

THE CITY OF WALTHAM
MASSACHUSETTS

PURCHASING DEPARTMENT

ADA Bathroom Adaptation, 2020

ADDENDUM NO. 3

July 10, 2020

CHANGES, CORRECTIONS AND CLARIFICATIONS

The attention of bidders submitting proposals for the above subject project is called to the following addendum to the specifications. The items set forth herein, whether of omission, addition, substitution or clarification are all to be included in and form a part of the proposal submitted.

THE NUMBER OF THIS ADDENDUM (NO. 3) MUST BE ACKNOWLEDGED in SECTION 00310 -BID FORM.

ITEM 1: ANSWERS TO POSED QUESTIONS

Q1. Is this a DCAMM project? Its to believe this project will exceed \$150,000

A1 No DCAMM Cert is required for this project

Q2. Will a Filed Sub Bid for plumbing be added since it will exceed \$25,000?

A2. The estimates are below \$25k

Q3. How many bathrooms can be under construction at once?

A3. Multiple bathrooms can be worked at the same time in one building or all buildings. Attention must be paid to leaving at least one bathroom open for each gender. In all cases the contractor and the city will work on developing a construction schedule that will meet the needs of the contractor, the public and city staff.

Q4. Plan A103, children's bathroom shows a chase on the demo plan. During the walk-through it is to believe there is a structural post supporting the large beam above the ceiling. Please advise

A4. See attached drawings

Q5. Plan A103, children's bathroom shows the wall to be extended out, there is a sprinkler head and light fixture that will need to be relocated. Please advise

A5. See attached drawings

Q6. Plan A103, will any additional lighting be added to children's bathroom?

If the tile color cannot be matched exactly, is a similar color acceptable or will the entire wall need to re-tiled?

A6. See attached drawings

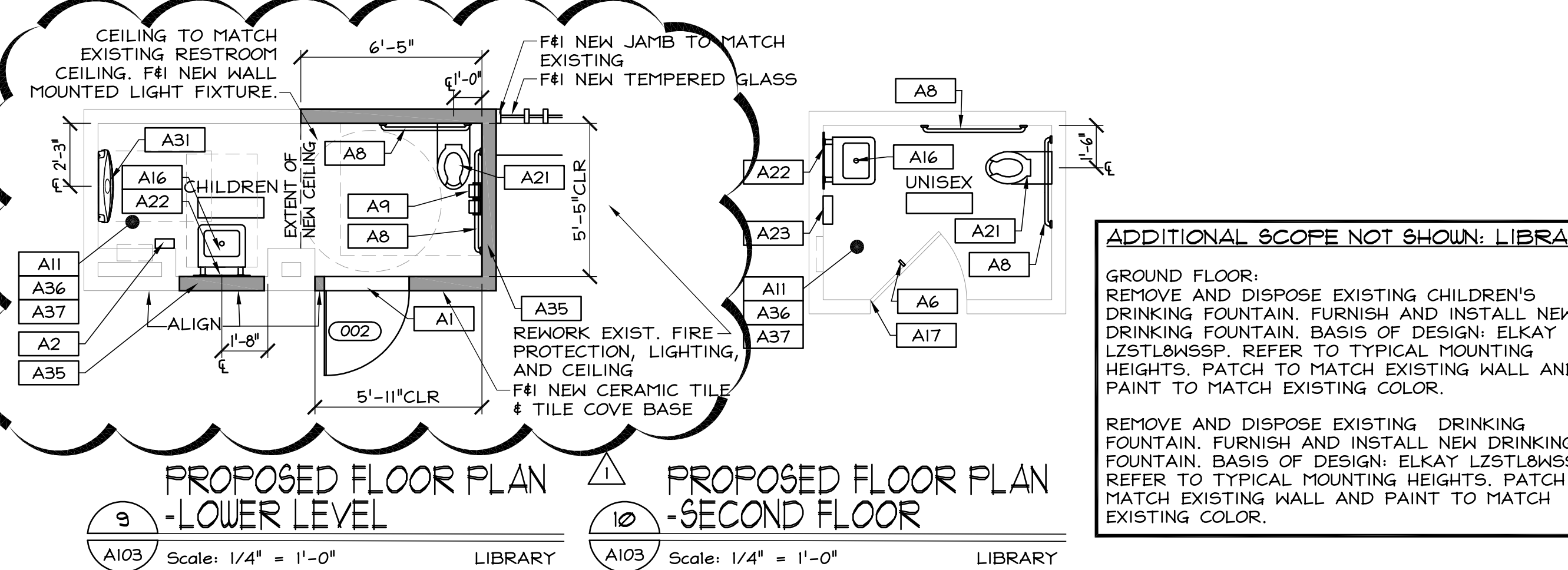
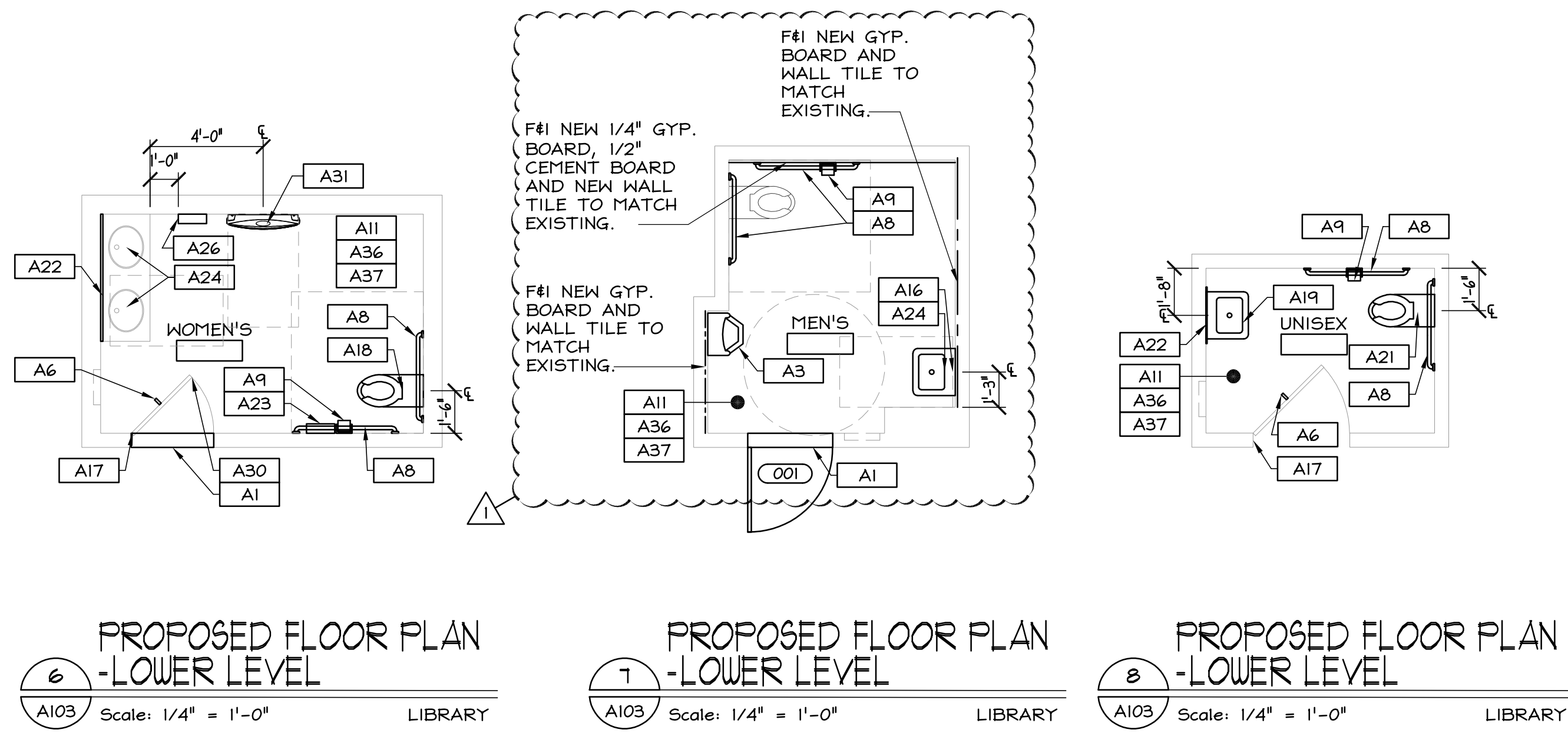
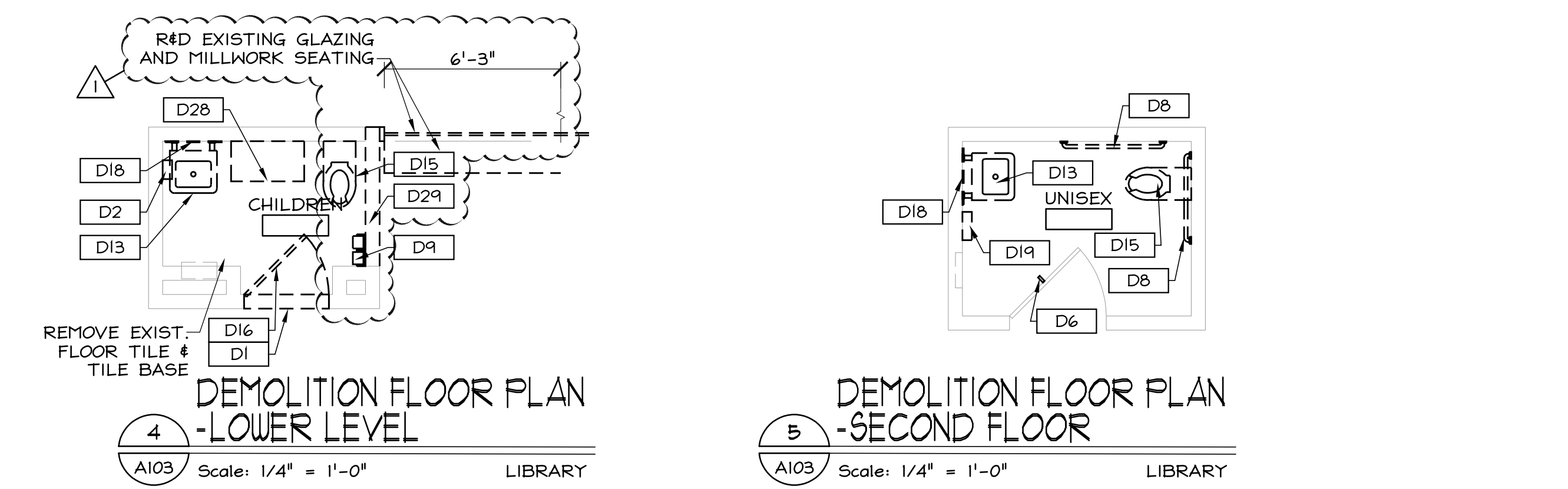
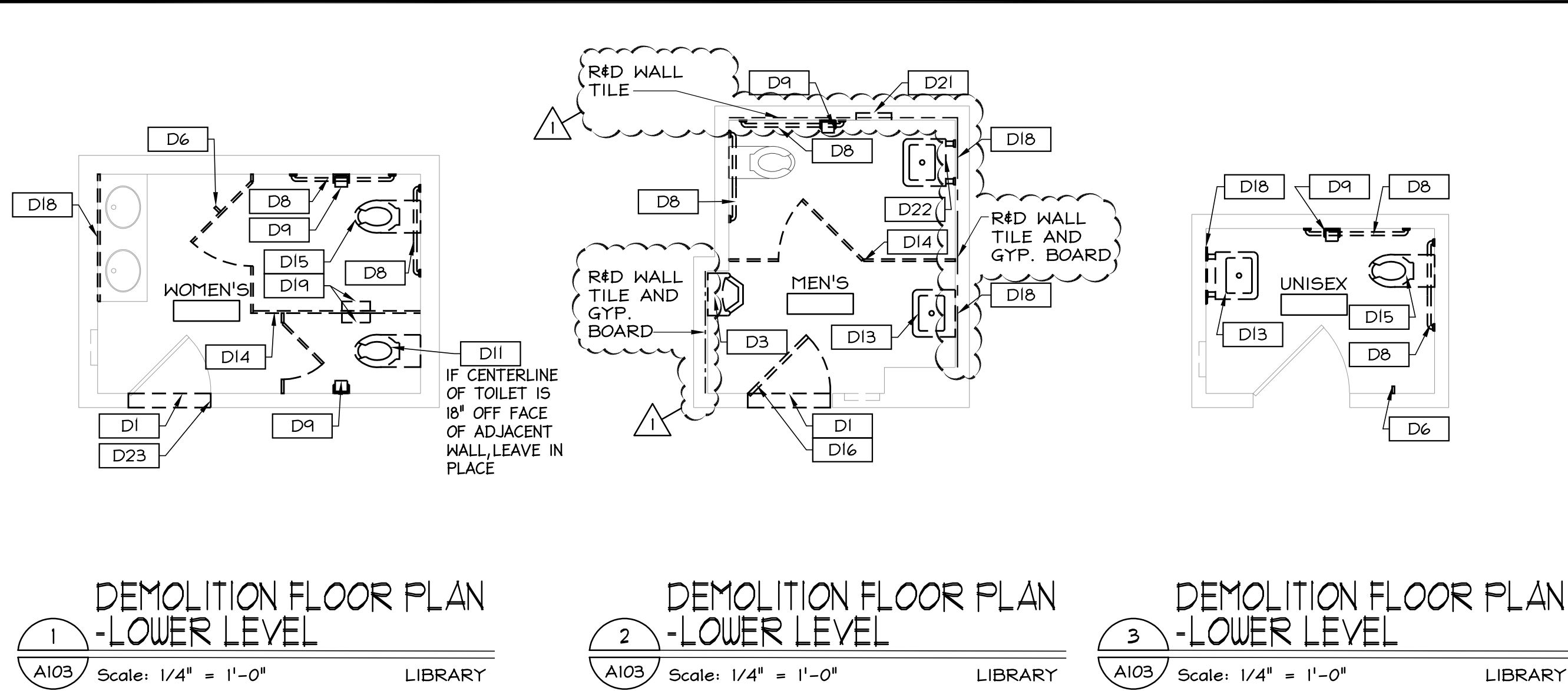
Q7. If the urinals and water closets are being lowered, all waste pipes will need to be re-worked in the walls. Please advise.

A7. See attached drawings

Q8. At the walk-through, the superintendent said the horn/strobes that need to be added, will be removed from SOW and completed by the City. Please advise.

A8. Please delete from the spec requirements.

End of Addendum 3



- DEMOLITION NOTES:**
- THE EXISTING CONDITIONS INFORMATION SHOWN &/OR INDICATED ON THE DRAWINGS WAS OBTAINED FROM LIMITED EXISTING DRAWINGS PREPARED BY OTHERS, (WHEN AVAILABLE); FIELD REVIEW; FIELD MEASUREMENT; &/OR OTHER AVAILABLE DOCUMENTATION &/OR OBSERVATION BY OTHERS. NOT ALL EXISTING CONDITIONS &/OR ACTUAL CONSTRUCTION MAY BE INDICATED &/OR KNOWN.
 - CONTRACTOR TO VERIFY ALL EXISTING, CONDITIONS, CONNECTIONS, LOCATIONS, SIZES, ETC. IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING DEMOLITION WORK.
 - CONTRACTOR TO COORDINATE EXTENTS OF ALL DEMOLITION WORK WITH ALL NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING DEMOLITION WORK.
 - CONTRACTOR TO PROPERLY DE-ENERGIZE, SHUT OFF & CAP ALL UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, ETC.) BACK TO THE EXISTING EXTERIOR WALLS, ROOF DECK, AND/OR TO SLAB OR GRADE. U.N.O. COORDINATE W/ MIEP DEMOLITION DWGS & LOCAL UTILITY COMPANIES.
 - FULL EXTENT OF BUILDING MATERIALS IS UNKNOWN. EXISTING BUILDING CONSTRUCTION MAY CONTAIN MATERIALS THAT REQUIRE ABATEMENT. IF POTENTIAL MATERIALS ARE DISCOVERED, CONTRACTOR TO NOTIFY OWNER & ARCHITECT BEFORE PROCEEDING WITH WORK.
 - CONTRACTOR TO PROVIDE ALL OSHA and/or BUILDING CODE REQUIRED SAFETY PROTECTION TO PROTECT WORKERS FROM FALLS, CRUSHING, ELECTROCUTION, IMPACT FROM ABOVE, ETC.
 - CONTRACTOR TO MAINTAIN BUILDING IN A SAFE AND SECURE MANNER AND TO ELIMINATE THE APPEARANCE OF AN ATTRACTIVE NUISANCE. MAINTAIN PHYSICAL BARRIER TO PREVENT BUILDING/ SITE ACCESS BY CHILDREN AT A MINIMUM.
 - CONTRACTOR TO PROTECT ALL EXISTING WORK TO REMAIN DURING DEMOLITION.
 - CONTRACTOR TO FURNISH AND INSTALL ALL SHORING AND/OR BRACING TO SUPPORT ALL EXISTING WALLS, FLOORS/ROOFS, ETC. PRIOR TO REMOVALS OF EXISTING CONSTRUCTION.
 - EXISTING BUILDING CONSTRUCTION DEFICIENCIES NOT INDICATED ON THE DRAWINGS, BUT UNCOVERED &/OR DISCOVERED BY CONTRACTOR'S CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION OF NEW WORK. ADDITIONAL DETAILS WILL BE FURNISHED AS NECESSARY. TYPICAL.
 - PROTECT THROUGH PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE-RESISTANCE-RATED WALL ASSEMBLIES WITH AN APPROVED FIRESTOP SYSTEM EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED.

- DEMOLITION LEGEND:**
- EXISTING WALL/ITEM TO REMAIN
 - EXISTING WALL/ITEM TO BE REMOVED
 - EXISTING FLOOR TO BE TRENCHED
 - R&D = REMOVE & DISPOSE OF
 - R&S = REMOVE & SALVAGE

- DEMOLITION WORK NOTES:**
- NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
 - NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.
 - R&D DOOR THRESHOLD IN IT'S ENTIRETY. PREP FLOOR FOR NEW ADA COMPLIANT THRESHOLD
 - R&S SOAP DISPENSER FOR REINSTALLATION
 - R&S URINAL FOR RELOCATION. OPEN WALL AS NECESSARY TO MOVE URINAL. CAP PIPES AS NECESSARY
 - R&S PRIVACY PARTITIONS FOR REINSTALLATION
 - R&S ACCESSIBLE TOILET COMPARTMENT AND/OR STALL DOOR FOR RECONFIGURATION OF DOOR SWING AND RELOCATION OF TOILET COMPARTMENT
 - R&S COAT HOOK FOR REINSTALLATION
 - R&D EXISTING BASE BOARD HEAT IN ITS ENTIRETY INCLUDING HEATING COVER, RADIATOR FINS, ETC. CUT BACK PIPING TO BE RELOCATED
 - R&D REAR AND SIDE MOUNTED GRAB BAR
 - R&S TOILET PAPER DISPENSER FOR REINSTALLATION
 - R&D LAVATORY COUNTERTOP AND/OR SINKS IN IT'S ENTIRETY. CAP PIPES AS NECESSARY
 - R&S WALL AND/OR FLOOR MOUNTED TOILET. OPEN WALL AS NECESSARY TO MOVE TOILET. CAP PIPES AS NECESSARY
 - R&S ROOM SIGNAGE FOR REINSTALLATION
 - R&S SINK IN IT'S ENTIRETY. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK
 - R&D ACCESSIBLE TOILET COMPARTMENT AND DOOR IN IT'S ENTIRETY
 - R&D FLOOR AND/OR WALL MOUNTED TOILET. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK IF APPLICABLE.
 - R&D DOOR, FRAME AND HARDWARE IN IT'S ENTIRETY
 - R&S PAPER TOWEL DISPENSER FOR REINSTALLATION
 - R&S MIRROR FOR REINSTALLATION
 - R&S FEMALE NAPKIN DISPENSER FOR REINSTALLATION
 - R&D ACCESSIBLE STALL'S LOCKING MECHANISM. PREP FOR NEW LOCK SET.
 - R&S RECESSED TOWEL DISPENSER & TRASH RECEPTACLE. RETURN BACK TO LIBRARY
 - R&D SINK. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK
 - R&S EXISTING DOOR FUNCTION HARDWARE. DEAD BOLT TO REMAIN
 - TRENCH FLOOR TO TIE INTO EXISTING SANITARY LINE AS NECESSARY TO ACCOMMODATE NEW FLOOR MOUNTED TOILET LOCATION
 - R&D TILE FLOOR AS NECESSARY TO ACCOMMODATE NEW WORK. PREP FOR NEW FINISH
 - R&D WALL TILE. PREP WALL FOR NEW FINISH
 - R&D ALL PLUMBING PENETRATIONS COMING THROUGH WALL. CAP PIPES BACK INTO WALL AS NECESSARY TO ACCOMMODATE NEW WORK
 - R&D BABY CHANGING TABLE IN IT'S ENTIRETY. PATCH WALL AS NECESSARY
 - R&D WALL ASSEMBLY IN IT'S ENTIRETY. PROVIDE TEMPORARY FIRE RATED PLASTIC CONSTRUCTION BARRIERS SECURED TIGHTLY TO ALL SURFACES. PLASTIC BARRIER SHALL HAVE A DOUBLE ZIPPER ENTRANCE. CONTRACTOR PROVIDE TEMPORARY EXIT SIGNAGE DIRECTED TO THE NEAREST EGRESS DOOR. REMOVE ALL RECEPTACLES AND/OR TELE DATA. TAKE BACK ALL POWER AND DATA WIRING BACK TO NEAREST JUNCTION BOX AND/OR BATCH POINT. ANY UNFORESEEN PLUMBING OR MECHANICAL DISCREPANCIES ARE THE G.C.'S RESPONSIBILITY TO MAKE SAFE AND FOLLOW THE INTERNATIONAL BUILDING CODE, PLUMBING, MECHANICAL AND ELECTRICAL CODE. REWORK ACOUSTICAL CEILING TILE & GRID SYSTEM, AND WINDOW SYSTEM AS NECESSARY TO ACCOMMODATE NEW WORK. CONTRACTOR TO VERIFY IF WALLS ARE NON-BEARING IN NATURE. IF IN DOUBT, CONTRACTOR TO HAVE A REGISTERED ENGINEER IN THE STATE OF MASSACHUSETTS REVIEW AND ISSUE A SKETCH TO CONCLUDE WITH THE WORK INTENDED, AND AS DOCUMENTED ON THE FLOOR PLANS/ 9/A103

- GENERAL PLAN NOTES:**
- COORDINATE ALL NEW WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
 - ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH U.N.O.
 - ALL WALL PENETRATIONS AND/OR DAMAGE CAUSED BY DEMOLITION AND/OR NEW WORK TO HAVE AREAS PATCHED & REPLACED IN-KIND. IF EXISTING MATERIALS CANNOT BE MATCHED, CONTRACTOR TO COVER IN THEIR BID NEW SIMILAR MATERIALS TO COVER ENTIRE WALL, NOT THE PATCHED AREA

- PROPOSED LEGEND:**
- EXISTING WALL/ITEM TO REMAIN
 - NEW WALL/PARTITION
 - F&I = FURNISH AND INSTALL

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- NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
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 - F&I ADA DOOR THRESHOLD TO MATCH EXISTING FINISH AND DOOR OPENING. THRESHOLD NOT TO EXCEED MAX HEIGHT OF 1/2". 1/4" VERTICAL W/ 1/4" BEVELED EDGE
 - REINSTALL SOAP DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
 - REINSTALL URINAL. RE-PIPE AS NECESSARY TO ACCOMMODATE NEW LOCATION. REFER TO TYPICAL MOUNTING HEIGHTS. PATCH & PAINT TILE TO MATCH EXISTING FINISH(S). IF FINISHES CANNOT BE MATCHED THEN PROVIDE NEW FINISHES ON ENTIRE WALL
 - REINSTALL PRIVACY PARTITIONS
 - REINSTALL ACCESSIBLE TOILET COMPARTMENT AND STALL DOOR
 - REINSTALL COAT HOOK. REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I NEW HIGH-OUTPUT HYDRONIC BASEBOARD RADIATOR. RE-ROUTE EXISTING PIPING IN WALL & ABOVE CEILING TO NEW RADIATOR LOCATION.
 - F&I REAR AND SIDE MOUNTED GRAB BARS. REFER TO TYPICAL MOUNTING HEIGHTS
 - REINSTALL TOILET PAPER DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I PULL HANDLES ON BOTH SIDES OF ACCESSIBLE STALL DOOR NEAR THE LATCH, AND CENTER DOOR OPENING HARDWARE 34"-48" ABOVE FINISH FLOOR
 - PATCH TO MATCH ENTIRE ROOM AS NECESSARY TO ACCOMMODATE NEW WORK. MATCH FLOOR, WALL TILE AND PAINT COLORS
 - F&I SOLID SURFACE COUNTERTOP. RE: 4/A104 FOR ADDITIONAL INFORMATION
 - F&I NEW ADA DROP IN SINKS. CONNECT PLUMBING TO EXISTING LOCATIONS IN THE WALL
 - REINSTALL WALL AND/OR FLOOR MOUNTED TOILET. RELOCATE CARRIER AS NECESSARY OR PROVIDE FLOOR OFFSET FLANGE TO ACCOMMODATE NEW LOCATION
 - REINSTALL ROOM SIGNAGE. REFER TO TYPICAL MOUNTING HEIGHTS
 - REINSTALL WALL MOUNTED SINK. REFER TO TYPICAL MOUNTING HEIGHTS
 - ADJUST OR REPLACE DOOR CLOSER. MAINTAIN DOOR HINGES TO PROVIDE AN OPENING FORCE NOT TO EXCEED 5LB
 - F&I ADA FLOOR MOUNTED TOILET. REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I NEW WALL MOUNTED SINK. REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I NEW TOILET COMPARTMENT PARTITIONS AND DOORS.
 - F&I ADA WALL MOUNTED TOILET. REFER TO TYPICAL MOUNTING HEIGHTS
 - REINSTALL MIRROR. REFER TO TYPICAL MOUNTING HEIGHTS
 - REINSTALL FEMALE NAPKIN DISPOSAL. REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I ADA COMPLIANT UNDER SINK PIPE PROTECTION
 - F&I NEW LOCKING MECHANISM FOR TOILET COMPARTMENT STALL DOOR
 - F&I NEW SURFACE MOUNTED SANITARY NAPKIN DISPENSER. (BOBRICK B-2706) REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I NEW SANITARY NAPKIN DISPOSAL. (BOBRICK B-254). REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I NEW PLUMBING WALL. 3-5/8" METAL STUD W/ TYPE X 5/8" GYP. BOARD TO UNDERSIDE OF DECK.
 - REINSTALL PAPER TOWEL DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
 - F&I NEW PRIVACY LOCKSET FUNCTION FOR EXISTING DOOR. MATCH MANUFACTURER AND FINISH TO EXISTING HARDWARE SETS
 - F&I HORIZONTAL WALL-MOUNTED BABY CHANGING STATION (BOBRICK KB200-01)
 - INFILL TRENCH WITH CONCRETE ONCE NEW SANITARY CONNECTION IS IN-PLACE
 - F&I NEW CERAMIC FLOOR TILE. FLOOR TILE TO MATCH EXISTING COLOR AND SIZE
 - F&I NEW CERAMIC WALL TILE. WALL TILE TO MATCH EXISTING COLOR AND SIZE
 - F&I NEW WALL ASSEMBLY AND UL LISTING IF APPLICABLE TO MATCH EXISTING. NEW WALL TO EXTEND TO UNDERSIDE OF DECK. F&I NEW CEILING TILES AS NECESSARY TO MATCH EXISTING. MATCH WINDOW SYSTEM AS NECESSARY TO ACCOMMODATE NEW WALL LOCATION
 - F&I NEW HORN AND STROBE SYSTEM CONNECTED TO FIRE ALARM AND CIRCUITED TO THE NEAREST PANEL W/ SPACE TO ADD APPROPRIATE CIRCUITRY IF BATHROOM IS NOT EQUIPPED WITH HORN AND STROBE. CONTRACTOR TO INCLUDE ALL LABOR AND MATERIALS NECESSARY TO MAKE THE HORN AND STROBE SYSTEM MEET CODE AND BE OPERABLE AND IN TANDEM W/ EXISTING FIRE ALARM SYSTEM
 - PATCH HOLE FROM REMOVAL OF FLOOR TOILET AND/OR PATCH WALL FROM REMOVAL OF WALL MOUNTED FIXTURES. CONTRACTOR TO PREP FLOOR AND/OR WALL FOR NEW FINISH MATERIAL TO MATCH EXISTING. IF NEW MATERIAL CANNOT BE MATCHED, CONTRACTOR TO REPLACE ENTIRE FLOOR, WALL AND/OR CEILING SURFACE TO MATCH AND/OR BE SIMILAR IN MATERIAL AS THE EXISTING

ADDITIONAL SCOPE NOT SHOWN: LIBRARY

GROUND FLOOR:
REMOVE AND DISPOSE EXISTING CHILDREN'S DRINKING FOUNTAIN. FURNISH AND INSTALL NEW DRINKING FOUNTAIN. BASIS OF DESIGN: ELKAY LZSTL&WSSP. REFER TO TYPICAL MOUNTING HEIGHTS. PATCH TO MATCH EXISTING WALL AND PAINT TO MATCH EXISTING COLOR.

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Certification

Drawn by AJG
Checked by DLD

Revised on
ADDENDUM #1
10 JULY 2020

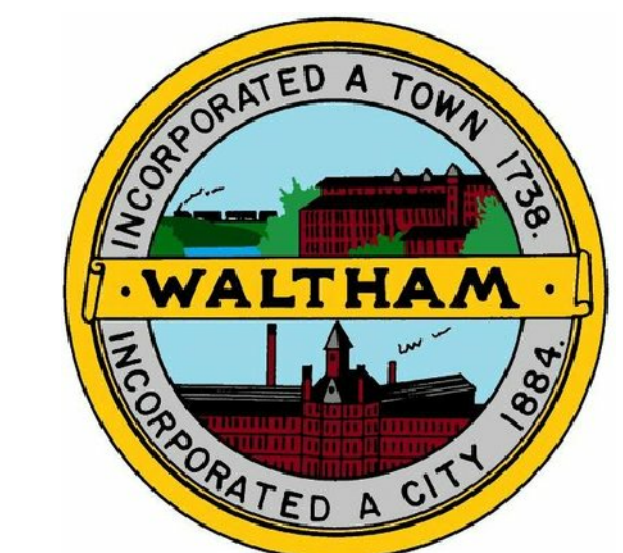
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E-mail: rgbinfo@rgb.net
www.rgb.net

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ARCHITECTS

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Project

**CITY OF WALTHAM
ADA UPGRADES**



610 Main Street
Waltham, MA 02452

Drawing Status
**ISSUED FOR
CONSTRUCTION**

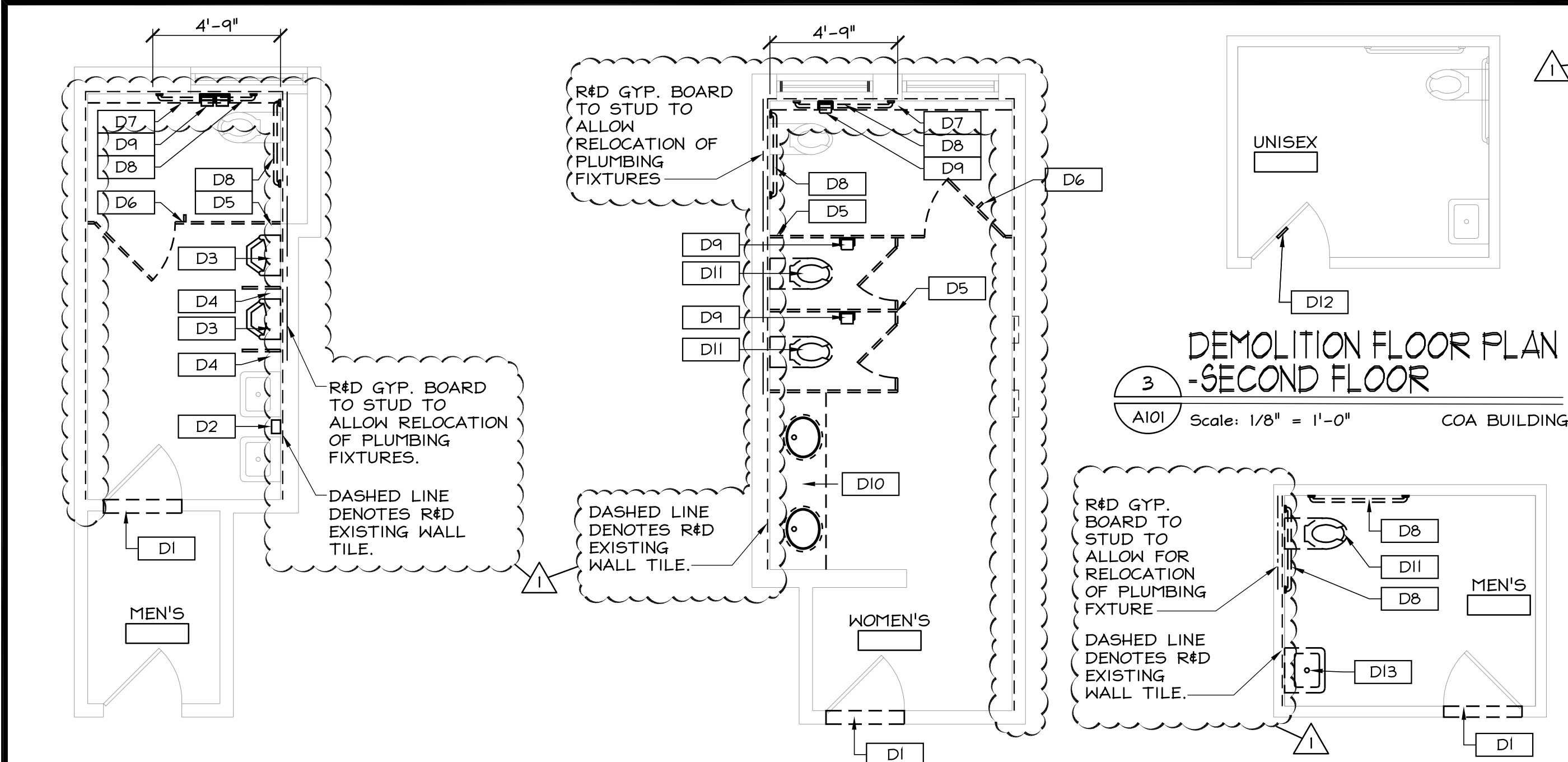
Issued On JUNE 5, 2020

Sheet Contents
**DEMOLITION &
PROPOSED FLOOR
PLANS-PUBLIC
LIBRARY**

Project Number. 6525

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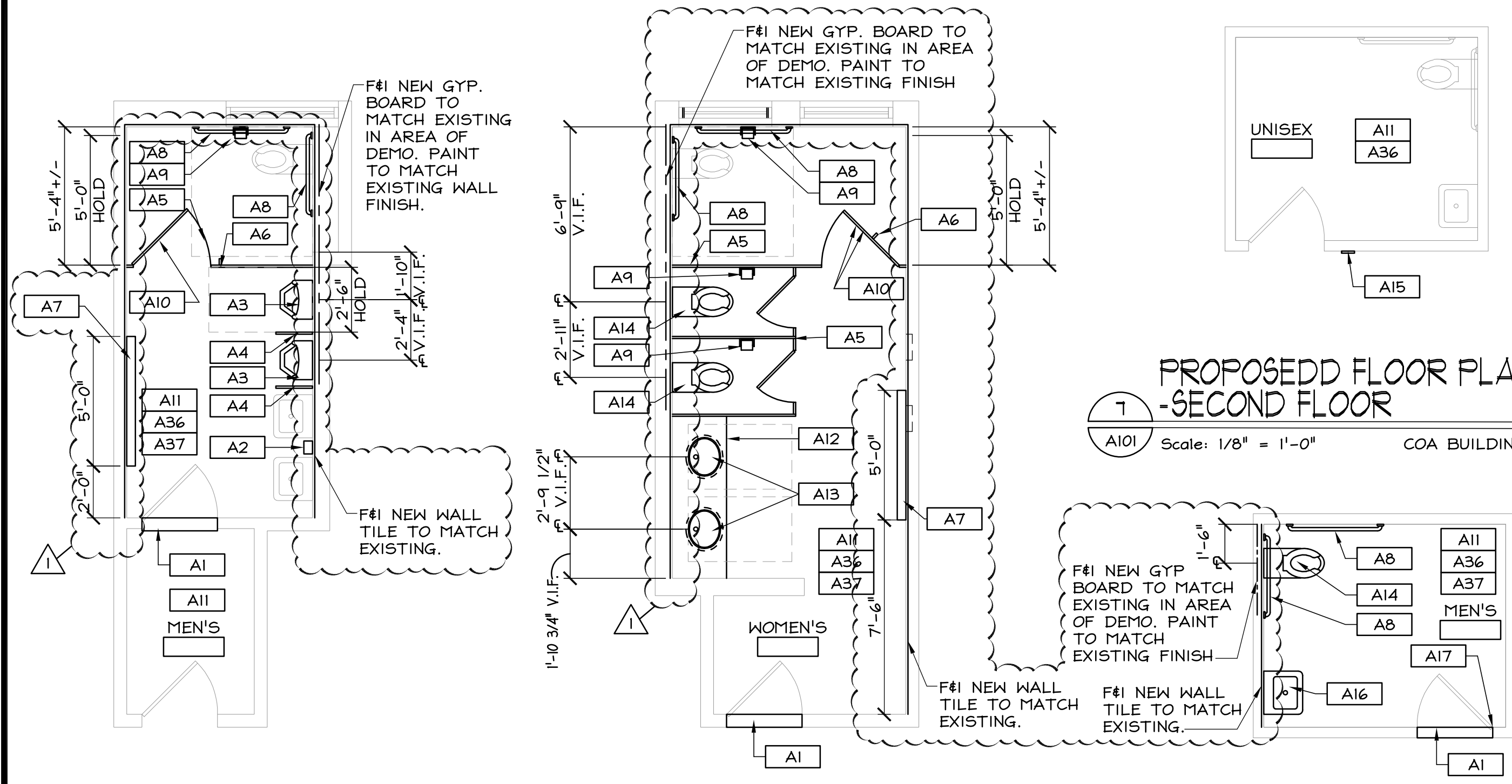
A103
Sheet of



1 DEMOLITION FLOOR PLAN -FIRST FLOOR
 A101 Scale: 1/8" = 1'-0" COA BUILDING

2 DEMOLITION FLOOR PLAN -FIRST FLOOR
 A101 Scale: 1/8" = 1'-0" COA BUILDING

3 DEMOLITION FLOOR PLAN -SECOND FLOOR
 A101 Scale: 1/8" = 1'-0" COA BUILDING



5 PROPOSED FLOOR PLAN -FIRST FLOOR
 A101 Scale: 1/8" = 1'-0" COA BUILDING

6 PROPOSED FLOOR PLAN -FIRST FLOOR
 A101 Scale: 1/8" = 1'-0" COA BUILDING

7 PROPOSED FLOOR PLAN -SECOND FLOOR
 A101 Scale: 1/8" = 1'-0" COA BUILDING

8 PROPOSED FLOOR PLAN -SECOND FLOOR
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DEMOLITION WORK NOTES:

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- xxx NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.
- D1 R#D DOOR THRESHOLD IN IT'S ENTIRETY. PREP FLOOR FOR NEW ADA COMPLIANT THRESHOLD
- D2 R#S SOAP DISPENSER FOR REINSTALLATION
- D3 R#S URINAL FOR RELOCATION. OPEN WALL AS NECESSARY TO MOVE URINAL. CAP PIPES AS NECESSARY
- D4 R#S PRIVACY PARTITIONS FOR REINSTALLATION
- D5 R#S ACCESSIBLE TOILET COMPARTMENT AND/OR STALL DOOR FOR RECONFIGURATION OF DOOR SWING AND RELOCATION OF TOILET COMPARTMENT
- D6 R#S COAT HOOK FOR REINSTALLATION
- D7 R#D EXISTING BASE BOARD HEAT IN IT'S ENTIRETY INCLUDING HEATING COVER, RADIATOR FINS, ETC. CUT BACK PIPING TO BE RELOCATED
- D8 R#D REAR AND SIDE MOUNTED GRAB BAR
- D9 R#S TOILET PAPER DISPENSER FOR REINSTALLATION
- D10 R#D LAVATORY COUNTERTOP AND/OR SINKS IN IT'S ENTIRETY. CAP PIPES AS NECESSARY
- D11 R#S WALL AND/OR FLOOR MOUNTED TOILET. OPEN WALL AS NECESSARY TO MOVE TOILET. CAP PIPES AS NECESSARY
- D12 R#S ROOM SIGNAGE FOR REINSTALLATION
- D13 R#S SINK IN IT'S ENTIRETY. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK
- D14 R#D ACCESSIBLE TOILET COMPARTMENT AND DOOR IN IT'S ENTIRETY

GENERAL PLAN NOTES:

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PROPOSED LEGEND:

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- NEW WALL/PARTITION
- F#1 = FURNISH AND INSTALL

PLAN WORK NOTES:

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- A2 REINSTALL SOAP DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
- A3 REINSTALL URINAL. RE-PIPE AS NECESSARY TO ACCOMMODATE NEW LOCATION. REFER TO TYPICAL MOUNTING HEIGHTS. PATCH & PAINT WALL OR MATCH TILE TO MATCH EXISTING FINISH(S). IF FINISHES CANNOT BE MATCHED THEN PROVIDE NEW FINISHES ON ENTIRE WALL
- A4 REINSTALL PRIVACY PARTITIONS
- A5 REINSTALL ACCESSIBLE TOILET COMPARTMENT AND STALL DOOR
- A6 REINSTALL COAT HOOK. REFER TO TYPICAL MOUNTING HEIGHTS
- A7 F#1 NEW HIGH-OUTPUT HYDRONIC BASEBOARD RADIATOR. RE-ROUTE EXISTING PIPING IN WALL & ABOVE CEILING TO NEW RADIATOR LOCATION
- A8 F#1 REAR AND SIDE MOUNTED GRAB BARS. REFER TO TYPICAL MOUNTING HEIGHTS
- A9 REINSTALL TOILET PAPER DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
- A10 F#1 PULL HANDLES ON BOTH SIDES OF ACCESSIBLE STALL DOOR NEAR THE LATCH, AND CENTER DOOR OPENING HARDWARE 34"-48" ABOVE FINISH FLOOR
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- A15 REINSTALL ROOM SIGNAGE. REFER TO TYPICAL MOUNTING HEIGHTS
- A16 REINSTALL WALL MOUNTED SINK. REFER TO TYPICAL MOUNTING HEIGHTS
- A17 ADJUST OR REPLACE DOOR CLOSER. MAINTAIN DOOR HINGES TO PROVIDE AN OPENING FORCE NOT TO EXCEED 5LBF
- A18 F#1 ADA FLOOR MOUNTED TOILET. REFER TO TYPICAL MOUNTING HEIGHTS
- A19 F#1 NEW WALL MOUNTED SINK. REFER TO TYPICAL MOUNTING HEIGHTS

- D15 R#D FLOOR AND/OR WALL MOUNTED TOILET. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK IF APPLICABLE.
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- D21 R#S RECESSED TOWEL DISPENSER & TRASH RECEPTACLE. RETURN BACK TO LIBRARY
- D22 R#D SINK. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK
- D23 R#S EXISTING DOOR FUNCTION HARDWARE. DEAD BOLT TO REMAIN
- D24 TRENCH FLOOR TO TIE INTO EXISTING SANITARY LINE AS NECESSARY TO ACCOMMODATE NEW FLOOR MOUNTED TOILET LOCATION
- D25 R#D TILE FLOOR AS NECESSARY TO ACCOMMODATE NEW WORK. PREP FOR NEW FINISH
- D26 R#D WALL TILE. PREP WALL FOR NEW FINISH
- D27 R#D ALL PLUMBING PENETRATIONS COMING THROUGH WALL. CAP PIPES BACK INTO WALL AS NECESSARY TO ACCOMMODATE NEW WORK
- D28 R#D BABY CHANGING TABLE IN IT'S ENTIRETY. PATCH WALL AS NECESSARY
- D29 R#D WALL ASSEMBLY IN IT'S ENTIRETY. PROVIDE TEMPORARY FIRE RATED PLASTIC CONSTRUCTION BARRIERS SECURED TIGHTLY TO ALL SURFACES, PLASTIC BARRIER SHALL HAVE A DOUBLE ZIPPER ENTRANCE. CONTRACTOR PROVIDE TEMPORARY EXIT SIGNAGE DIRECTED TO THE NEAREST EGRESS DOOR. REMOVE ALL RECEPTACLES AND/OR TELE DATA. TAKE BACK ALL POWER AND DATA WIRING BACK TO NEAREST JUNCTION BOX AND/OR BATCH POINT. ANY UNFORESSEEN PLUMBING OR MECHANICAL DISCREPANCIES ARE THE G.C.'S RESPONSIBILITY TO TAKE SAFE AND FOLLOW THE INTERNATIONAL BUILDING CODE, PLUMBING, MECHANICAL AND ELECTRICAL CODE. REWORK ACOUSTICAL CEILING TILE & GRID SYSTEM, AND WINDOW SYSTEM AS NECESSARY TO ACCOMMODATE NEW WORK. CONTRACTOR TO VERIFY IF WALLS ARE NON-BEARING IN NATURE. IF IN DOUBT, CONTRACTOR TO HAVE A REGISTERED ENGINEER IN THE STATE OF MASSACHUSETTS REVIEW AND ISSUE A SKETCH TO CONCLUDE WITH THE WORK INTENDED, AND AS DOCUMENTED ON THE FLOOR PLANS/ 9/A103

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- A26 F#1 NEW SURFACE MOUNTED SANITARY NAPKIN DISPENSER. (BOBRICK B-2706) REFER TO TYPICAL MOUNTING HEIGHTS
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- A28 F#1 NEW PLUMBING WALL. 3-5/8" METAL STUD W/ TYPE X 5/8" GYP. BOARD TO UNDERSIDE OF DECK.
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- A35 F#1 NEW WALL ASSEMBLY AND UL LISTING IF APPLICABLE TO MATCH EXISTING. NEW WALL TO EXTEND TO UNDERSIDE OF DECK. F#1 NEW CEILING TILES AS NECESSARY TO MATCH EXISTING. MATCH WINDOW SYSTEM AS NECESSARY TO ACCOMMODATE NEW WALL LOCATION
- A36 F#1 NEW HORN AND STROBE SYSTEM CONNECTED TO FIRE ALARM AND CIRCUITED TO THE NEAREST PANEL W/ SPACE TO ADD APPROPRIATE CIRCUITRY IF BATHROOM IS NOT EQUIPPED WITH HORN AND STROBE. CONTRACTOR TO INCLUDE ALL LABOR AND MATERIALS NECESSARY TO MAKE THE HORN AND STROBE SYSTEM MEET CODE AND BE OPERABLE AND IN TANDEN W/ EXISTING FIRE ALARM SYSTEM
- A37 PATCH HOLE FROM REMOVAL OF FLOOR TOILET AND/OR PATCH WALL FROM REMOVAL OF WALL MOUNTED FIXTURES. CONTRACTOR TO PREP FLOOR AND/OR WALL FOR NEW FINISH MATERIAL TO MATCH EXISTING. IF NEW MATERIAL CANNOT BE MATCHED, CONTRACTOR TO REPLACE ENTIRE FLOOR, WALL AND/OR CEILING SURFACE TO MATCH AND/OR BE SIMILAR IN MATERIAL AS THE EXISTING

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Certification

Drawn by AJG
 Checked by DLD

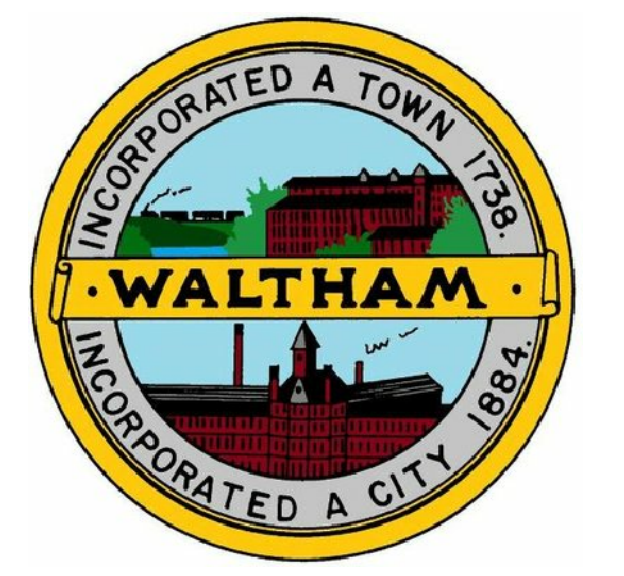
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**CITY OF WALTHAM
 ADA UPGRADES**



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Drawing Status
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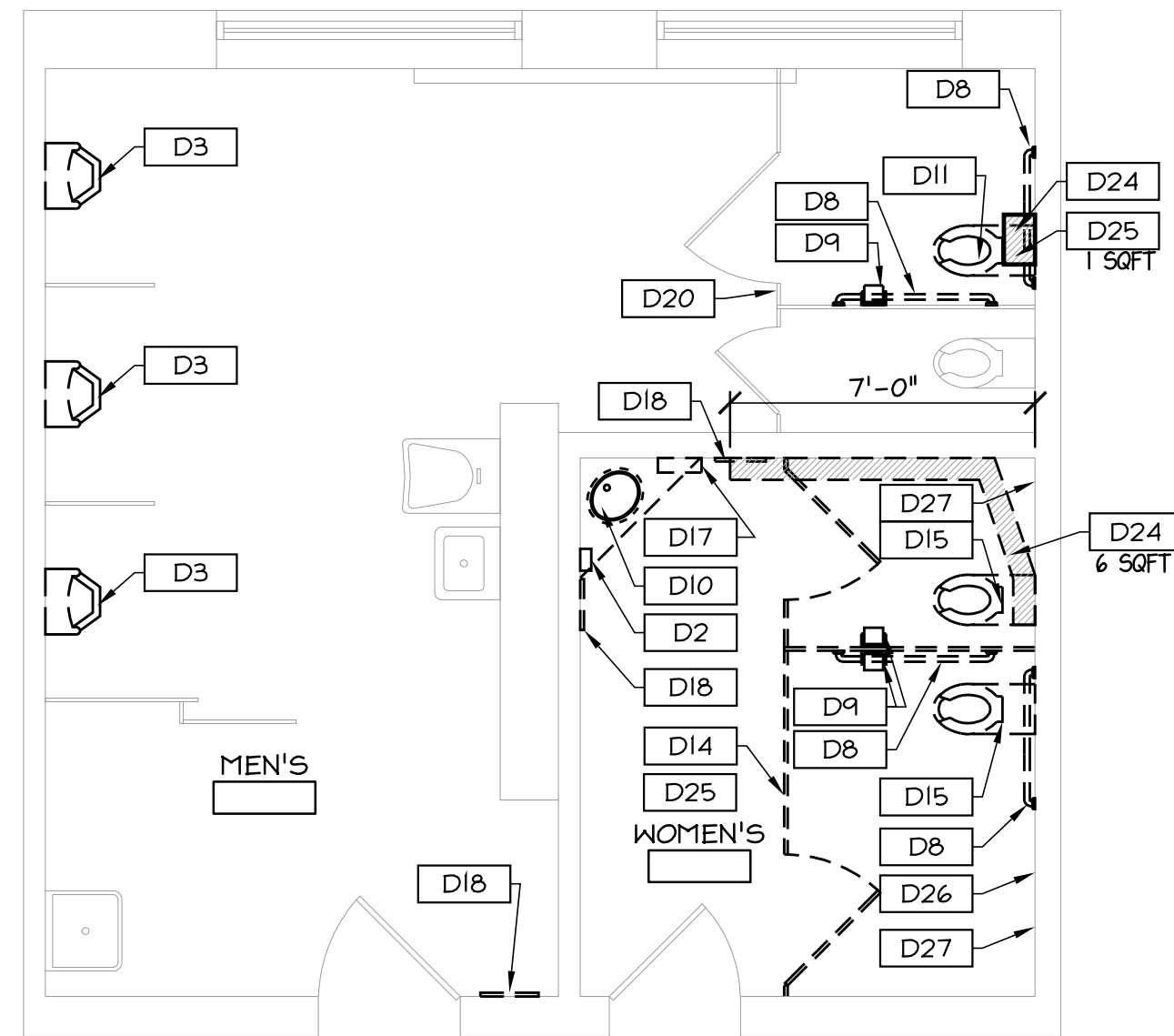
Issued On JUNE 5, 2020

Sheet Contents
**DEMOLITION &
 PROPOSED FLOOR
 PLANS-COA BUILDING**

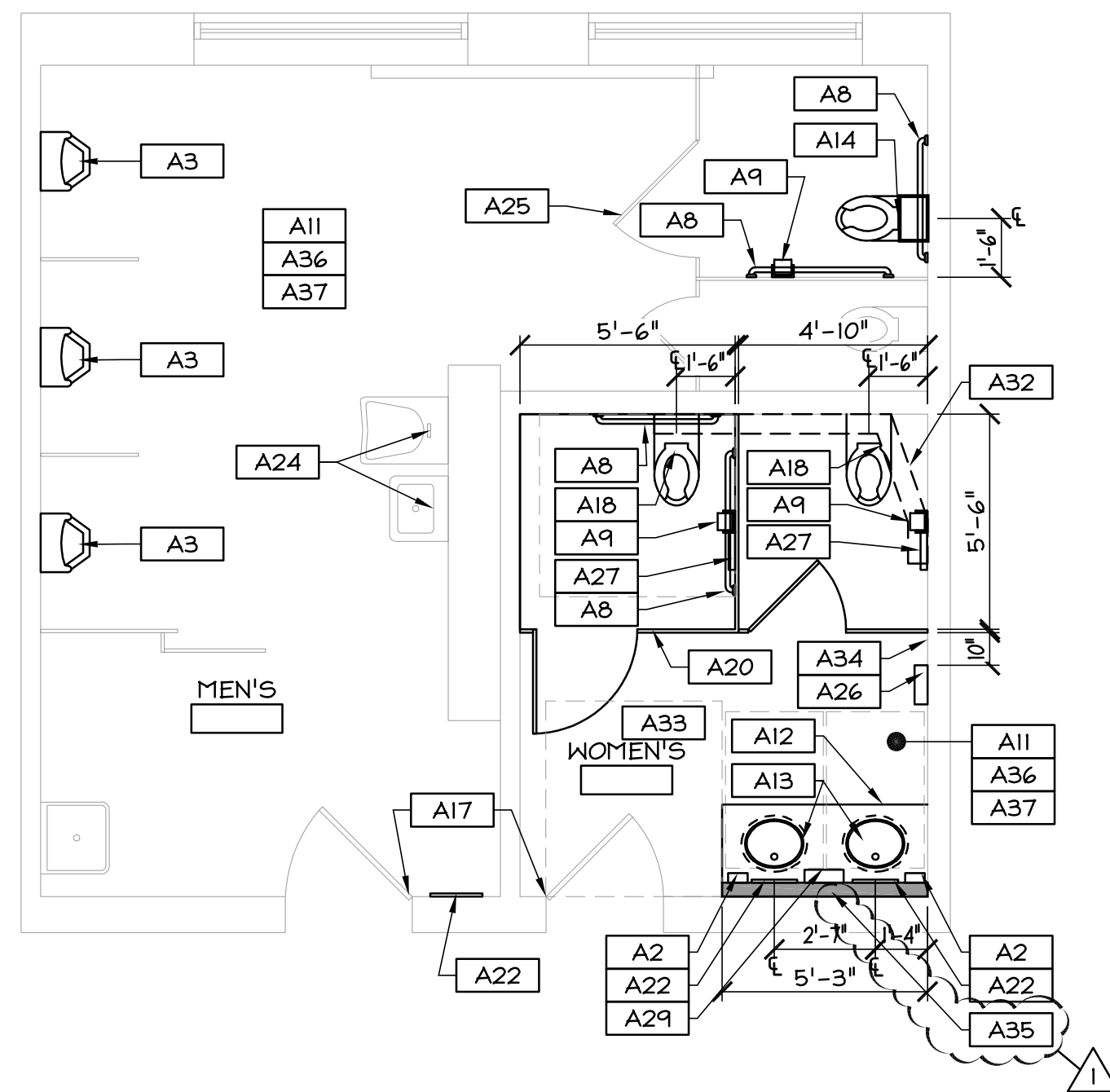
Project Number. 6525

Drawing No. **A101**

Sheet of



1
DEMOLITION FLOOR PLAN - GROUND FLOOR
 A102 Scale: 1/4" = 1'-0" GOVERNMENT CENTER



2
PROPOSED FLOOR PLAN - GROUND FLOOR
 A102 Scale: 1/4" = 1'-0" GOVERNMENT CENTER

ADDITIONAL SCOPE NOT SHOWN: GOVERNMENT CENTER

GROUND FLOOR:
 REMOVE AND DISPOSE EXISTING DRINKING FOUNTAIN. FURNISH AND INSTALL NEW DRINKING FOUNTAIN. BASIS OF DESIGN: ELKAY LZSTL8WSSP. REFER TO TYPICAL MOUNTING HEIGHTS. PATCH TO MATCH EXISTING WALL AND PAINT TO MATCH EXISTING COLOR.

FIRST FLOOR:
 REMOVE AND DISPOSE EXISTING DRINKING FOUNTAIN. FURNISH AND INSTALL NEW DRINKING FOUNTAIN. BASIS OF DESIGN: ELKAY EZSTL8LC. REFER TO TYPICAL MOUNTING HEIGHTS. PATCH TO MATCH EXISTING WALL AND PAINT TO MATCH EXISTING COLOR.

REMOVE AND SALVAGE DRINKING FOUNTAIN. RELOCATE/REWORK FOUNTAIN TO PROVIDE A 27" KNEE CLEARANCE ABOVE THE FINISH FLOOR. PATCH TO MATCH EXISTING WALL AND PAINT TO MATCH EXISTING COLOR.

SECOND FLOOR:
 PAMPHLETS MOUNTED IN THE HALLWAY BY THE RESTROOMS ARE MOUNTED TO HIGH. REMOVE AND SALVAGE PAMPHLET HOLDER AND REINSTALL AT 48" MAX ABOVE FINISH FLOOR. PATCH TO MATCH EXISTING WALL AND PAINT TO MATCH EXISTING COLOR.

DEMOLITION NOTES:

- THE EXISTING CONDITIONS INFORMATION SHOWN &/OR INDICATED ON THE DRAWINGS WAS OBTAINED FROM LIMITED EXISTING DRAWINGS PREPARED BY OTHERS, (WHEN AVAILABLE); FIELD REVIEW; FIELD MEASUREMENT; &/OR OTHER AVAILABLE DOCUMENTATION &/OR OBSERVATION BY OTHERS. NOT ALL EXISTING CONDITIONS &/OR ACTUAL CONSTRUCTION MAY BE INDICATED &/OR KNOWN.
- CONTRACTOR TO VERIFY ALL EXISTING, CONDITIONS, CONNECTIONS, LOCATIONS, SIZES, ETC. IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING DEMOLITION WORK.
- CONTRACTOR TO COORDINATE EXTENTS OF ALL DEMOLITION WORK WITH ALL NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING DEMOLITION WORK.
- CONTRACTOR TO PROPERLY DE-ENERGIZE, SHUT OFF & CAP ALL UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, ETC.) BACK TO THE EXISTING EXTERIOR WALLS, ROOF DECK, AND/OR TO SLAB OR GRADE. U.N.O. COORDINATE W/ MEP DEMOLITION DWGS & LOCAL UTILITY COMPANIES.
- FULL EXTENT OF BUILDING MATERIALS IS UNKNOWN. EXISTING BUILDING CONSTRUCTION MAY CONTAIN MATERIALS THAT REQUIRE ABATEMENT. IF POTENTIAL MATERIALS ARE DISCOVERED, CONTRACTOR TO NOTIFY OWNER & ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO PROVIDE ALL OSHA and/or BUILDING CODE REQUIRED SAFETY PROTECTION TO PROTECT WORKERS FROM FALLS, CRUSHING, ELECTROCUTION, IMPACT FROM ABOVE, ETC.
- CONTRACTOR TO MAINTAIN BUILDING IN A SAFE AND SECURE MANNER AND TO ELIMINATE THE APPEARANCE OF AN ATTRACTIVE NUISANCE. MAINTAIN PHYSICAL BARRIER TO PREVENT BUILDING/ SITE ACCESS BY CHILDREN AT A MINIMUM.
- CONTRACTOR TO PROTECT ALL EXISTING WORK TO REMAIN DURING DEMOLITION.
- CONTRACTOR TO FURNISH AND INSTALL ALL SHORING AND/OR BRACING TO SUPPORT ALL EXISTING WALLS, FLOORS/ROOFS, ETC. PRIOR TO REMOVALS OF EXISTING CONSTRUCTION.
- EXISTING BUILDING CONSTRUCTION DEFICIENCIES NOT INDICATED ON THE DRAWINGS, BUT UNCOVERED &/OR DISCOVERED BY CONTRACTOR'S CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION OF NEW WORK. ADDITIONAL DETAILS WILL BE FURNISHED AS NECESSARY. TYPICAL.
- PROTECT THROUGH PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE-RESISTANCE-RATED WALL ASSEMBLIES WITH AN APPROVED FIRESTOP SYSTEM EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED.

DEMOLITION LEGEND:

- EXISTING WALL/ITEM TO REMAIN
- EXISTING WALL/ITEM TO BE REMOVED
- EXISTING FLOOR TO BE TRENCHED
- R#D = REMOVE & DISPOSE OF
- R#S = REMOVE & SALVAGE

DEMOLITION WORK NOTES:

- xxx NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
- xxx NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.
- D1 R#D DOOR THRESHOLD IN IT'S ENTIRETY. PREP FLOOR FOR NEW ADA COMPLIANT THRESHOLD
- D2 R#S SOAP DISPENSER FOR REINSTALLATION
- D3 R#S URINAL FOR RELOCATION. OPEN WALL AS NECESSARY TO MOVE URINAL. CAP PIPES AS NECESSARY
- D4 R#S PRIVACY PARTITIONS FOR REINSTALLATION
- D5 R#S ACCESSIBLE TOILET COMPARTMENT AND/OR STALL DOOR FOR RECONFIGURATION OF DOOR SWING AND RELOCATION OF TOILET COMPARTMENT
- D6 R#S COAT HOOK FOR REINSTALLATION
- D7 R#D EXISTING BASE BOARD HEAT IN ITS ENTIRETY INCLUDING HEATING COVER, RADIATOR FINS, ETC. CUT BACK PIPING TO BE RELOCATED
- D8 R#D REAR AND SIDE MOUNTED GRAB BAR
- D9 R#S TOILET PAPER DISPENSER FOR REINSTALLATION
- D10 R#D LAVATORY COUNTERTOP AND/OR SINKS IN IT'S ENTIRETY. CAP PIPES AS NECESSARY
- D11 R#S WALL AND/OR FLOOR MOUNTED TOILET. OPEN WALL AS NECESSARY TO MOVE TOILET. CAP PIPES AS NECESSARY
- D12 R#S ROOM SIGNAGE FOR REINSTALLATION
- D13 R#S SINK IN IT'S ENTIRETY. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK
- D14 R#D ACCESSIBLE TOILET COMPARTMENT AND DOOR IN IT'S ENTIRETY

GENERAL PLAN NOTES:

- COORDINATE ALL NEW WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH U.N.O.
- ALL WALL PENETRATIONS AND/OR DAMAGE CAUSED BY DEMOLITION AND/OR NEW WORK TO HAVE AREAS PATCHED & REPLACED IN-KIND. IF EXISTING MATERIALS CANNOT BE MATCHED, CONTRACTOR TO COVER IN THEIR BID NEW SIMILAR MATERIALS TO COVER ENTIRE WALL, NOT THE PATCHED AREA

PROPOSED LEGEND:

- EXISTING WALL/ITEM TO REMAIN
- NEW WALL/PARTITION
- F#I = FURNISH AND INSTALL

PLAN WORK NOTES:

- xxx NOTES WITHOUT AN ARROW INDICATE AN ENTIRE SPACE/AREA.
- xxx NOTES WITH AN ARROW(S) INDICATE SPECIFIC AREAS &/OR ITEMS.
- A1 F#I ADA DOOR THRESHOLD TO MATCH EXISTING FINISH AND DOOR OPENING THRESHOLD NOT TO EXCEED MAX HEIGHT OF 1/2". 1/4" VERTICAL W/ 1/4" BEVELED EDGE
- A2 REINSTALL SOAP DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
- A3 REINSTALL URINAL. RE-PIPE AS NECESSARY TO ACCOMMODATE NEW LOCATION. REFER TO TYPICAL MOUNTING HEIGHTS. PATCH & PAINT WALL OR MATCH TILE TO MATCH EXISTING FINISH(S). IF FINISHES CANNOT BE MATCHED THEN PROVIDE NEW FINISHES ON ENTIRE WALL
- A4 REINSTALL PRIVACY PARTITIONS
- A5 REINSTALL ACCESSIBLE TOILET COMPARTMENT AND STALL DOOR
- A6 REINSTALL COAT HOOK. REFER TO TYPICAL MOUNTING HEIGHTS
- A7 F#I NEW HIGH-OUTPUT HYDRONIC BASEBOARD RADIATOR. RE-ROUTE EXISTING PIPING IN WALL & ABOVE CEILING TO NEW RADIATOR LOCATION.
- A8 F#I REAR AND SIDE MOUNTED GRAB BARS. REFER TO TYPICAL MOUNTING HEIGHTS
- A9 REINSTALL TOILET PAPER DISPENSER. REFER TO TYPICAL MOUNTING HEIGHTS
- A10 F#I PULL HANDLES ON BOTH SIDES OF ACCESSIBLE STALL DOOR NEAR THE LATCH, AND CENTER DOOR OPENING HARDWARE 34"-48" ABOVE FINISH FLOOR
- A11 PATCH TO MATCH ENTIRE ROOM AS NECESSARY TO ACCOMMODATE NEW WORK. MATCH FLOOR, WALL TILE AND PAINT COLORS
- A12 F#I SOLID SURFACE COUNTERTOP. RE: 4/A104 FOR ADDITIONAL INFORMATION
- A13 F#I NEW ADA DROP IN SINKS. CONNECT PLUMBING TO EXISTING LOCATIONS IN THE WALL
- A14 REINSTALL WALL AND/OR FLOOR MOUNTED TOILET. RELOCATE CARRIER AS NECESSARY OR PROVIDE FLOOR OFFSET FLANGE TO ACCOMMODATE NEW LOCATION
- A15 REINSTALL ROOM SIGNAGE. REFER TO TYPICAL MOUNTING HEIGHTS
- A16 REINSTALL WALL MOUNTED SINK. REFER TO TYPICAL MOUNTING HEIGHTS
- A17 ADJUST OR REPLACE DOOR CLOSER. MAINTAIN DOOR HINGES TO PROVIDE AN OPENING FORCE NOT TO EXCEED SLBF
- A18 F#I ADA FLOOR MOUNTED TOILET. REFER TO TYPICAL MOUNTING HEIGHTS
- A19 F#I NEW WALL MOUNTED SINK. REFER TO TYPICAL MOUNTING HEIGHTS

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- D22 R#D SINK. CAP PIPES AS NECESSARY. OPEN WALL AS NECESSARY TO ACCOMMODATE THE LOCATION OF PROPOSED WORK
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- D26 R#D WALL TILE. PREP WALL FOR NEW FINISH
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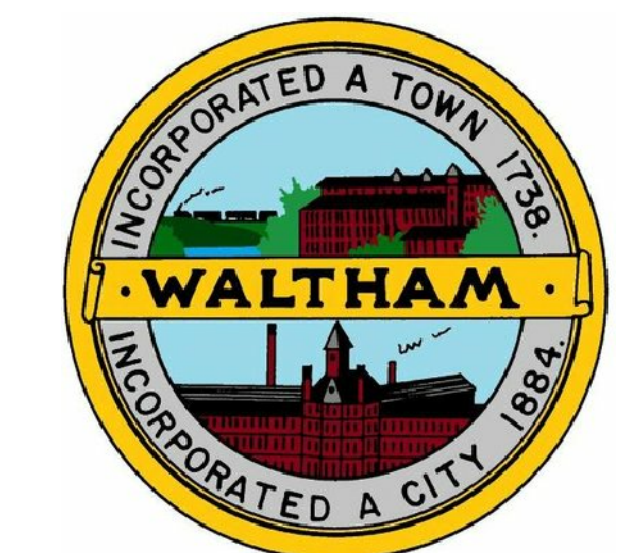
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Architecture - Project Management - Interior Design

Project

**CITY OF WALTHAM
 ADA UPGRADES**



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Sheet Contents

**DEMOLITION &
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 PLANS- GOVERNMENT
 CENTER**

Project Number. 6525

Drawing No.

A102

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