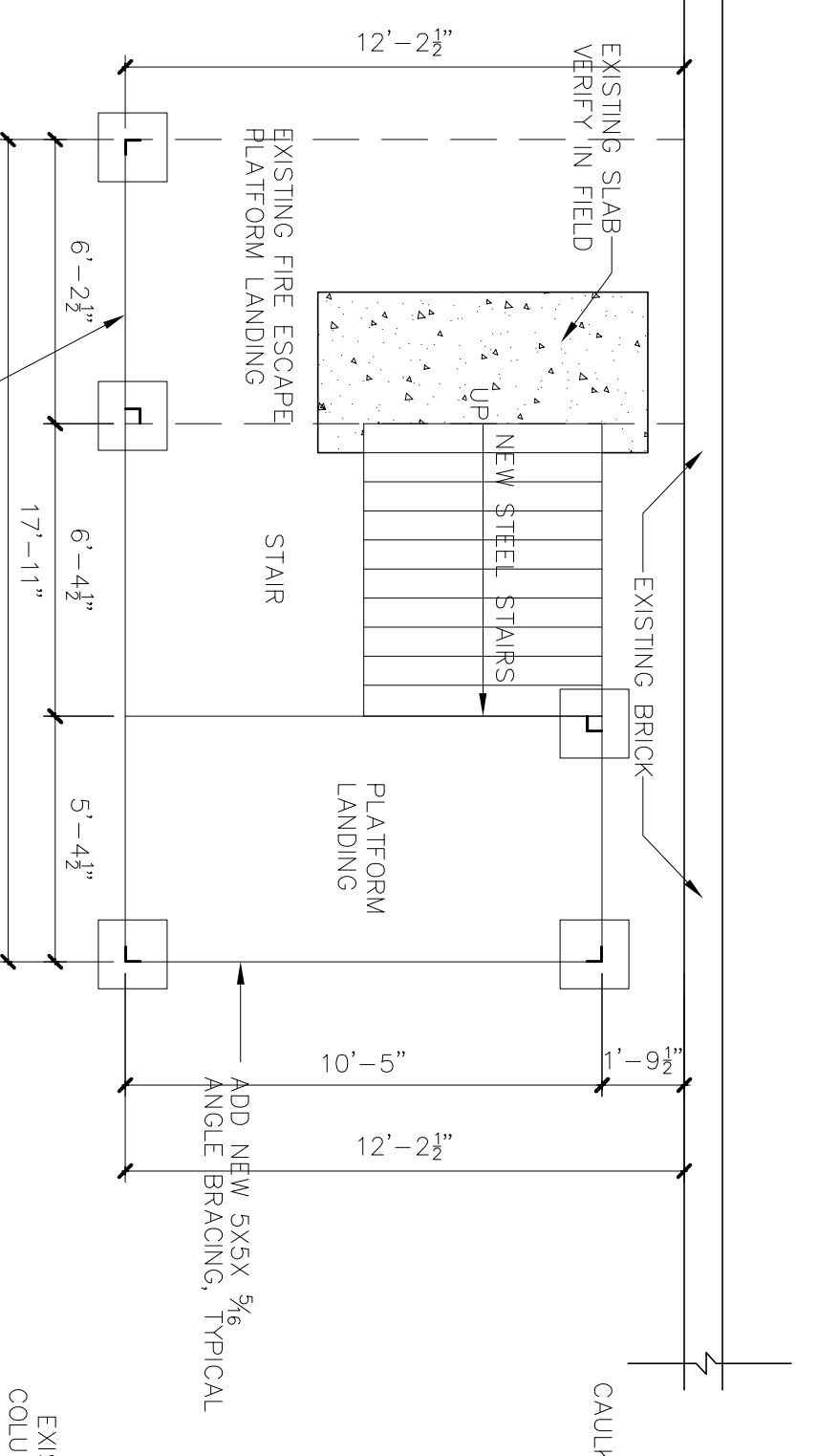
**EXISTING/ NEW PLAN
ELEVATIONS, DETAILS,
SECTION**

Drawing

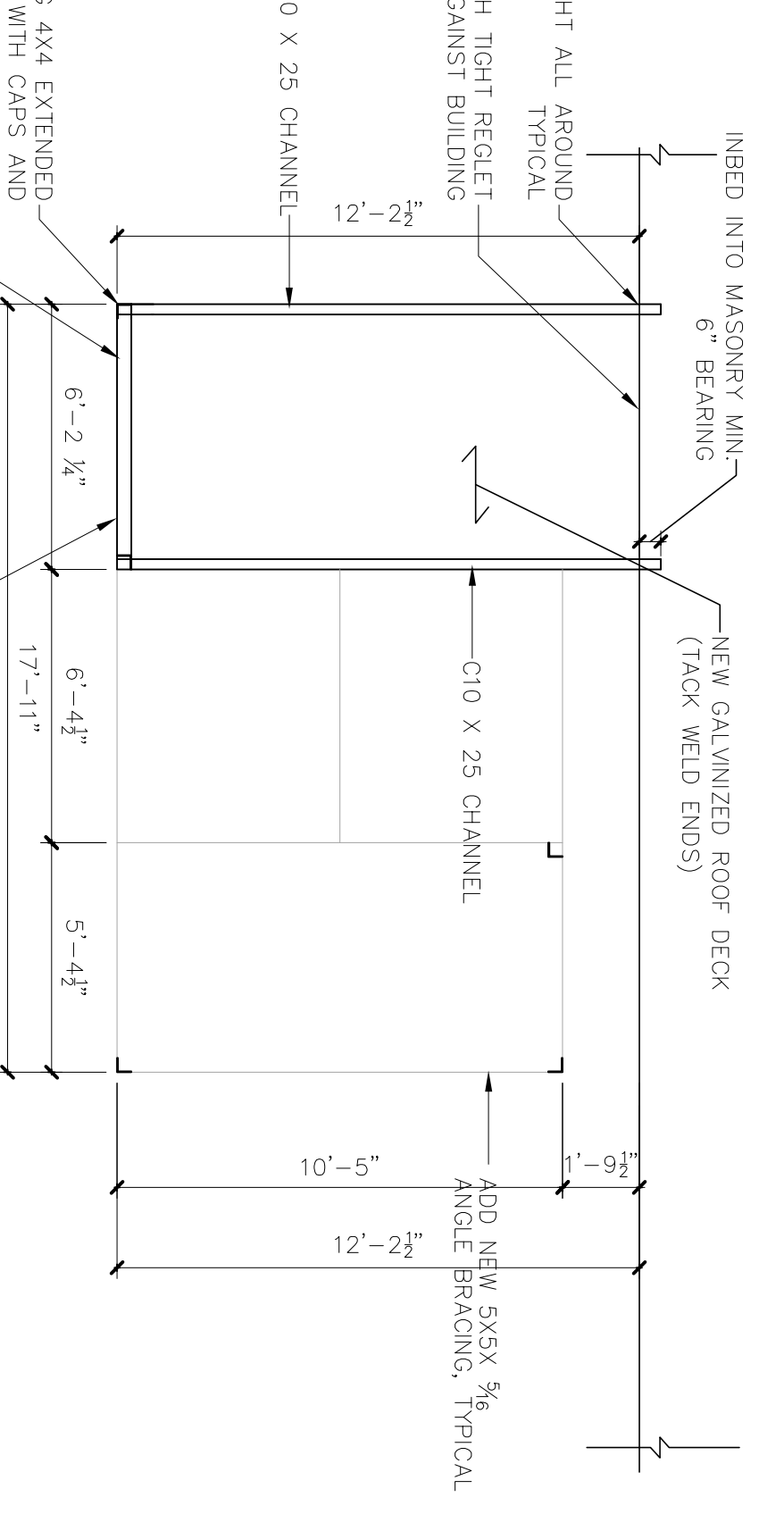
A-1



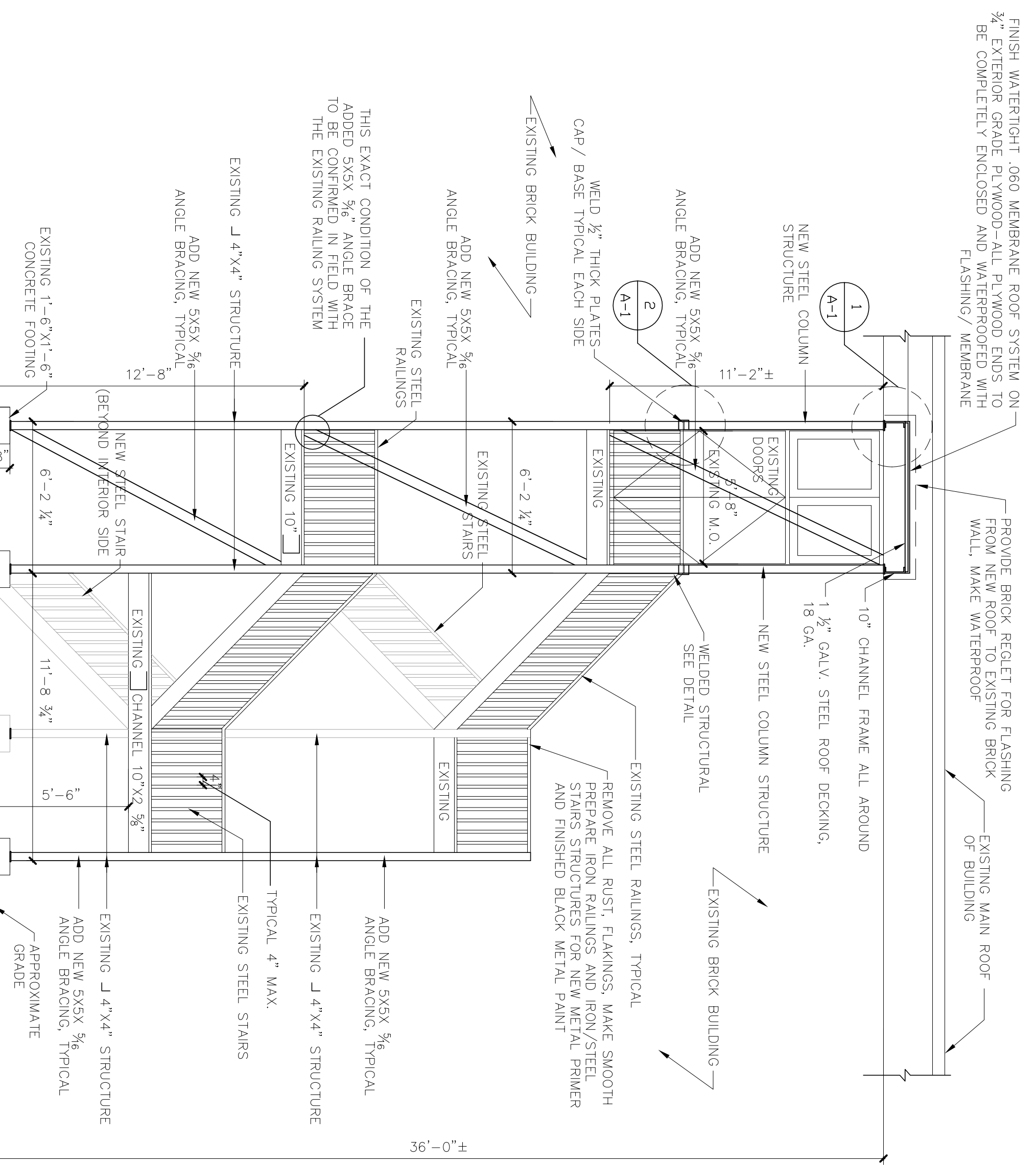
**EXISTING PLAN OF STAIR
TOP FLOOR**
SCALE 1/4"=1'-0"



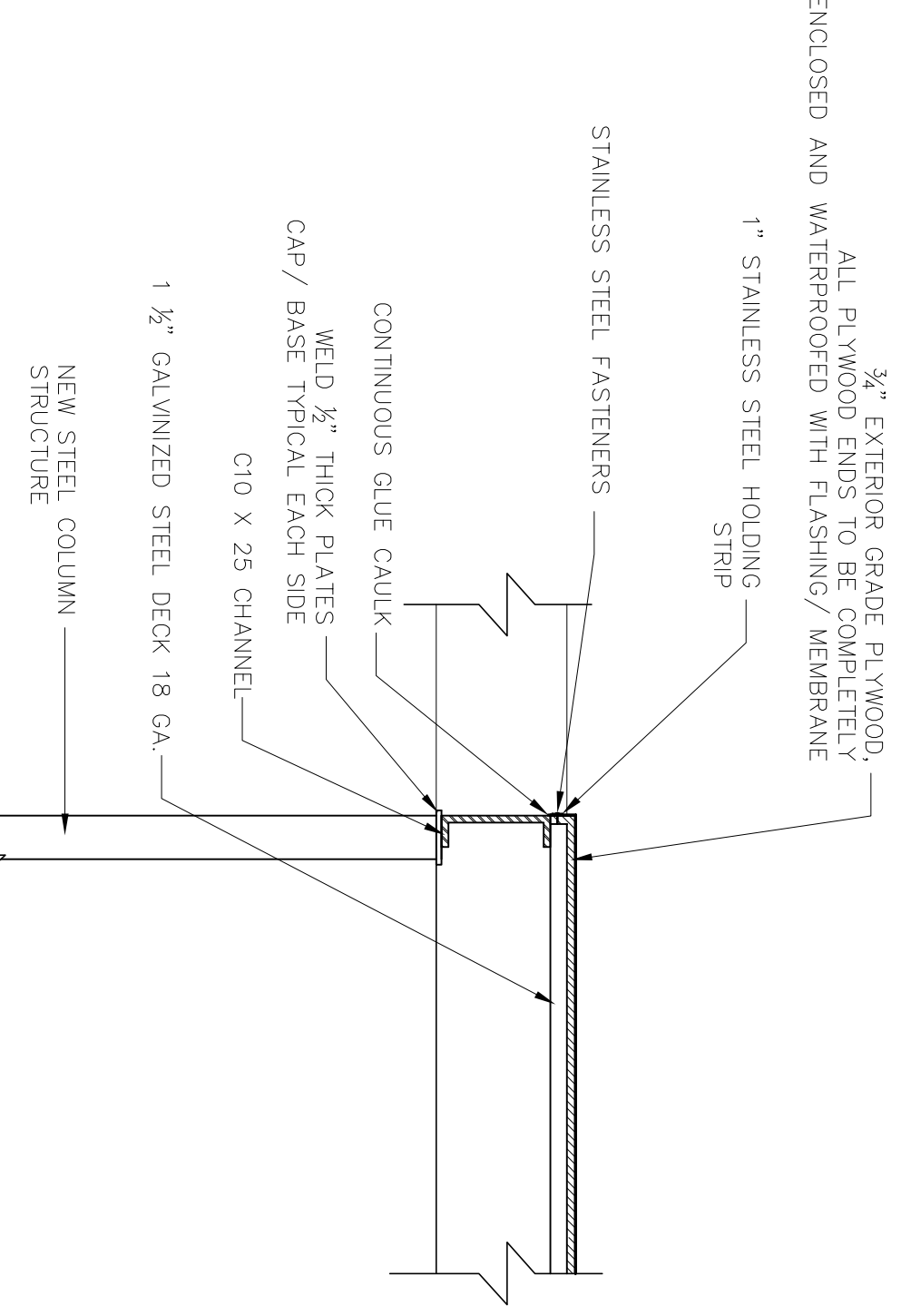
**EXISTING PLAN OF NEW STAIR
GROUND LEVEL**
SCALE 1/4"=1'-0"



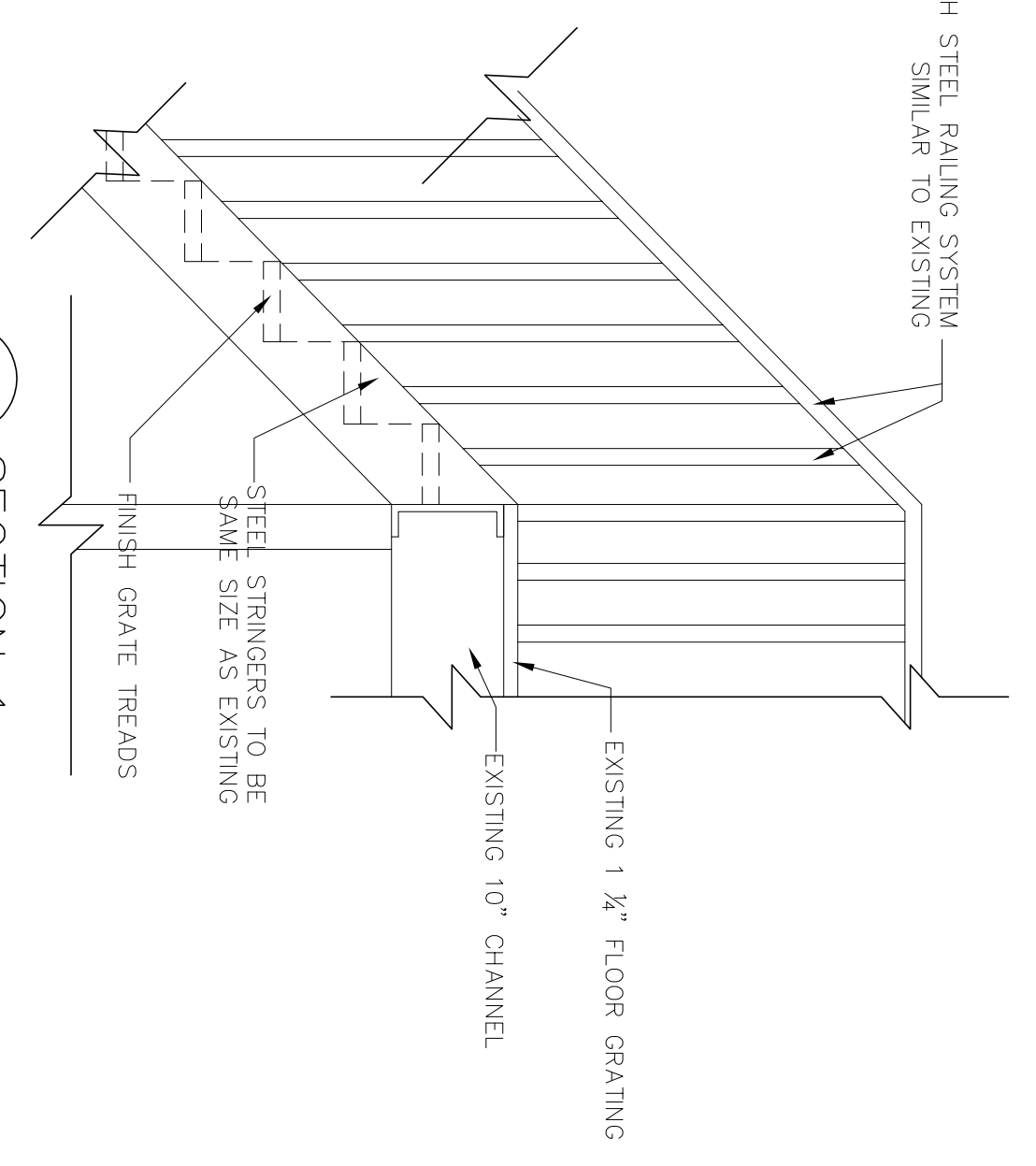
PLAN OF STAIR ROOF STRUCTURE
SCALE 1/4"=1'-0"



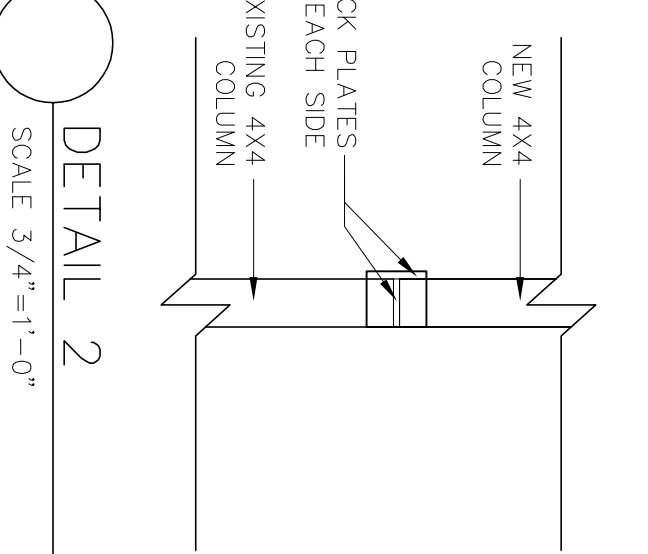
ELEVATION OF STAIR - FACING RUSSELL STREET
SCALE 1/4"=1'-0"



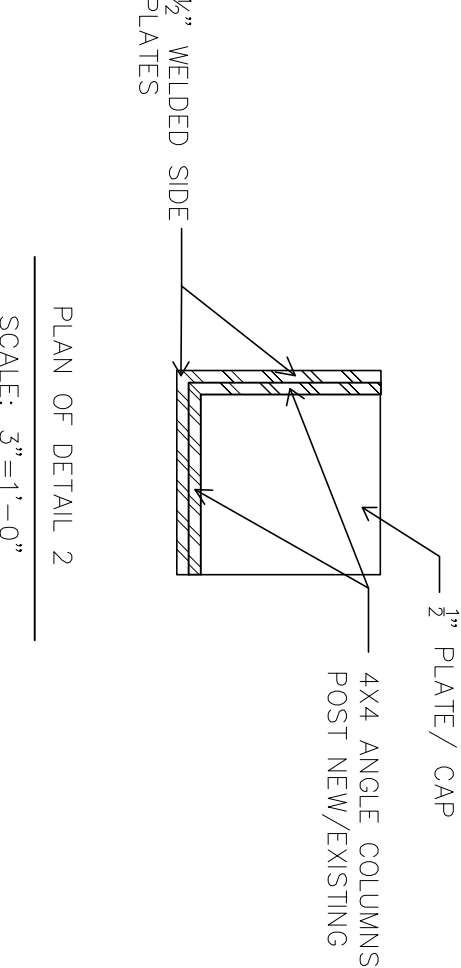
DETAIL 1
SCALE 3/4"=1'-0"



SECTION 1
SCALE 3/4"=1'-0"



DETAIL 2
SCALE 3/4"=1'-0"



PLAN OF DETAIL 2
SCALE: 3"-1'-0"

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PRICE SHEET for ALTERNATE 2, FIRE ESCAPE

Price for Alternate 2, Fires Escape \$ _____

Company: _____

Authorized Signature: _____

Print Name: _____

Date: _____