

City of Waltham  
Purchasing Department  
Waltham, Massachusetts 02452

**ADDENDUM NO. 3**

April 19, 2016

Plans & Specifications for: **Gilmore Playground, Waltham, MA**

In accordance with documents prepared by: Carolyn Cooney & Associates

**ADDENDUM #3 MUST BE ACKNOWLEDGED AS RECEIVED BY THE BIDDING COMPANY  
IN SECTION 00310 –FORM FOR GENERAL BID- PARAGRAPH “A”**

This Addendum No. 3 is to modify, correct and/or supplement the Plans and Specifications.

Bidders are hereby informed that Plans and Specifications for the above-mentioned project are modified, corrected and/or supplemented as follows and that Addendum No. 2 becomes a part of the Contract Documents. Addendum No. 3 consists of Items 1 through 9, Drawing changes shown on L-1, L-4, L-16, and L-17, Prevailing Wage Rates, and Branch Library Drawings.

The following revisions are made a part of this Contract

**ITEM NO. 1      Revision to Specification Section 01500 Temporary Facilities & Controls:**  
*Paragraph 1.08.A, last sentence. Delete the words “Parks and”. Last sentence to read:*  
*“Waltham Recreation Department”.*

**ITEM NO. 2      Addition to Specifications Section 02100 Site Preparation & Demolition:**  
*Add Paragraphs 1.02.C and 1.02.D as follows:*

“1.02 C. The existing base course under the basketball court may be reused for new pavement base course providing base course is unadulterated with subsoil. The Contractor shall be responsible for supplying additional base course if needed to complete the work.”

1.02 D. It shall be the Contractor’s option to pulverize bituminous concrete to be removed and disposed of, and use this material as reclaimed base course if the material, as evidenced by sieve tests provided by the Contractor, is processed to meet the gradation requirements specified in the Section 02200, Earthwork.

**ITEM NO. 3 Addition to Specifications Section 02200 Earthwork:**

Add paragraph 2.01.G as follows:

“G. Reclaimed Pavement Material

(1) Reclaimed pavement material shall be sound, durable, crushed asphalt pavement meeting M1.030.0 of the Massachusetts Standard Specifications for Highways and Bridges, conforming to Section M1. It shall be free from organic, frozen, or other deleterious materials and shall meet the following gradation requirements:

2 inch	50 mm	100
1-1/2 inch	37.5 mm	95-100
¾ inch	19 mm	50-85
No. 4	4.75 mm	30-55
No. 50	0.3 mm	8-24
No. 200	.075 mm	3-10
Silts/Clays		0

**ITEM NO. 4 Revision to Drawing L.1: Add abandonment of manhole**

**ITEM NO. 5 Revision to Drawing L-4: Add abandonment of manhole**

**ITEM NO. 6 Revision to Drawing L-16: Revision to Kompan Footing Layout**

**ITEM NO. 7 Revision to Drawing L-17: Revision to Kompan Footings**

**ITEM NO. 8 Branch Library Drawings:** referenced in Note 9, L.1 Site Preparation Plan.

**ITEM NO. 9 New Prevailing Wage Rates for 04/08/2016:** Available for download at City website: [www.city.waltham.ma.us/open-bids](http://www.city.waltham.ma.us/open-bids) . These supersede previous FEDERAL RATES. .

**ATTACHED:**

**Drawing L-1 Revised**

**Drawing L-4 Revised**

**Drawing L-16 Revised**

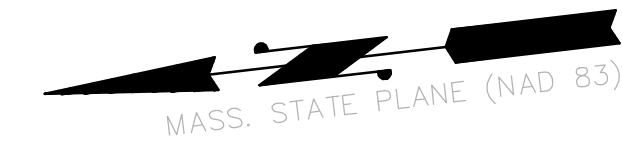
**Drawing L-17 Revised**

**Prevailing Wage Rates dated 04/08/2016** (see city web site)

**Branch Library Drawings**

**END OF ADDENDUM NO. 3**

R & D DRAIN LINE IN ITS ENTIRETY. ABANDON MANHOLE IN PLACE. PLUG INLET & OUTLET WATERTIGHT. FILL WITH CONTROLLED DENSITY FILL. REMOVE CASTING. RESTORE STREET PAVEMENT TO MATCH EX. THICKNESS AND LAYER/LIFTS.



**SITE PREPARATION LEGEND**

- R & D EXIST PLAY AREA: EQUIPMENT, FOOTINGS, MULCH & TIMBER CURBING
- R & D BITUMINOUS CONCRETE PAVING
- R & D CONCRETE PAVING OR PAD
- R & D BITUMINOUS CONCRETE CURB
- R & R GRANITE CURBING
- R & D CHAIN LINK FENCE & GATES
- R & D WOOD CURB AT PLAYGROUND
- R & D GRANITE POST, TYP.
- R & D EXISTING LIGHTS & FOOTINGS. PULL WIRES & DISCONNECT (5 TOTAL)
- R & D EXISTING BASKETBALL STANDARDS AND FOOTINGS - (6 TOTAL)
- R & D EXISTING BIKE RACKS (2 TOTAL)
- R & D EXISTING BENCHES (8 TOTAL)
- R & D EXISTING CONCRETE BENCHES (4 TOTAL)
- R & D EXISTING TREE INCLUDING STUMP
- EXISTING TREE TO REMAIN & BE PROTECTED
- STRAW WATTLES
- R & D REMOVE AND DISPOSE OF
- R & R REMOVE AND RESET

**GENERAL NOTES:**

1. BIDDERS ARE REQUIRED TO INSPECT THE CONSTRUCTION SITE TO VERIFY EXISTING CONDITIONS AND WILL BE HELD RESPONSIBLE FOR THE FULL EXTENT OF WORK REQUIRED. THE CONTRACTOR SHALL INCLUDE IN HIS BID PRICE THE REMOVAL OF ALL EXISTING SITE FEATURES NECESSARY TO CONSTRUCT PROPOSED SITE IMPROVEMENTS.
2. THE CONTRACTOR SHALL REPORT ALL DEVIATIONS IN THE EXISTING CONDITIONS TO THE LANDSCAPE ARCHITECT (508) 478-8426, PRIOR TO STARTING WORK.
3. LOCATION AND DEPTH OF UTILITIES ARE APPROXIMATE. NO GUARANTEE IS EXPRESSED OR IMPLIED THAT THE DRAWINGS INDICATE ALL UTILITIES WHICH MAY EXIST. PRIOR TO ALL EXCAVATION, CONTACT "DIG SAFE" (811) TO MARK LOCATION OF RECORDED UTILITIES.
4. THE CONTRACTOR SHALL PROTECT ABUTTING PROPERTIES AND EXISTING SITE ELEMENTS TO REMAIN. ANY DAMAGE INCURRED SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY OF WALTHAM.

**SPECIAL NOTES:**

1. EXISTING SITE LIGHTING: DEMOLISH POLES AND FOOTINGS. REMOVE AND SALVAGE LIGHT FIXTURES, AND COORDINATE WITH THE CITY OF WALTHAM WIRES DEPARTMENT (1-781-314-3175) FOR DELIVERY OF LIGHT FIXTURES TO A STORAGE LOCATION WITHIN THE CITY.
2. REMOVE, SALVAGE AND STORE THE TWO EXISTING BIG BELLY KIOSKS FOR RE-INSTALLATION. DEMOLISH CONCRETE PADS.
3. CLEAR & GRUB LAWN AREAS. INCLUDE IN THE BID PRICE THE COST FOR REMOVING & DISPOSING OF EX. TOPSOIL TO A DEPTH OF 6" IN NEW LAWN AND PLANTING AREAS & IMPORTING SAME FROM OFF-SITE.
4. THERE SHALL BE NO STOCKPILING OF MATERIALS WITHIN THE CANOPY OF EXISTING TREES TO REMAIN. THERE SHALL BE NO HEAVY EQUIPMENT WITHIN THE CANOPY OF EXISTING TREES TO REMAIN, UNLESS THIS IS NECESSARY TO CONSTRUCT IMPROVEMENTS OR PERFORM OPERATIONS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PERIODICALLY WATER THROUGHOUT THE CONSTRUCTION PERIOD ANY EXISTING TREES TO REMAIN WHOSE ROOTS HAVE BEEN DISTURBED BY EXCAVATION. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD, A SOURCE OF WATER SUCH AS A WATER TRUCK OR PERMITTED CONNECTION TO CITY HYDRANT.
5. WHERE GRANITE CURB IS SHOWN TO BE REMOVED & RESET, THE CONTRACTOR SHALL CAREFULLY REMOVE, STORE, AND CLEAN ALL CURBING FOR RESETTING. THE CONTRACTOR SHALL REPLACE ALL EXISTING CURBING THAT IS TO BE RESET WHICH IS LOST, DAMAGED, OR DESTROYED DURING THE REMOVAL OPERATION, AT NO EXPENSE TO THE OWNER. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID PRICE A COST FOR NEW GRANITE TRANSITION CURBS AS NECESSARY TO PROVIDE COMPLIANT CURB RAMPS, AND NEW CURB INLETS. GRANITE CURB AT EXISTING CURB RAMPS SHALL BE REMOVED TO THE EXTENT NECESSARY TO PROVIDE COMPLIANT CURB RAMPS AS DETAILED ON L.9 DETAIL 5. REMOVE SIDEWALK PAVING & GRANITE CURBS TO THE NEAREST JOINT.
6. SECURE SITE DURING CONSTRUCTION WITH 6' HEIGHT TEMPORARY CHAIN LINK FENCING TO PROVIDE CONTINUOUS ENCLOSURE.
7. DUE TO THE URBAN NATURE OF THE SITE AND ABUTTING RESIDENCES, IT IS ABSOLUTELY ANATATORY TO PROVIDE DUST CONTROL THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL SURFACES ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE SUFFICIENT MONEY TO MAINTAIN A WATER TRUCK OR OTHER APPROVED SOURCE OF WATER AT ALL TIMES ON-SITE, AND SHALL WET DOWN SURFACES AS NECESSARY TO CONTROL DUST AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
8. REFER TO SHEET L.1A FOR TEMPORARY CONSTRUCTION CONTROLS.
9. ARCHITECTURAL DRAWINGS FOR PRIOR BUILDING ARE AVAILABLE AT THE CITY OF WALTHAM PURCHASING WEBSITE.
10. AT LEAST TWO DAYS PRIOR TO REMOVAL TREE SCHEDULED TO BE DEMOLISHED, NOTIFY THE LANDSCAPE ARCHITECT WHO WILL ARRANGE FOR A FINAL REVIEW BY THE CITY OF WALTHAM TREE WARDEN TO APPROVE REMOVAL.

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 FAX: (781) 784-0492  
 CONSULTING CIVIL ENGINEERS

**alpha**  
 SURVEYING AND ENGINEERING INC.  
 ALPHA SURVEYING AND ENGINEERING INC.  
 695 WAREHAM STREET  
 MIDDLEBOROUGH, MASSACHUSETTS 02346  
 (508) 295-5505

No.	Description	Date
1	ABANDON EX. MH PER ADDENDUM #3	04/18/16

REVISIONS

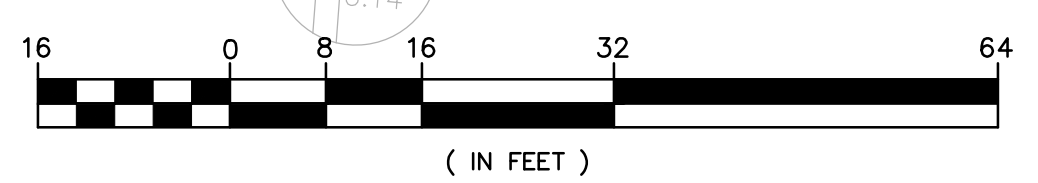
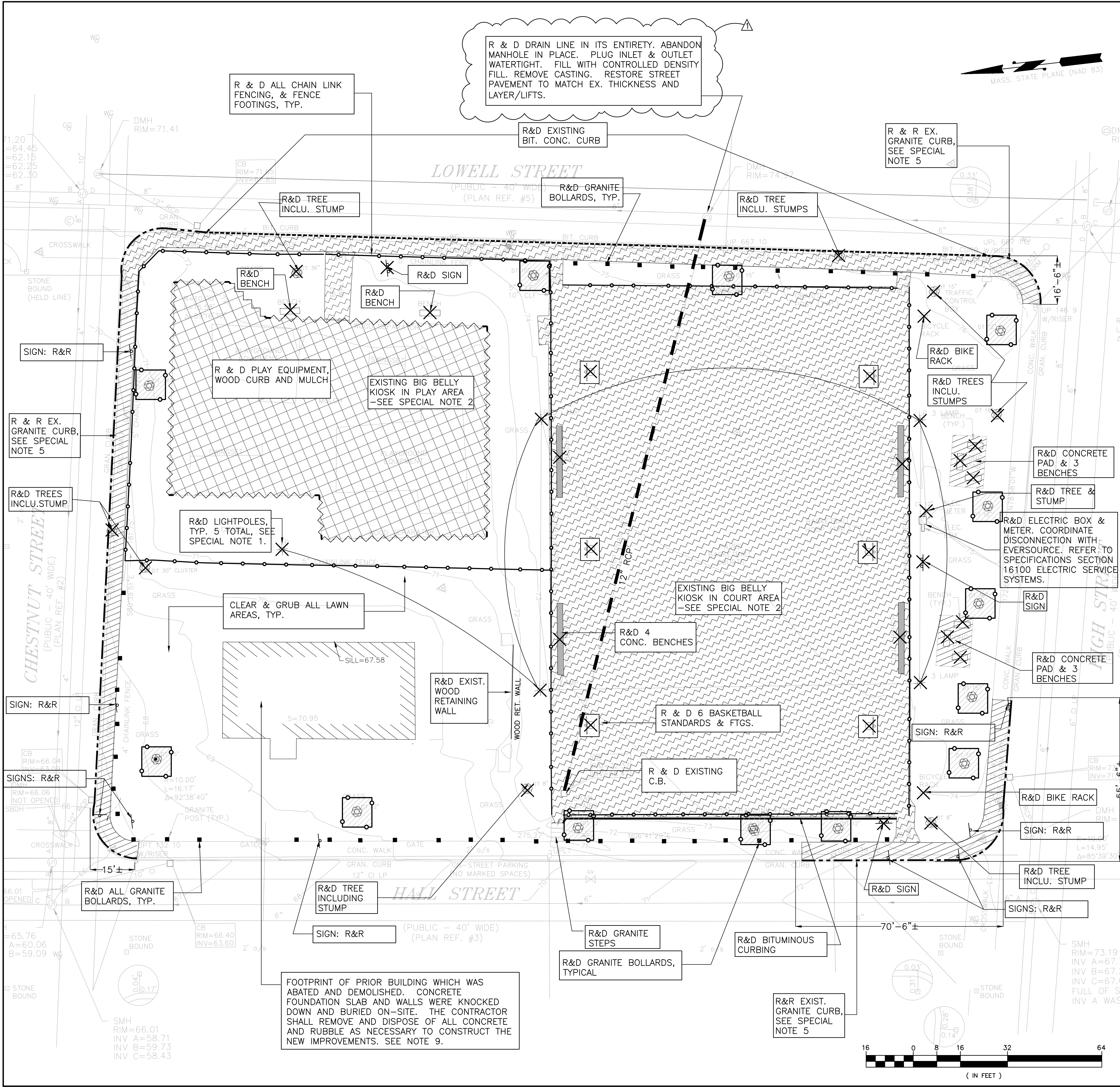
Project:  
**CITY OF WALTHAM  
 IMPROVEMENTS TO  
 PETER CILMORE PLAYGROUND  
 90 HALL STREET  
 WALTHAM, MA 02453**

Prepared For:  
**CITY OF WALTHAM  
 DEPARTMENT OF RECREATION  
 510 MOODY STREET  
 WALTHAM, MA 02453**

TITLE:  
**SITE PREPARATION  
 PLAN**

Scale 1" = 16' Date MAR 21 2016  
 Drawn By CCC  
 Checked By DRB  
 Approved By CCC  
 Project No. 1313.01

DWG No. **L.1**



**SPECIAL NOTES:**

1. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN AND SHALL ERECT TEMPORARY BARRICADES AS SHOWN ON THE DRAWINGS. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT, VEHICLES, AND MATERIALS BE STORED BENEATH OR IN ANY WAY IN CONTACT WITH EXISTING TREES TO REMAIN.
2. EXISTING GRADES SHALL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE AT ALL EXISTING TREES TO REMAIN. EXCAVATION IN THESE AREAS SHALL BE BY HAND METHODS ONLY. CUT ROOTS CLEANLY TO A DEPTH OF 3" BELOW FINAL FINISHED GRADE.
3. WHERE GRADING OR CONSTRUCTION OPERATIONS OCCUR WITHIN THE CANOPY OR DRIP LINE OF EXISTING TREES TO REMAIN, THE CONTRACTOR SHALL WATER THESE TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT.
4. Kompan playground equipment must be installed on slopes no greater than 0.83%. Playground must be graded to comply with this requirement.

REFER TO L-1 SITE PREPARATION & DEMOLITION PLAN, FOR REMOVAL OF EXISTING STORM DRAIN LINE & CATCH BASIN & ABANDONMENT OF EX. MANHOLE IN LOWELL ST.

SUBSURFACE RECHARGE SYSTEM  
84 STORMTECH MODEL SC-740  
RETENTION CHAMBERS  
(PLAN REF. #5)

**GENERAL NOTES:**

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2. THE CONTRACTOR SHALL REPORT DEVIATIONS IN THE EXISTING CONDITIONS TO THE LANDSCAPE ARCHITECT (508) 478-8426, PRIOR TO STARTING WORK.
3. LOCATION AND DEPTH OF UTILITIES ARE APPROXIMATE. NO GUARANTEE IS EXPRESSED OR IMPLIED THAT THE DRAWINGS INDICATE ALL UTILITIES WHICH MAY EXIST. PRIOR TO ANY EXCAVATION, CONTACT "DIG SAFE" (811) A MINIMUM OF 72 HOURS PRIOR TO BEGINNING GRADING OPERATIONS TO MARK LOCATION OF RECORDED UTILITIES. NOTIFY ALL CORPORATIONS, COMPANIES, INDIVIDUALS OR LOCAL AUTHORITIES OWNING OR HAVING JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS DISTURBED BY EXCAVATION.
4. THE CONTRACTOR SHALL PROTECT ALL ABUTTING PROPERTIES AND EXISTING SITE ELEMENTS TO REMAIN. ANY DAMAGE INCURRED SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY OF WALTHAM.
5. PROVIDE GRADE STAKES SHOWING DEPTH OF VARIOUS MATERIALS AND LIMIT OF GRADING FOR REVIEW BY THE LANDSCAPE ARCHITECT IN THE FIELD BEFORE FINAL GRADING OPERATIONS.
6. GRADING IS TO BE SMOOTH AND CONTINUOUS.
7. CROSS-SLOPES OF PAVEMENT SHALL NOT EXCEED 2%, AND LONGITUDINAL SLOPES SHALL NOT EXCEED 5%. VERIFY CONFORMANCE WITH ADA AND MAAB STANDARDS AND WHERE DISCREPANCIES ARE FOUND TO EXIST, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. THERE ARE NO CONSTRUCTION TOLERANCES ALLOWED BY ADA OR MAAB STANDARDS.

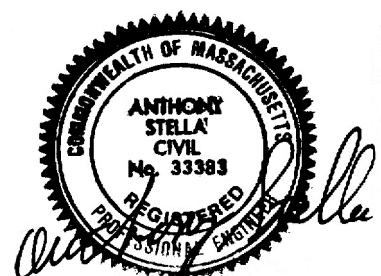
**Carolyn Cooney & Associates**

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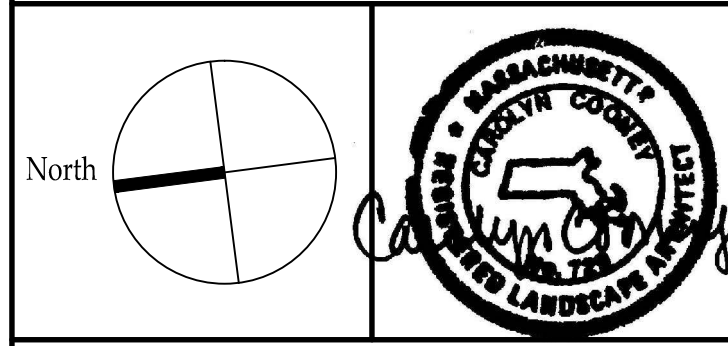
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No.	Description	Date
1	ABANDON EX. MH PER ADDENDUM #3	04/18/16

**REVISIONS**



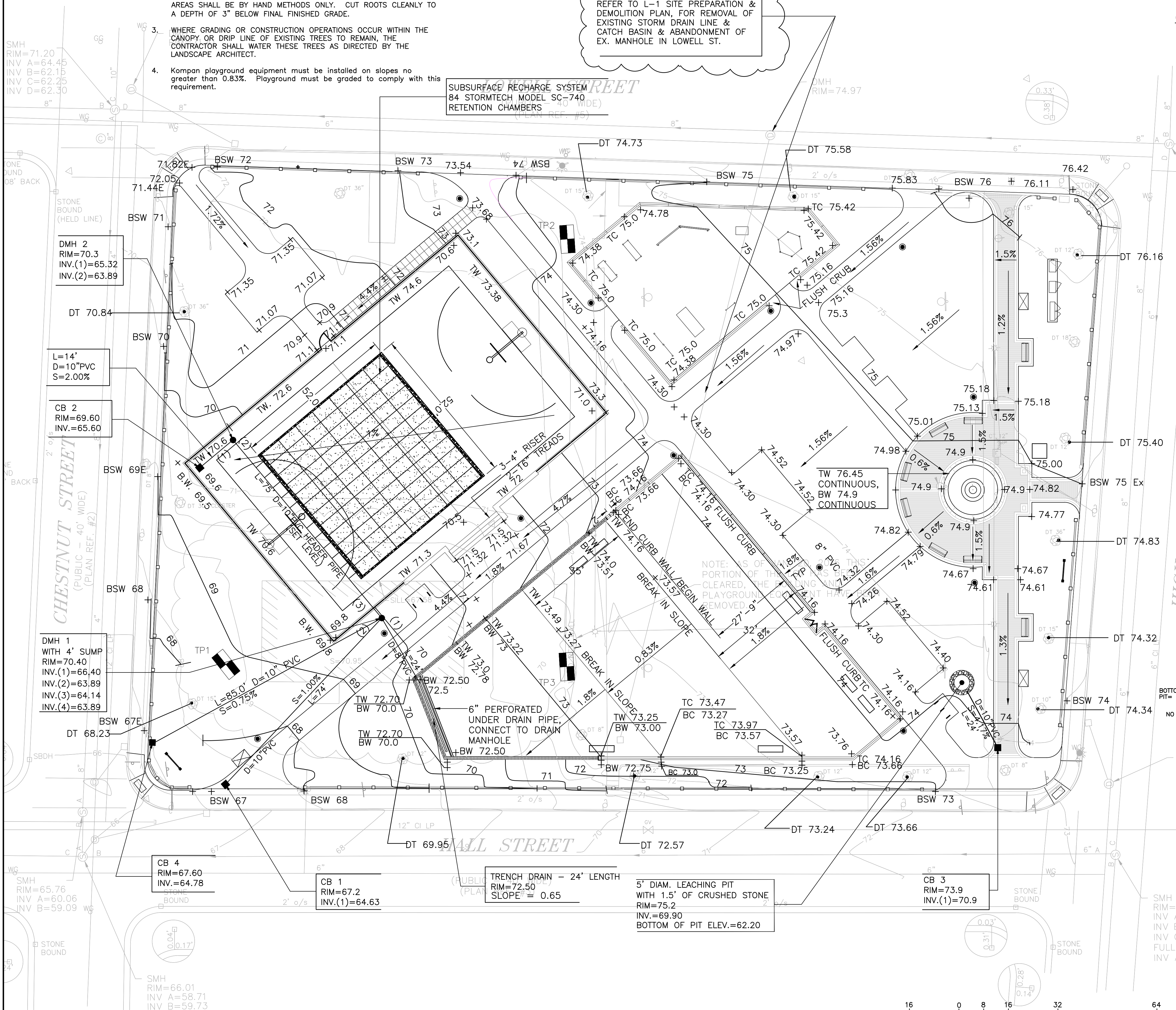
Project:  
**CITY OF WALTHAM  
IMPROVEMENTS TO  
PETER CILMORE PLAYGROUND  
90 HALL STREET  
WALTHAM, MA 02453**

Prepared For:  
**CITY OF WALTHAM  
DEPARTMENT OF RECREATION  
510 MOODY STREET  
WALTHAM, MA 02453**

TITLE:  
**GRADING & DRAINAGE  
PLAN**

Scale 1" = 16' Date MAR 21 2016  
Drawn By CCC  
Checked By DRB  
Approved By CCC  
Project No. 1313.01

DWG No. **L.4**



**TEST HOLE #1 (T.P. 1)**

DEPTH	EXIST. GRADE	SOIL TYPE
0"	68.70	SANDY LOAM A
18"	67.20	LOAM B
24"	64.87	FILL O
46"	59.70	SAND C

BOTTOM OF PIT = 108" NO GROUNDWATER OR MOTTLING ENCOUNTERED

**TEST HOLE #2 (T.P. 2)**

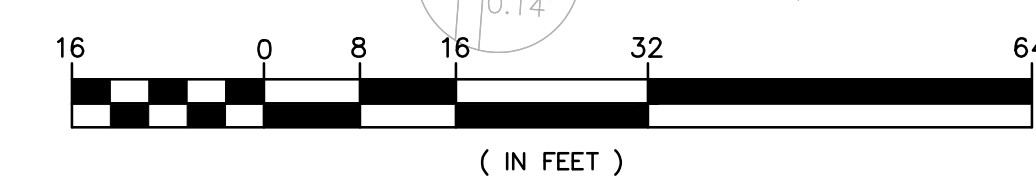
DEPTH	EXIST. GRADE	SOIL TYPE
0"	74.00	SANDY LOAM A
10"	73.17	LOAM B
24"	72.00	FILL O
27"	71.75	SAND C

BOTTOM OF PIT = 108" NO GROUNDWATER OR MOTTLING ENCOUNTERED

**TEST HOLE #3 (T.P. 3)**

DEPTH	EXIST. GRADE	SOIL TYPE
0"	71.00	SANDY LOAM A
12"	70.00	SAND (FORMER PLAY AREA)
18"	69.50	ASH (FILL)
24"	69.00	SAND C

BOTTOM OF PIT = 96" NO GROUNDWATER OR MOTTLING ENCOUNTERED

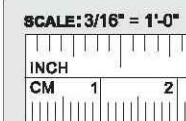


**GILMORE PARK**

Project:  
Model: As Noted  
Rep: KOMPAN - Dixon Simmons

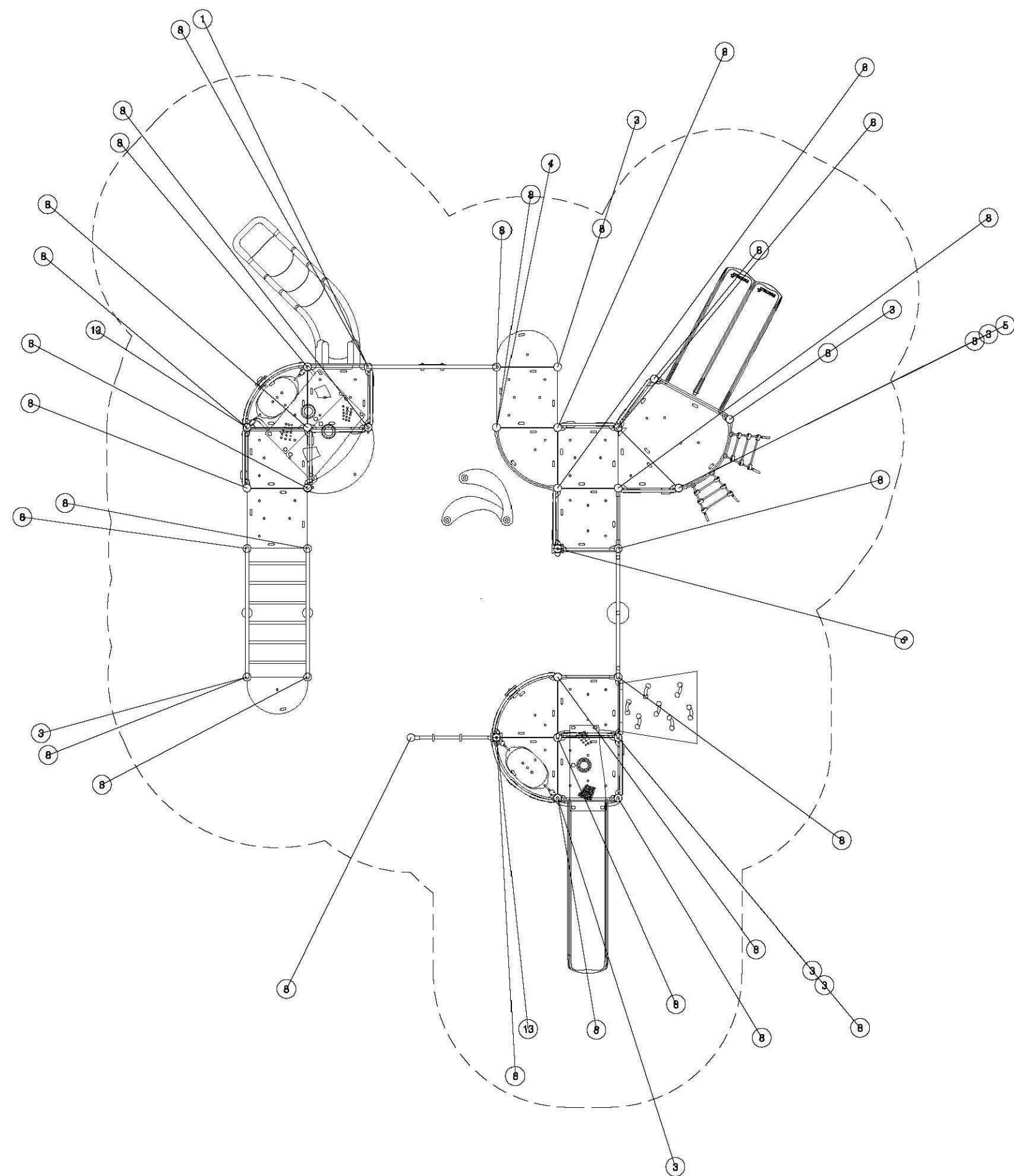


Date: 03/24/16  
PSC:  
Designer: jacmye



**FOR QUOTING ONLY  
NOT FOR CONSTRUCTION**

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All composite structures shown require a site grade of 1% maximum.  
For surface mount options, the concrete requirements may be up to 5000 psi minimum compressive strength. Contact KOMPAN for specific product requirements.  
Site representation is based upon estimated site dimensions and cannot be used as an accurate way of determining site area.  
Layout is in accordance with ASTM F1487-11

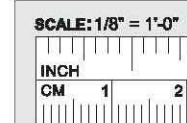


**GILMORE PARK**

Project:  
Model:  
Rep: KOMPAN - Jim LeBrun

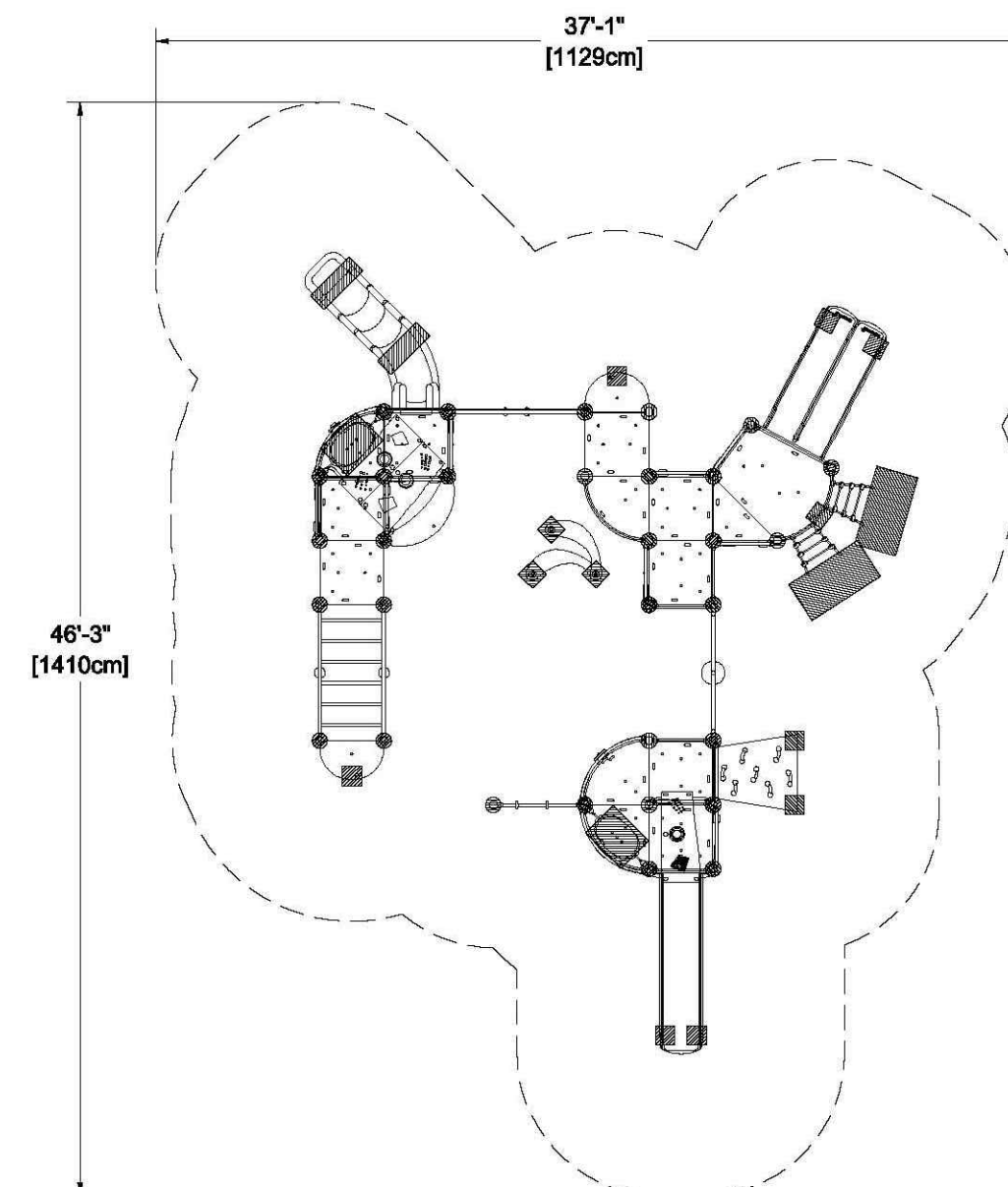


Date: 03/24/16  
PSC:  
Designer: jacmye



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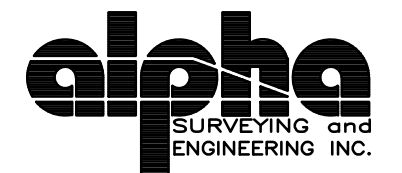
PLAN

**1** KOMPAN CUSTOM PALACE – FOOTING PLAN & LAYOUT  
N.T.S.

**Carolyn Cooney & Associates**

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CONSULTING CIVIL ENGINEERS



**ALPHA SURVEYING AND ENGINEERING INC.**  
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MIDDLEBOROUGH, MASSACHUSETTS 02346  
(508) 295-5505

FOOTING/LAYOUT REVISION PER ADDENDUM #3	04/18/16
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No.	Description	Date
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REVISIONS



Project:

**CITY OF WALTHAM  
IMPROVEMENTS TO  
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Prepared For:

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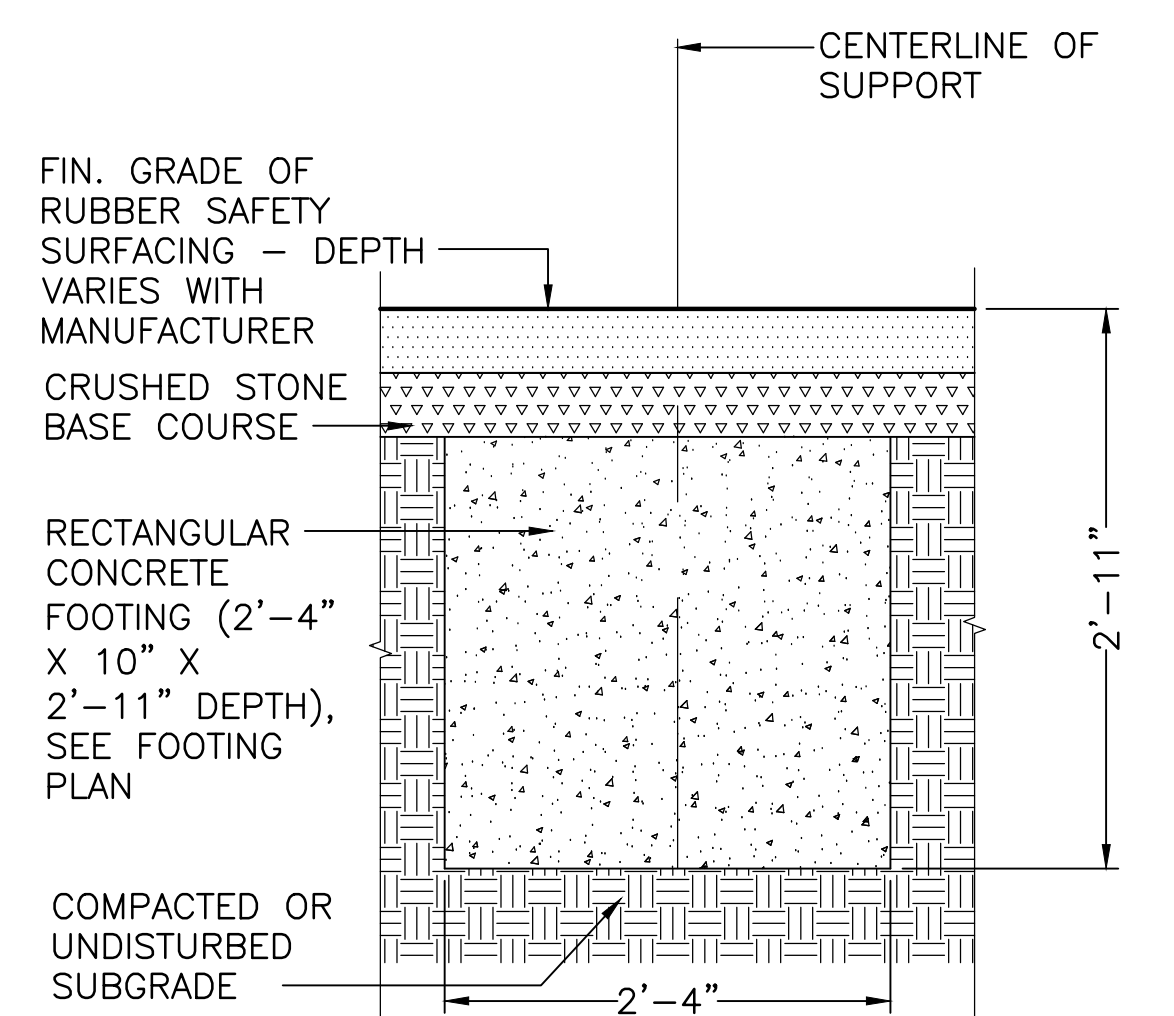
TITLE:

**PLAY EQUIPMENT  
DETAILS I**

Scale AS NOTED Date MAR 21 2016  
Drawn By CCC  
Checked By DRB  
Approved By VH  
Project No. 1313.01

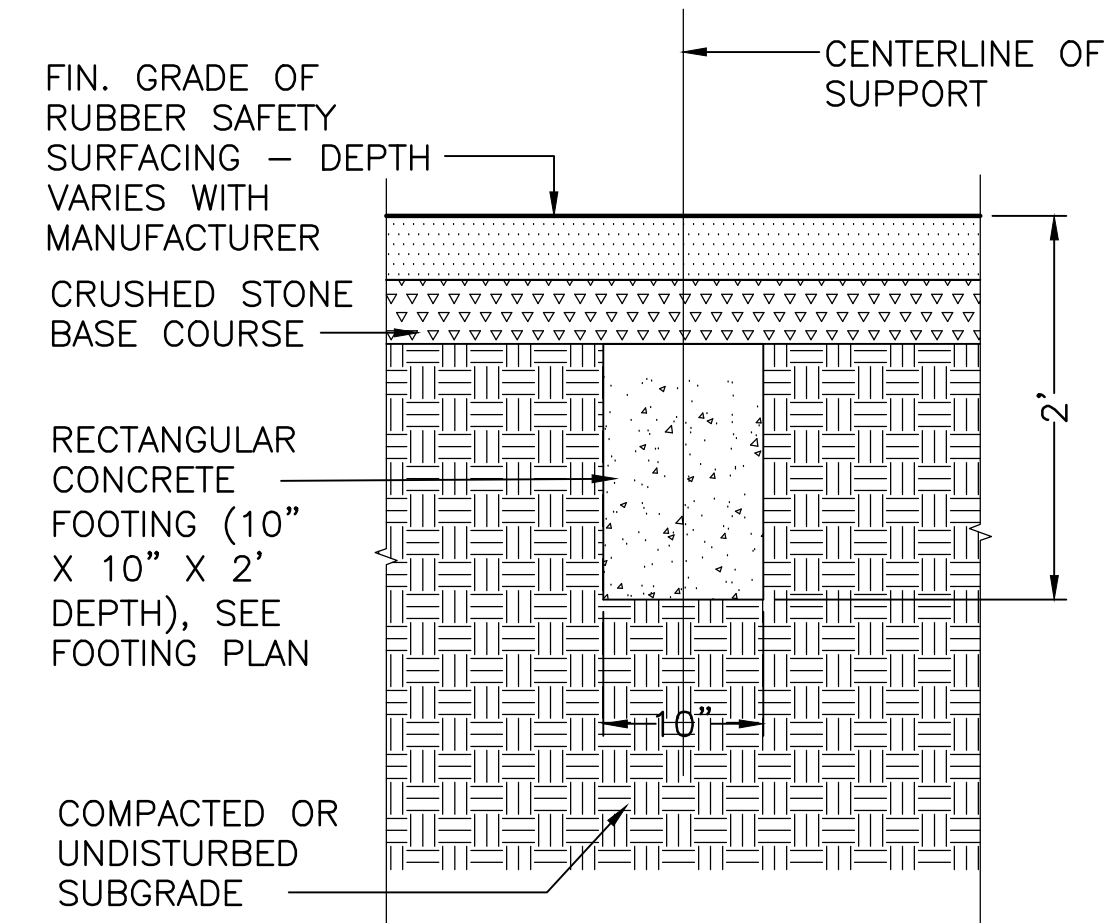
DWG No.

**L.16**



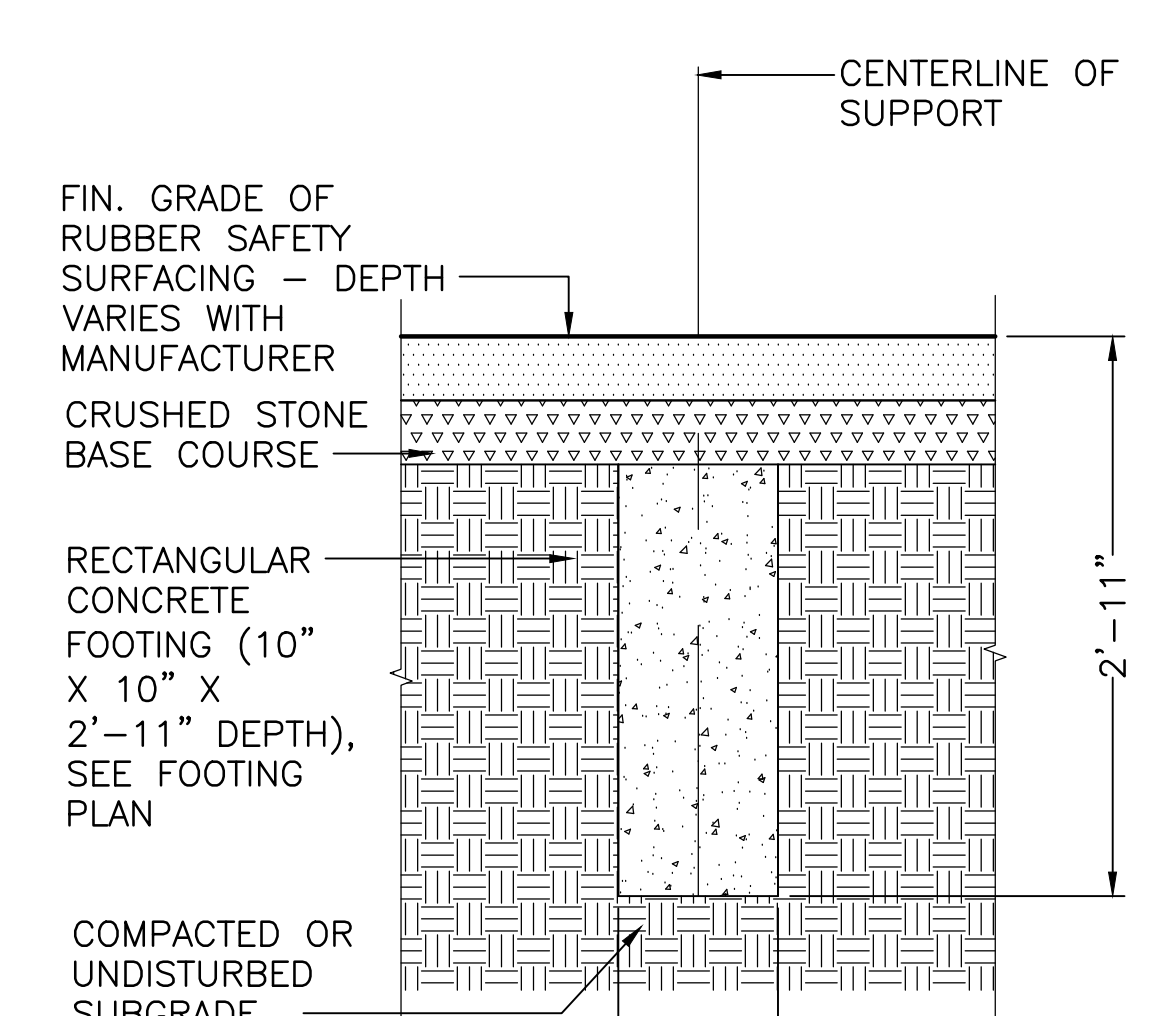
"PALACE" FOOTING ①

(1 REQUIRED)



"PALACE" FOOTING ③

(7 REQUIRED)

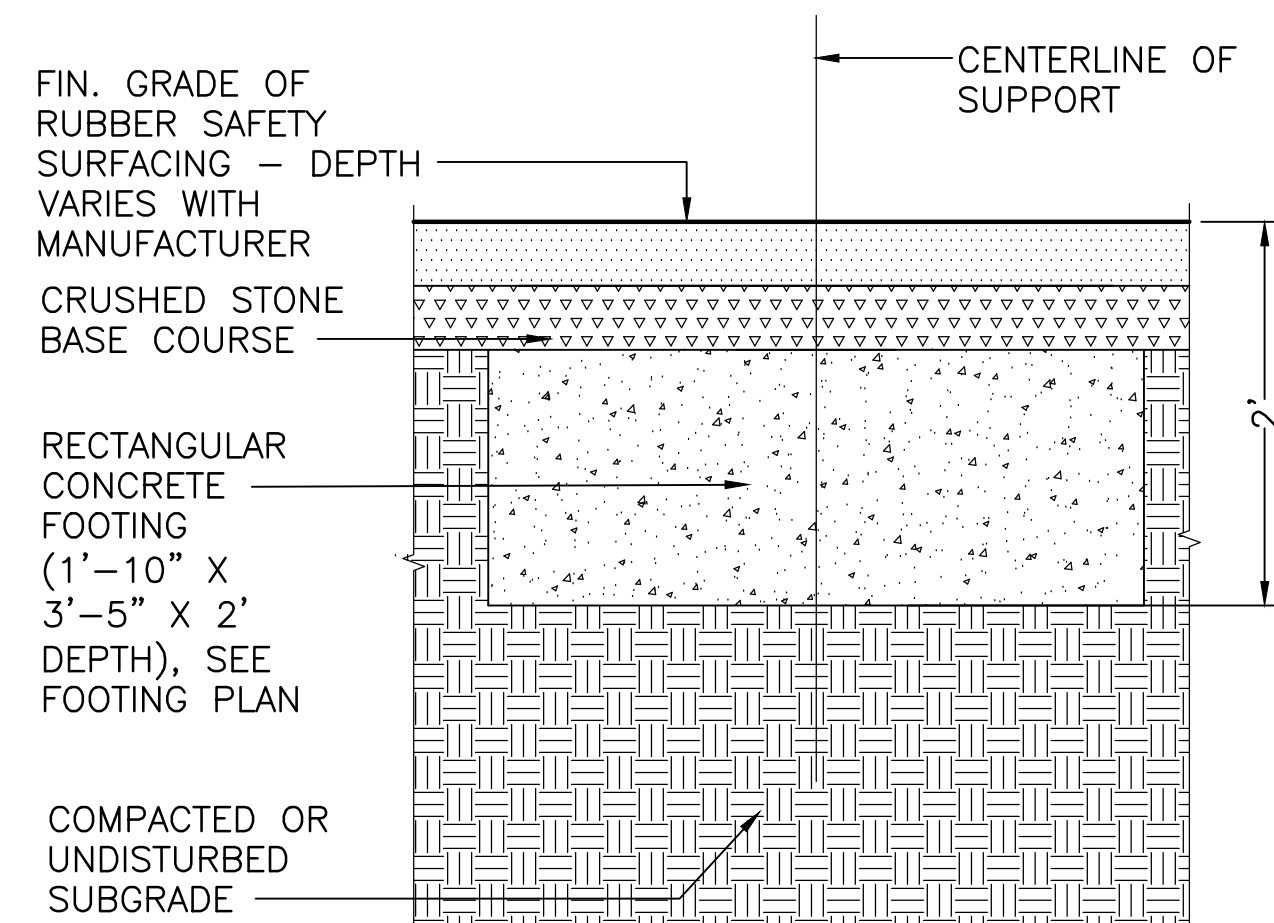


"PALACE" FOOTING ④

(1 REQUIRED)

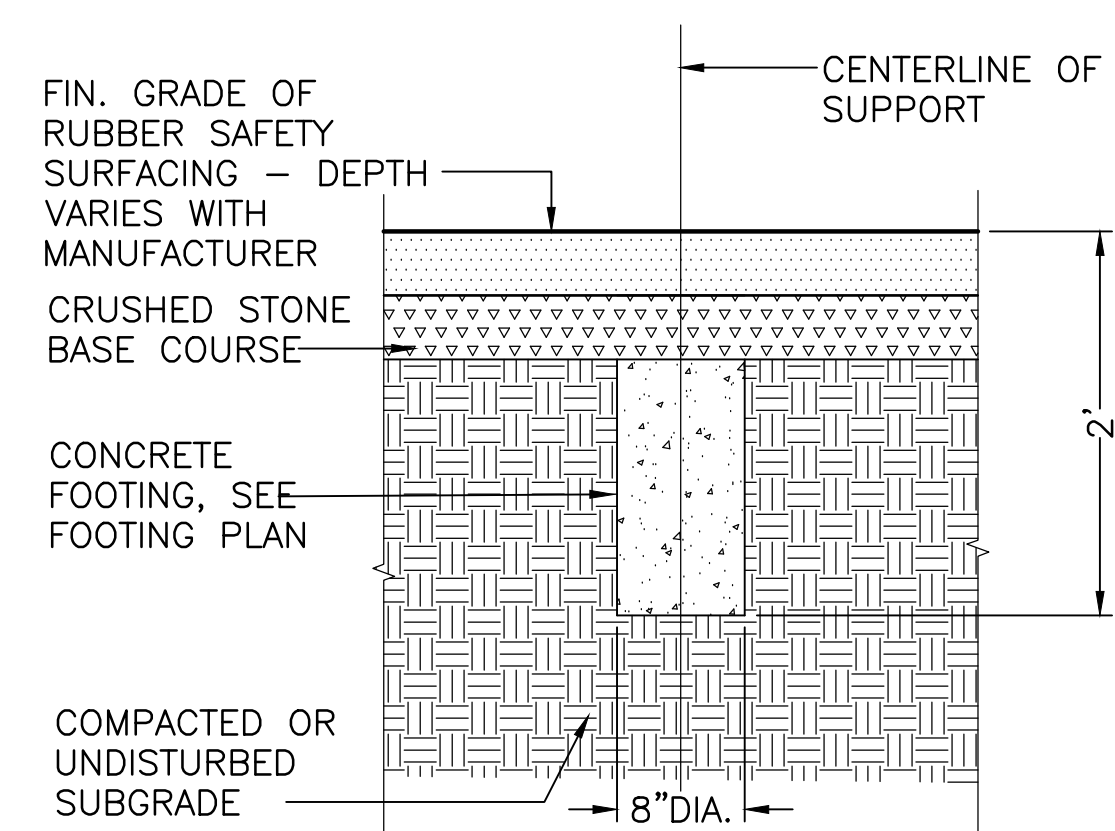
NOTE: FOOTING NUMBERS ON THIS SHEET REFER TO DETAIL 1/L.16 FOR THE "PALACE".

NOTE: PRIOR TO FORMING FOOTINGS, CONFIRM FOOTING DETAILS WITH BOTH PLAYGROUND AND SAFETY SURFACING MANUFACTURER TO ENSURE CORRECT DEPTHS OF FOOTINGS AND BASE COURSE.



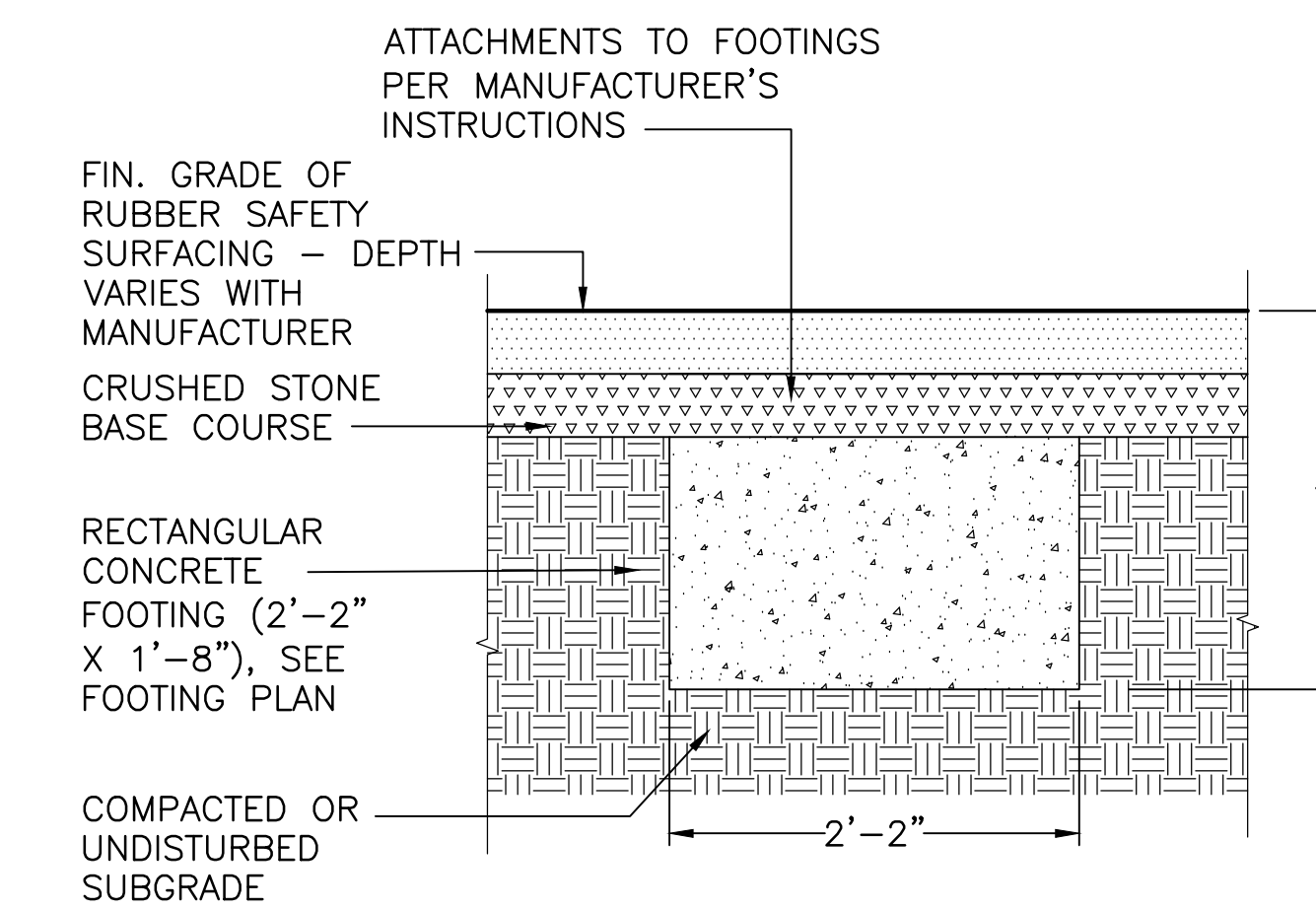
"PALACE" FOOTING ⑤

(1 REQUIRED)



"PALACE" FOOTING ⑧

(31 REQUIRED)



"PALACE" FOOTING ⑬

(2 REQUIRED)

SECTION

1 KOMPAN "PALACE" FOOTING DETAILS  
 1" = 1'-0"

No.	Description	Date
1	FOOTING REVISIONS PER ADDENDUM #3	04/18/16

REVISIONS



Project:

**CITY OF WALTHAM  
 IMPROVEMENTS TO  
 PETER GILMORE PLAYGROUND  
 90 HALL STREET  
 WALTHAM, MA 02453**

Prepared For:

**CITY OF WALTHAM  
 DEPARTMENT OF RECREATION  
 510 MOODY STREET  
 WALTHAM, MA 02453**

TITLE:

**PLAY EQUIPMENT  
 DETAILS II**

Scale AS NOTED Date MAR 21 2016  
 Drawn By CCC  
 Checked By DRB  
 Approved By VH  
 Project No. 1313.01

DWG No.

**L.17**

B R A N C H   L I B R A R Y   B U I L D I N G S

F O R                      T H E

C I T Y   O F   W A L T H A M

N O R T H   B R A N C H      B U I L D I N G ' A '      L E X I N G T O N   S T R E E T

S O U T H   B R A N C H      B U I L D I N G ' B '      H A L L   S T R E E T

W A L T H A M   ,   M A S S A C H U S E T T S

H O N O R A B L E   A U S T I N   D .   R H O D E S   ,   M A Y O R

L I B R A R Y                      T R U S T E E S

J O H N   J .   F L Y N N ,   C H A I R M A N

R E V .   G E O R G E   O .   E K W A L L ,   S E C .

H O N .   P A U L   K .   C O N N O L L Y

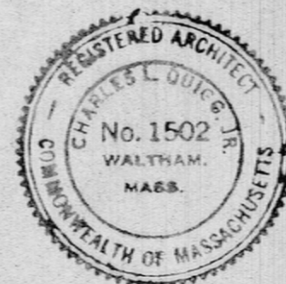
D R .   I R A   F L A S C H N E R

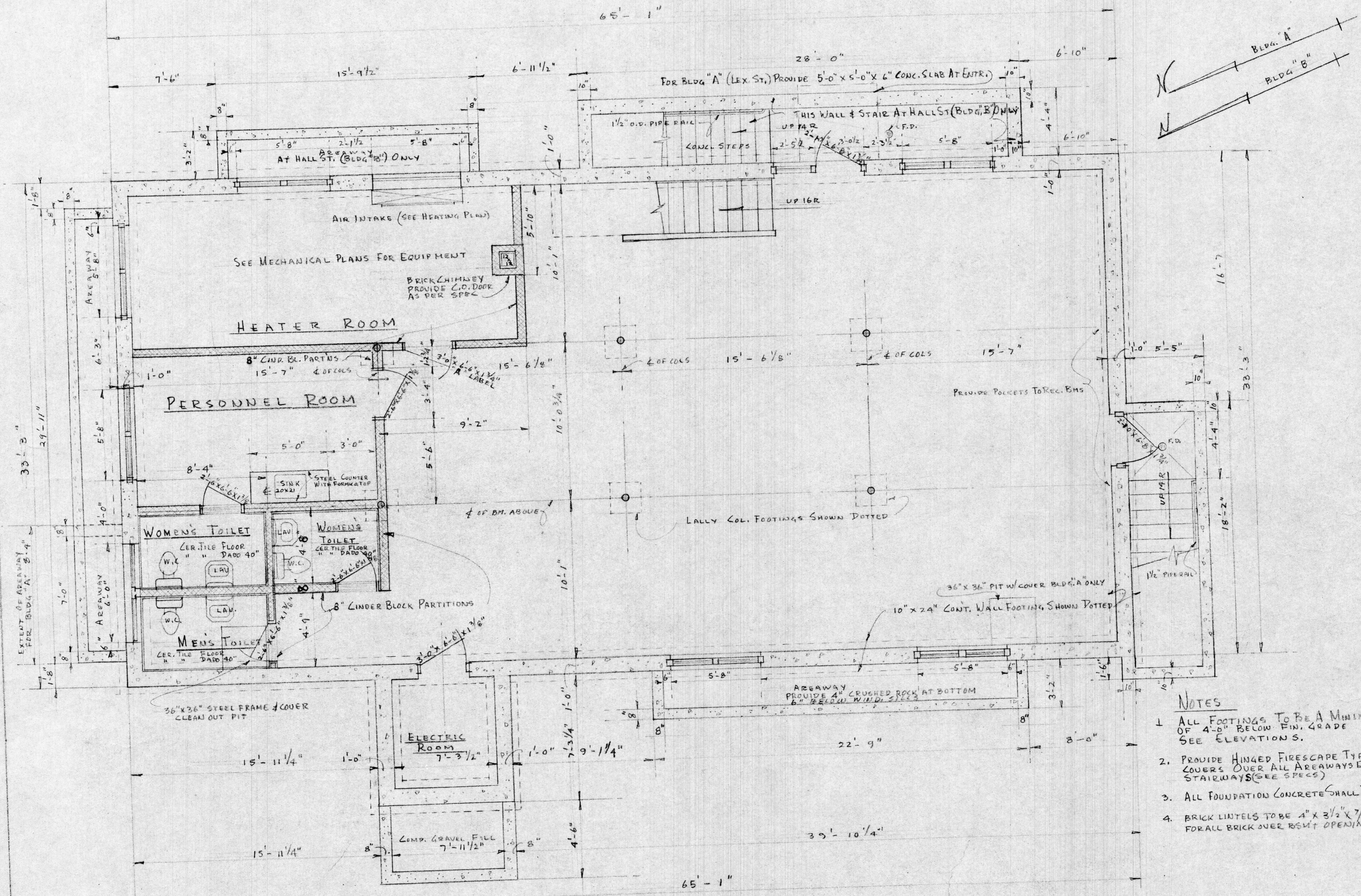
R E V .   D A N I E L   A .   M C C A B E

M R S .   L O W E L L   W A R R E N

C H A R L E S   L .   Q U I G G   J R .   A S S O C I A T E S ,   A R C H I T E C T

6   L O N G   W H A R F ,      B O S T O N ,   M A S S .

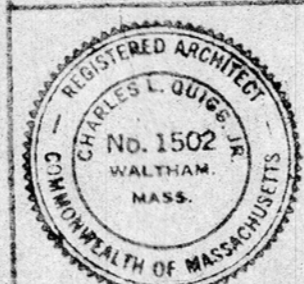




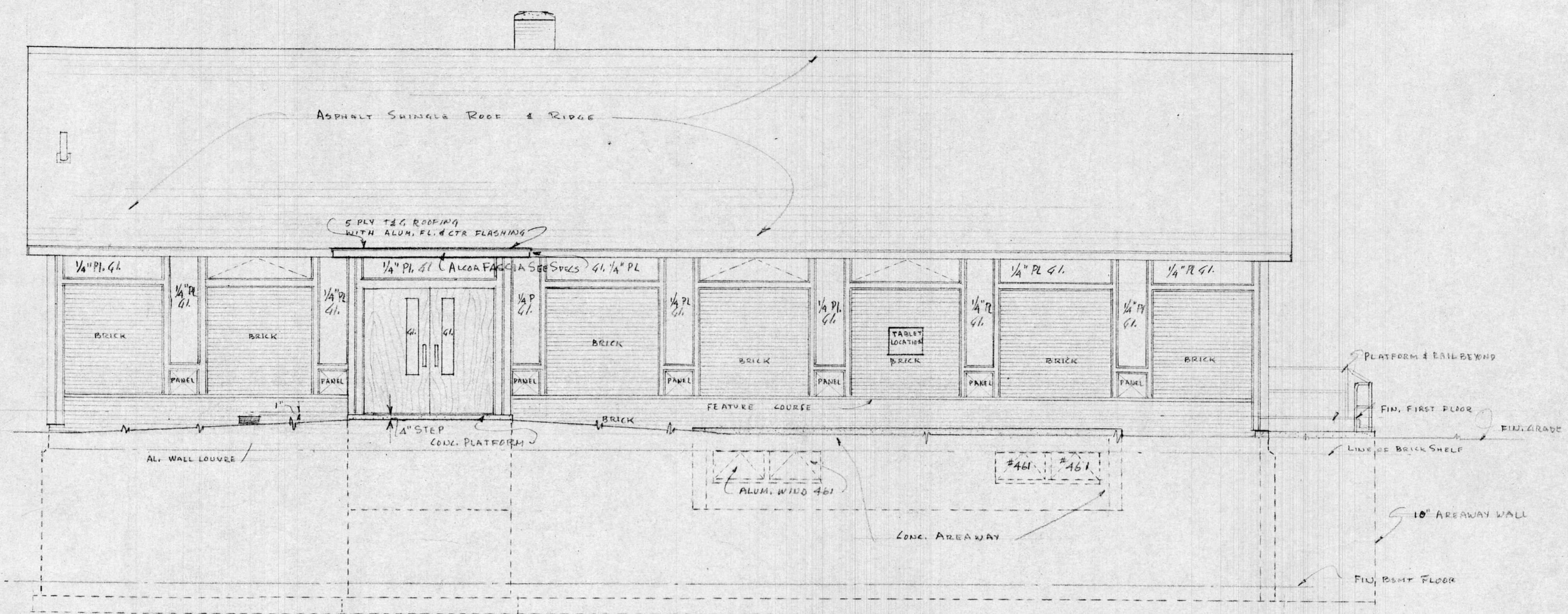
**BASEMENT & FOUNDATION PLAN**  
 SCALE 1/4" = 1' - 0"

- NOTES**
1. ALL FOOTINGS TO BE A MINIMUM OF 4'-0" BELOW FIN. GRADE SEE ELEVATIONS.
  2. PROVIDE HINGED FIRESCAPE TYPE COVERS OVER ALL AREAWAYS EXCEPT STAIRWAYS (SEE SPECS)
  3. ALL FOUNDATION CONCRETE SHALL BE 3000#
  4. BRICK LINTELS TO BE 1" X 3 1/2" X 7/16" L'S FOR ALL BRICK OVER BSMT OPENINGS.

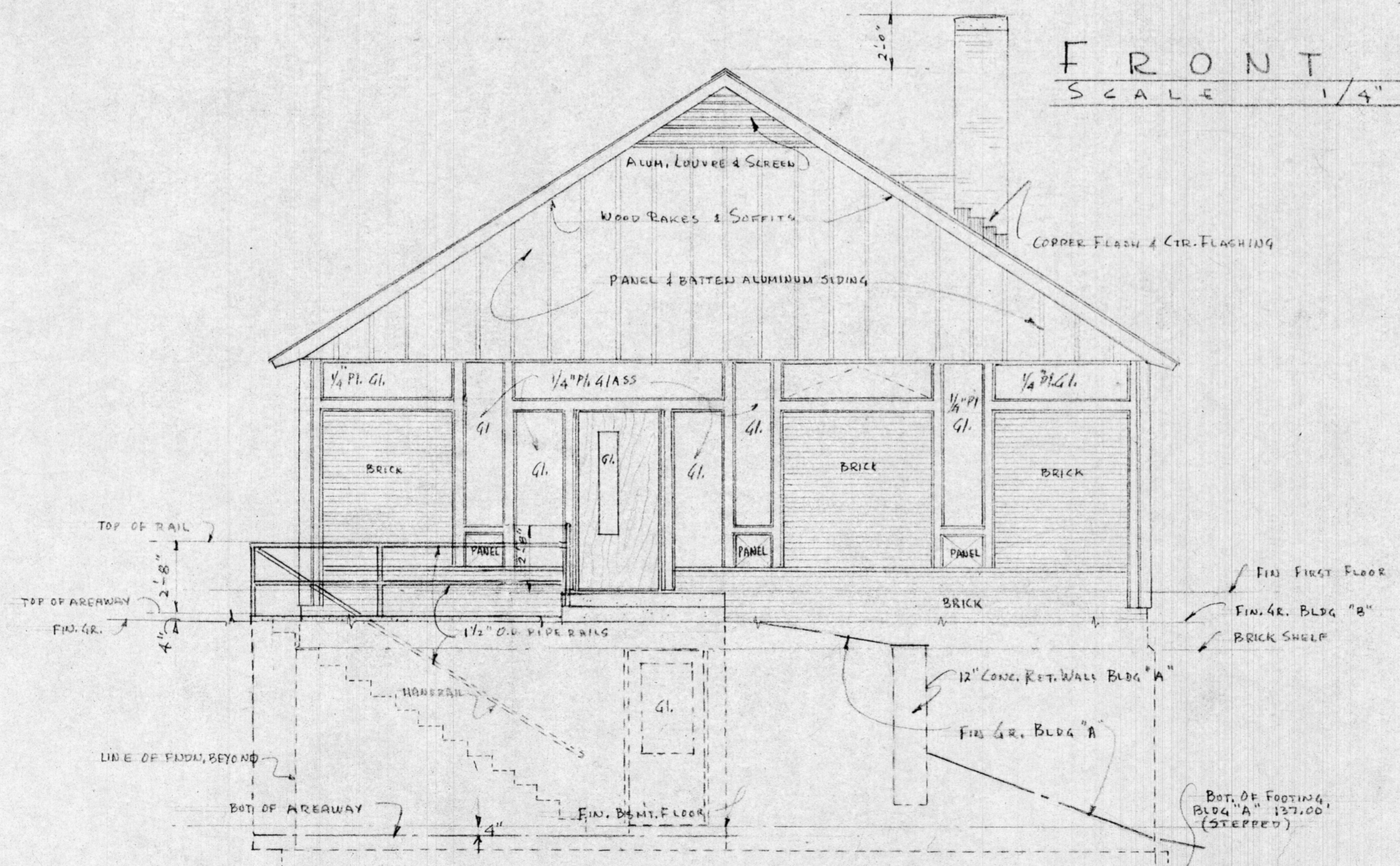
BRANCH LIBRARY BUILDINGS FOR THE CITY OF WALTHAM		JOB NO. 0-38
LEXINGTON STREET - BUILDING "A" AND HALL STREET - BUILDING "B" WALTHAM, MASS.		1
CHARLES L. QUIGG JR. ASSOCIATES ARCHITECT		
6 LONG WHARF, BOSTON, MASSACHUSETTS		MAY 1, 1962







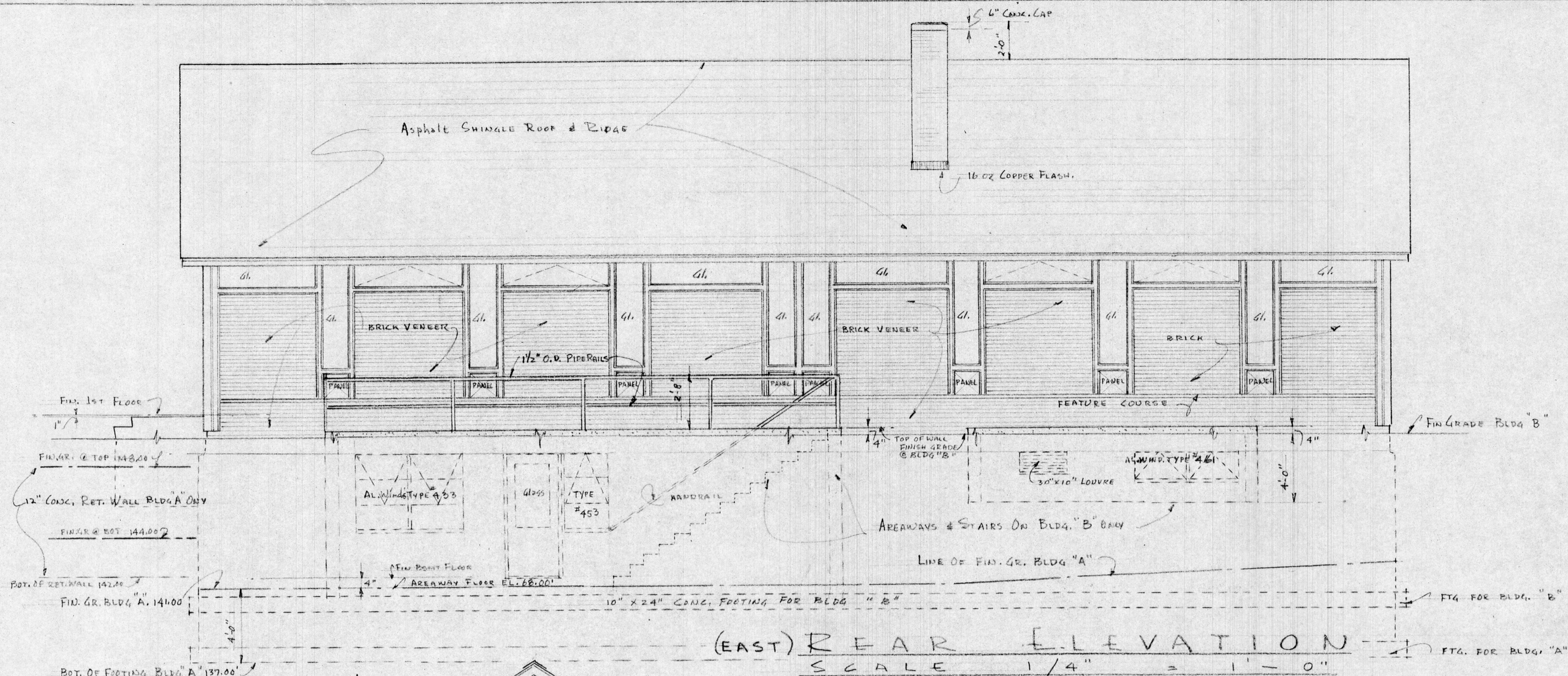
FRONT ELEVATION  
SCALE 1/4" = 1'-0"



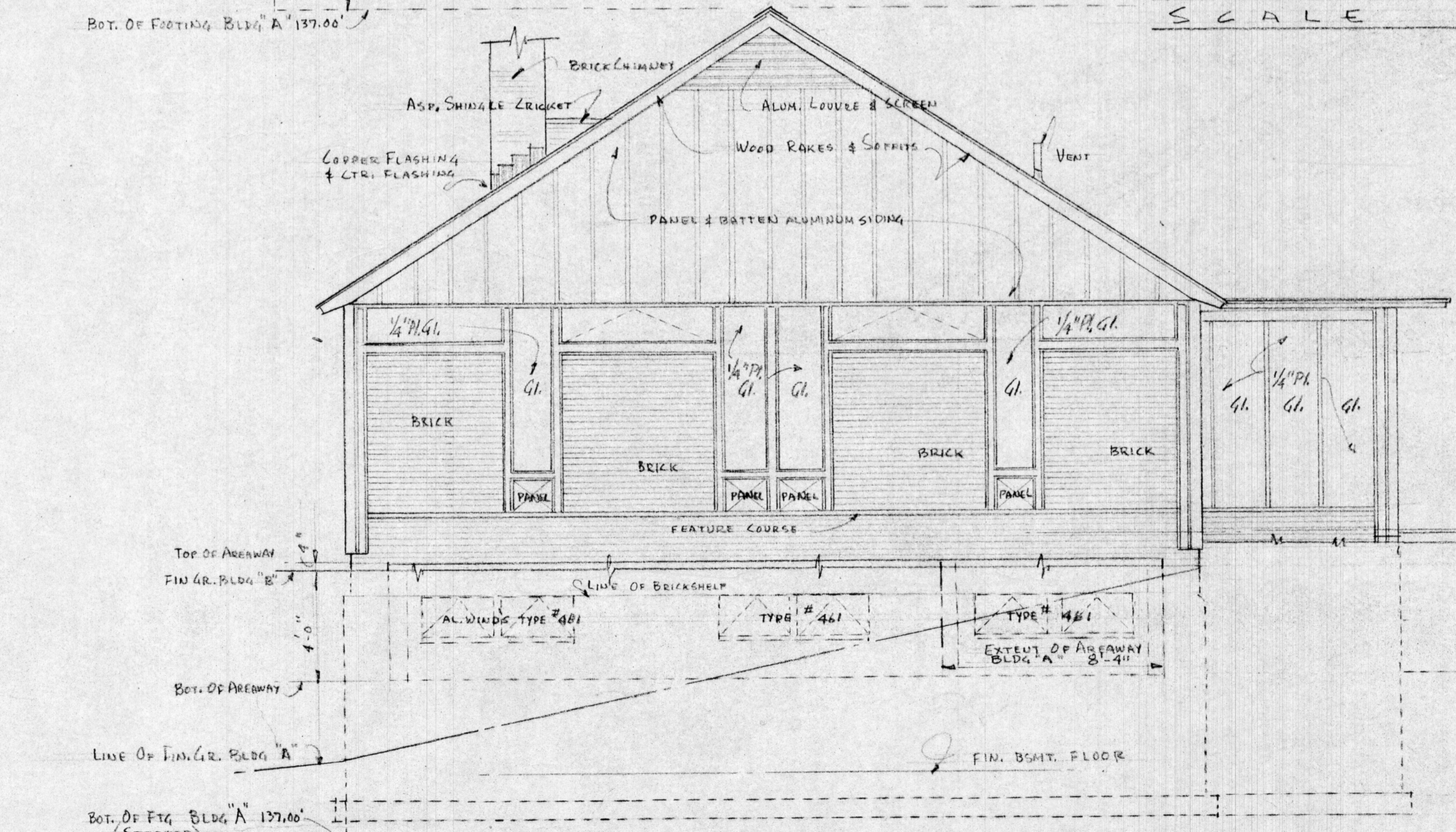
RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

BRANCH LIBRARY BUILDINGS FOR THE CITY OF WALTHAM		JOB NO. 0-38
LEXINGTON STREET - BUILDING "A" AND HALL STREET - BUILDING "B"		3
WALTHAM, MASS		
CHARLES L. QUIGG JR. ASSOCIATES ARCHITECT		MAY 1, 1962
6 LONG WHARF, BOSTON, MASSACHUSETTS		





(EAST) REAR ELEVATION  
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION (NORTH)  
SCALE 1/4" = 1'-0"

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	LEXINGTON STREET - BUILDING "A" AND HALL STREET - BUILDING "B" WALTHAM, MASS.	4
	CHARLES L. QUIGG JR. ASSOCIATES ARCHITECT 6 LONG WHARF, BOSTON, MASSACHUSETTS	MAY 1, 1962

