

City of Waltham
Purchasing Department
Waltham, Massachusetts 02452
ADDENDUM NO. 2

Plans & Specifications for: Elsie Turner Field & Graverson Playground, Waltham, MA

TO: ALL PLAN HOLDERS

This Addendum No. 2 is to modify, correct and/or supplement the Plans and Specifications.

Bidders are hereby informed that Plans and Specifications for the above-mentioned project are modified, corrected and/or supplemented as follows and that Addendum No. 2 becomes a part of the Contract Documents. Addendum No. 2 consists of answers to Pre-bid questions, changes described in Items 1 through 15, and attachments 1 through 11.

THE FOLLOWING REVISIONS ARE MADE A PART OF THIS CONTRACT. RECEIPT OF THIS ADDENDUM AND ALL ADDENDA MUST BE ACKNOWLEDGED AS RECEIVED IN THE FORM FOR GENERAL BID SECTION 00310

In accordance with documents prepared by: *Carolyn Cooney & Associates*

ANSWERS TO PRE-BID AND WRITTEN QUESTIONS

Q1. *Will both projects be awarded to one Bidder?*

A1. Yes.

Q2. *Is preparation of a Work Order for electrical work part of the contract?*

A2. No. The City will apply for any necessary work orders.

Q3. *What are the two different colors to be used on the basketball court and tennis courts?*

A3. The basketball courts are to be grey and blue, color to be selected from manufacturer's standard color charts. The tennis courts are to be red and green, color to be selected from manufacturer's standard color charts. There are no custom colors required.

Q4. *Would a different retaining wall manufacturer or system be acceptable?*

A4. A different system will be considered equal if the following criteria are satisfied:

1. The block has the finish specified (split-face).
2. The block is 18" wide x 8" high, minimum.
3. The block has the specified compressive strength (4,000 psi) or greater and maximum absorption rate specified (7%) or less.

4. The Contractor provides a site specific wall design for the substituted system, stamped by a Structural Engineer registered in the State of MA.
5. The amount of excavation required is no greater than the amount of excavation required for the present design.

Q5. *Other than line striping, is any work to be done to the existing parking lot at Graverson?*

A5. There is no work to be done on the Graverson Parking lot except blacking out existing striping and restriping as shown on the Plans. New wood guardrail and signage is to be installed at the edge of the pavement. Demolition of the steel guardrail in the lawn shall be accomplished without damage to abutting pavement.

Q6. *Is the curb wall 2'-6" deep throughout and not just at the fence post footings?*

A6. The concrete curb wall is 2'-6" deep throughout. The detail reference is corrected by Item 3.

GRAVERSON PLAYGROUND, REVISIONS

ITEM NO. 1 Graverson Playground: Revise Specifications Section 02830, Welded Wire Fence, Paragraph 2.01 C. Gates, Hinges & Latches as follows:

Delete Paragraph 2.01.C.2 in its entirety. Add 2.01.C.2 as follows:

- "2. Provide manufacturer's standard mortised lock and latch. Mortise cylinder locks shall have steel case and three keys. Latches shall be single or double throw, prepared for profile cylinder lock, right and left reversible latch bolt, dead bolt with two hardened steel roller inserts, operated by either handle or key. Provide aluminum handle on both sides.

ITEM NO. 2 Graverson Playground: Revision to Gate Hardware, Detail 4, Double Gate, Drawing L.606. Addition of drop bar, revision to lock and latch detail.
Replace Drawing L.606 with Drawing L.606 attached.

ITEM NO. 3 Graverson Playground: Drawing L.607, revised to correct curb/wall detail reference. *Replace Drawing L.607 with L.607 attached.*

ELSIE TURNER FIELD, REVISIONS

ITEM NO. 4 Elsie Turner: Boring Log for Elsie Turner. This information is furnished to the Contractor for his/her information only. No guarantee is made concerning subsurface conditions. Refer to L.617 for boring locations.

- ITEM NO. 5** **Elsie Turner:** Revise Specifications Section 02830, Welded Wire Fence, Paragraph 2.01 C. Gates, Hinges & Latches as follows:
Delete Paragraph 2.01.C.2 in its entirety. Add 2.01.C.2 as follows:
“2. Provide manufacturer’s standard mortised lock and latch. Mortise cylinder locks shall have steel case and three keys. Latches shall be single or double throw, prepared for profile cylinder lock, right and left reversible latch bolt, dead bolt with two hardened steel roller inserts, operated by either handle or key. Provide aluminum handle on both sides.
- ITEM NO. 6** **Elsie Turner:** Revise Specifications Section 02832, Segmental Gravity Retaining Walls as follows:
Paragraph 1.02 SCOPE OF WORK, A. Delete the following words: “Single-depth” and “without soil reinforcement”.
- ITEM NO. 7** **Elsie Turner:** Revise Specifications Section 02925 Lawns & Native Grasses as follows.
Add Paragraph 2.01.A.4:
4. *Seed mix #3 shall be Ecology Mix as supplied by Pennington Seed, or equal. Mix shall be composed of 80% Hard Fescue and 20% Chewings Fescue Mix. Seed at manufacturer’s recommended rate.*
- ITEM NO. 8** **Elsie Turner:** Revise Specification Appendix A as follows:
Replace Appendix A Order of Conditions in its entirety with Appendix A Order of Conditions attached.
- ITEM NO. 9** **Elsie Turner:** Revision to clearing and removal/replacements of stone wall at retaining wall.
Replace Drawing L.102 with Drawing L.102 attached.
- ITEM NO. 10** **Elsie Turner:** Revision to grading at retaining wall.
Replace Drawing L.402 with Drawing L.402 attached.
- ITEM NO. 11** **Elsie Turner:** Additional area of seeding and additional seed mix.
Replace Drawing L.502 with L.502 attached.
- ITEM NO. 12** **Elsie Turner:** Revision to Gate Hardware, Detail 4, Double Gate, Drawing L.608. Additions of drop bar, revision of lock and latch detail.
Replace Drawing L.608 with Drawing L.608 attached.
- ITEM NO. 13** **Elsie Turner:** Revision to rebar size, Detail 1, Scoreboard Installation Detail, Drawing L.615.
Replace Drawing L.615 with Drawing L.615 attached.

ITEM NO. 14 Elsie Turner: Revision to Drawing S-1 adds additional structure to gravity stone wall.

Replace Drawing S-1 with revised Drawing S-1 attached.

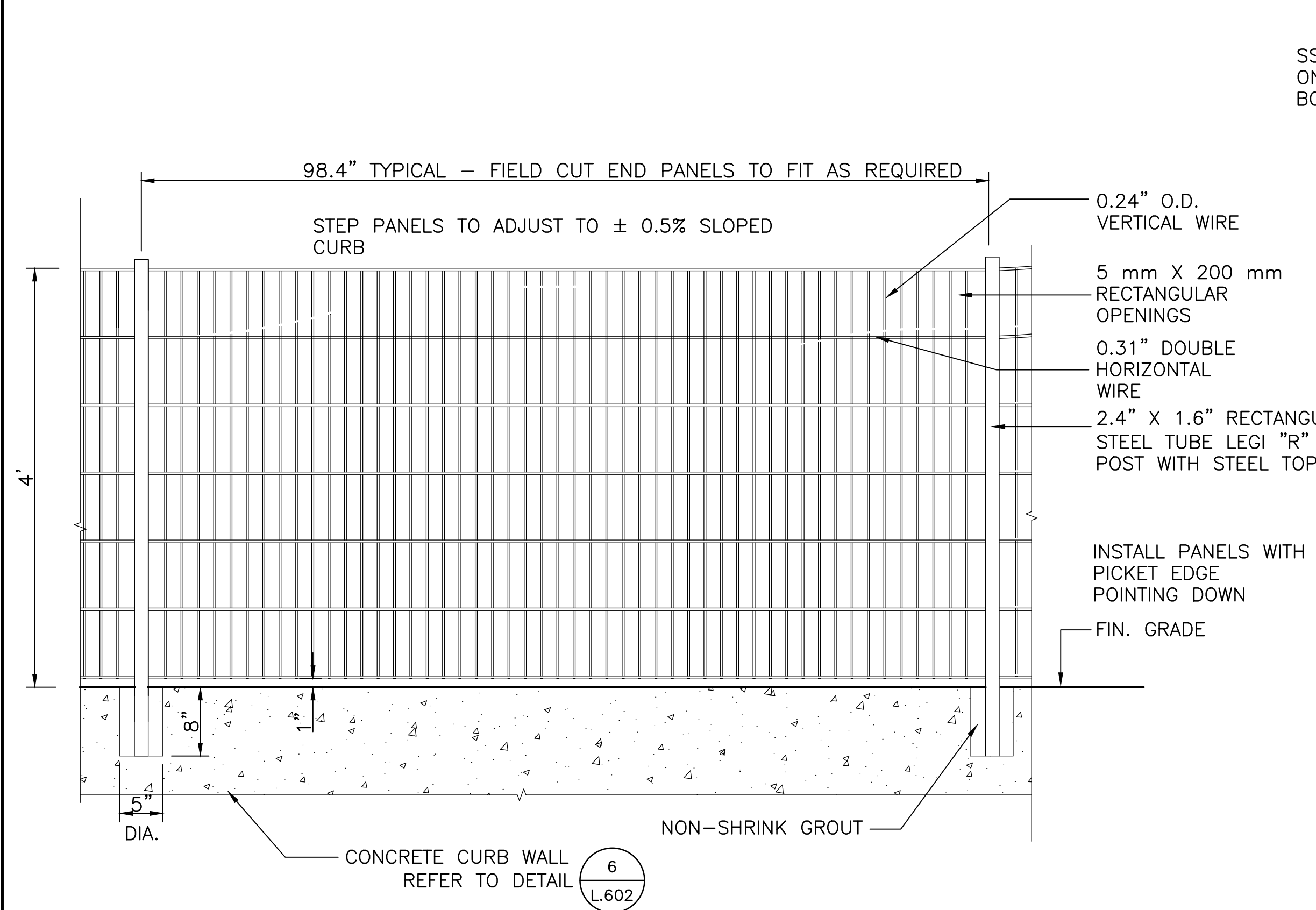
ITEM NO. 15 Elsie Turner: Revision to Gravel Trench Detail, Drawing C.1

Revise detail per attached SK-1.

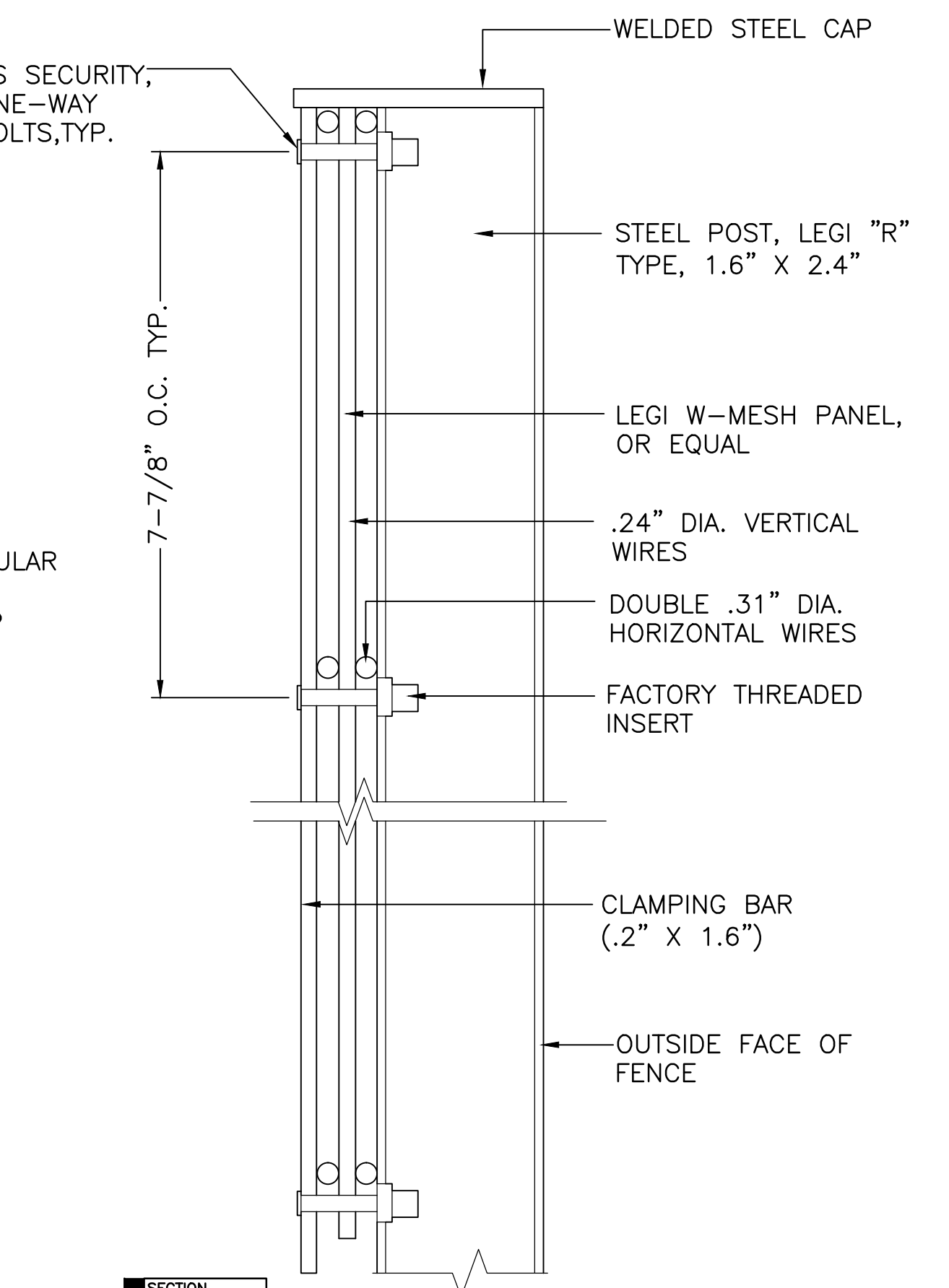
Attachments:

1. Graverson L.606
2. Graverson L.607
3. Elsie Turner: Boring Log
4. Elsie Turner: Appendix A-Order of Conditions
5. Elsie Turner: L.102
6. Elsie Turner: L.402
7. Elsie Turner: L.502
8. Elsie Turner: L.608
9. Elsie Turner: L.615
10. Elsie Turner: S.1
11. Elsie Turner: SK-1.

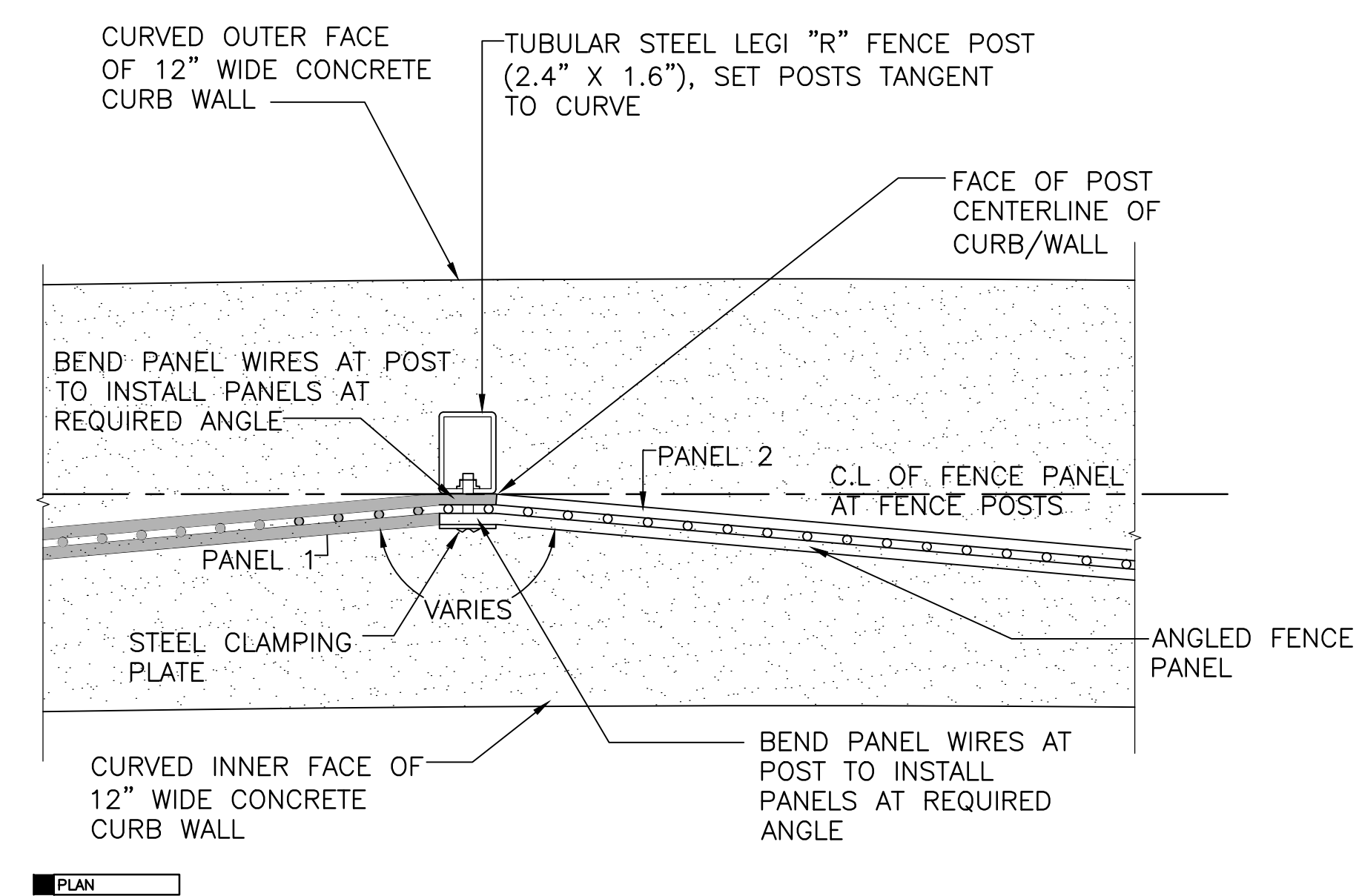
END OF ADDENDUM NO. 2



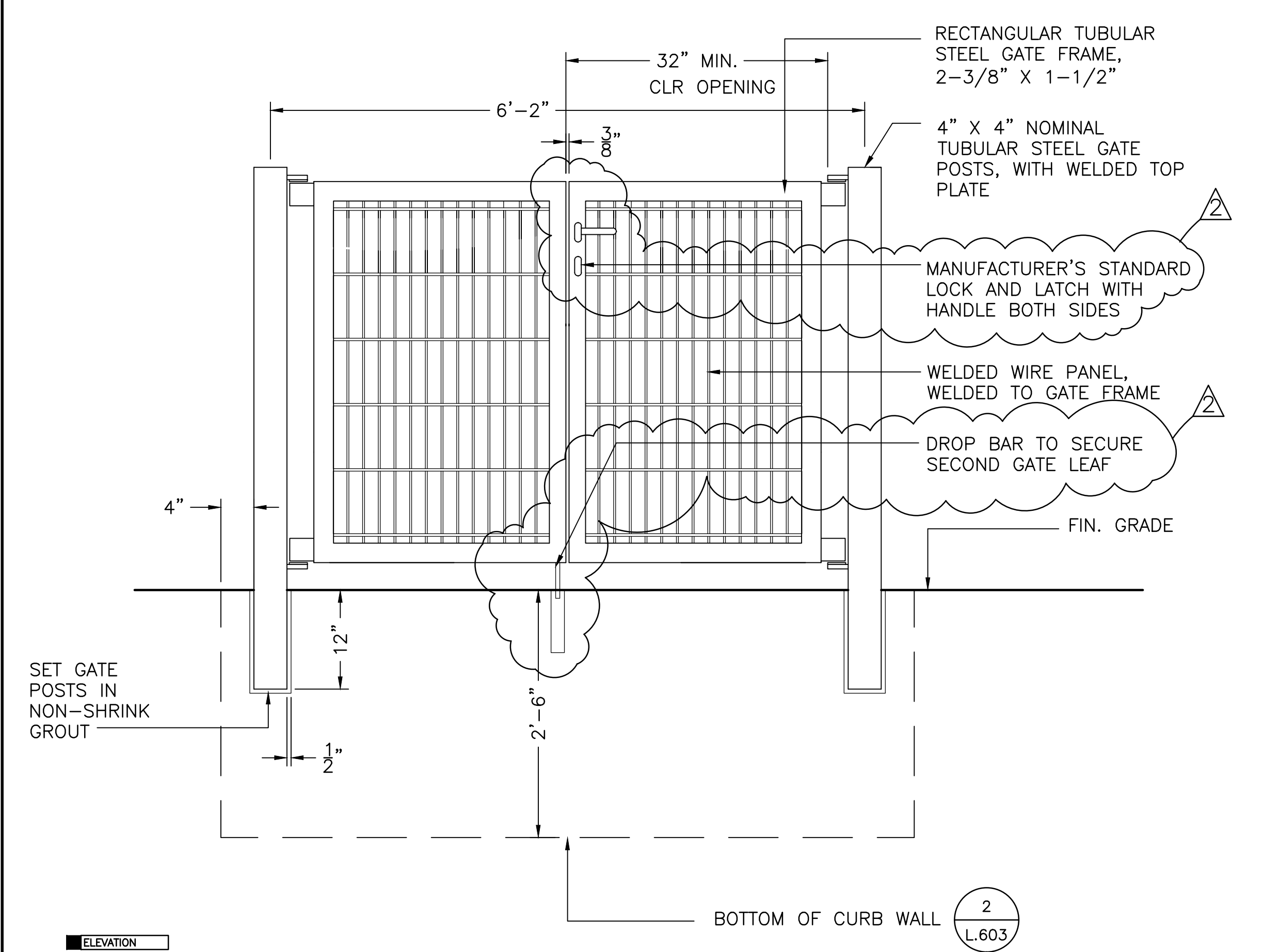
1 WELDED WIRE FENCE DETAIL
 SCALE: 1" = 1'-0"



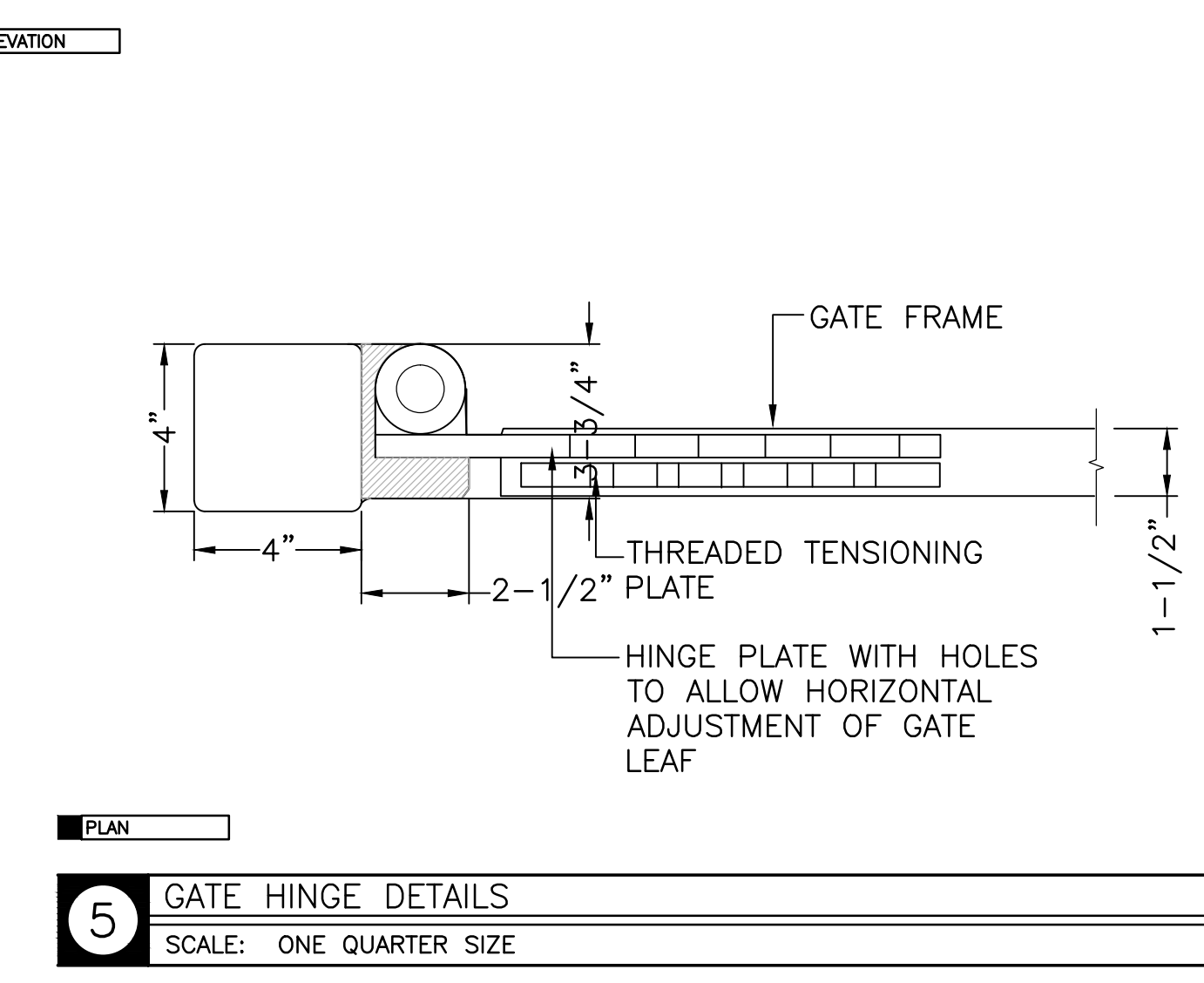
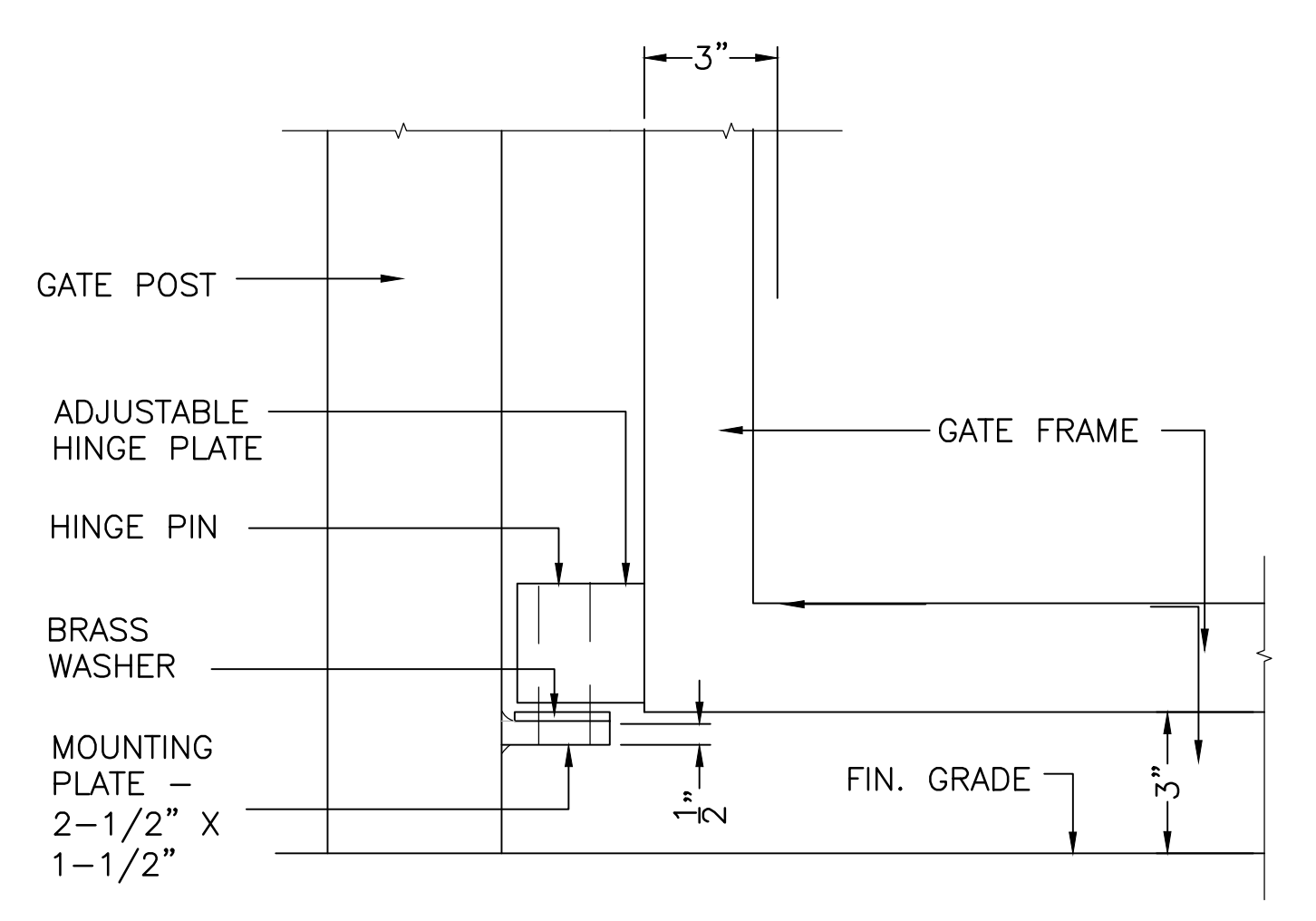
2 FENCE POST SECTION
 1/2 SIZE



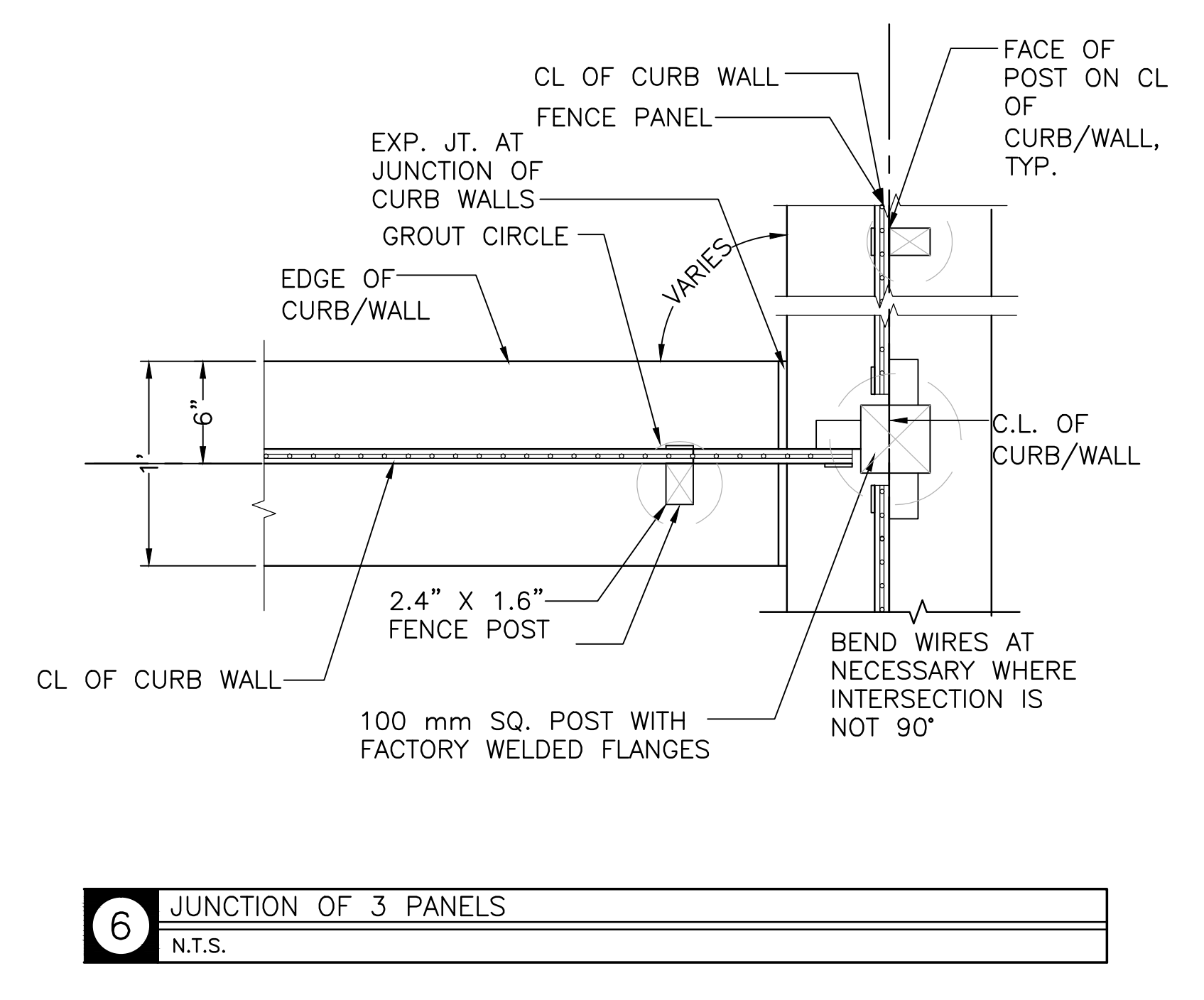
3 TYPICAL ATTACHMENT DETAIL AT POSTS
 SCALE: ONE QUARTER SIZE



4 DOUBLE GATE
 1" = 1'-0"



5 GATE HINGE DETAILS
 SCALE: ONE QUARTER SIZE



6 JUNCTION OF 3 PANELS
 N.T.S.

Carolyn Cooney & Associates
 Landscape Architecture / Planning
 13 Elm Street, Milford, MA 01757
 Telephone 508 478 8426, Facsimile 508 478 8607

Site Engineering Consultants, Inc.
 55 Grape Shot Road
 Sharon, Massachusetts 02067
 TEL: (781) 784-0326
 FAX: (781) 784-0492
 CONSULTING CIVIL ENGINEERS



No.	Description	Date
1	REVISION TO DOUBLE GATE PER ADD #2	12/01/17

REVISIONS

Project:
**CITY OF WALTHAM
 CRAVERSON PLAYGROUND
 16 PINE VALE ROAD
 WALTHAM, MA 02451**

Prepared For:
**CITY OF WALTHAM
 DEPARTMENT OF RECREATION
 510 MOODY STREET
 WALTHAM, MA 02453**

TITLE:
**WELDED WIRE FENCE
 DETAILS**

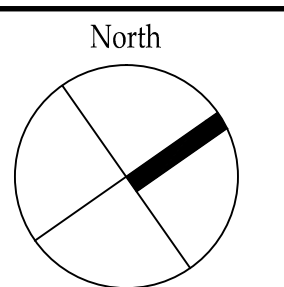
Scale AS NOTED Date OCT 31, 2017
 Drawn By CCC
 Checked By DRB
 Approved By VH
 Project No. 1710.00

DWG No. **L.606**



No.	Description	Date
1	CORRECTION TO CURB DETAIL REFERENCE PER ADDENDUM #2	12/01/17

REVISIONS



Project:

**CITY OF WALTHAM
 CRAVERSON PLAYGROUND
 16 PINE VALE ROAD
 WALTHAM, MA 02451**

Prepared For:

**CITY OF WALTHAM
 DEPARTMENT OF RECREATION
 510 MOODY STREET
 WALTHAM, MA 02453**

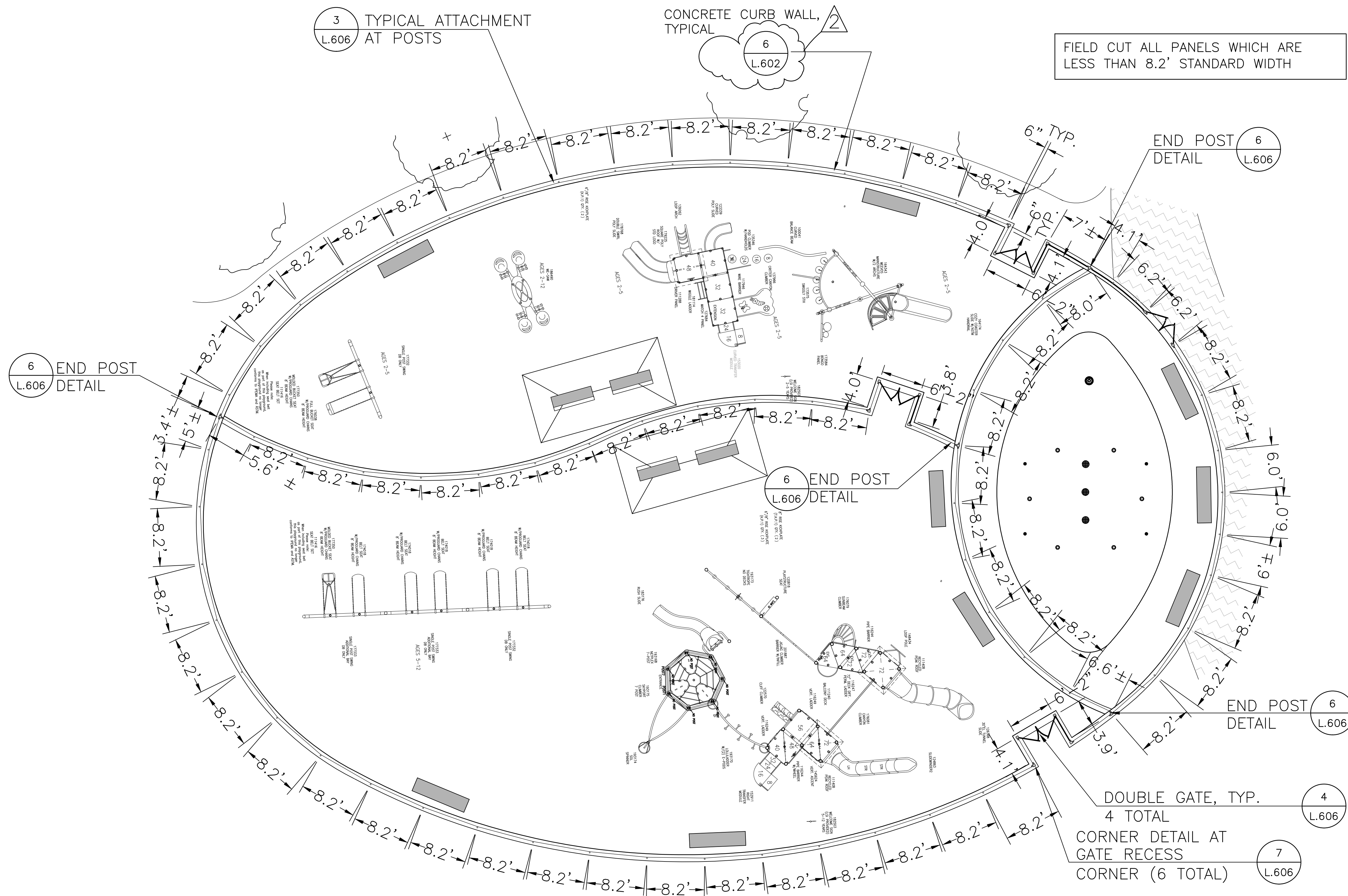
TITLE:

**WELDED WIRE FENCE
 PANEL LAYOUT**

Scale: EQUIPMENT DETAIL OCT 31, 2017
 Drawn By: CCC
 Checked By: DRB
 Approved By: VH
 Project No. 1710.00

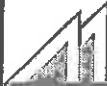
DWG No.

L.607



2 FENCE PANEL LAYOUT ON CURVED CURB/WALL
 SCALE: 1/8"=1'-0"

TEST BORING LOG

 MILLER ENGINEERING & TESTING, INC.	Project: <u>Elsie Turner Field Lights</u> <u>Waltham, MA</u>	Sheet <u>1</u> of <u>1</u> Boring No: <u>B-1</u>
	Project No: <u>17.080.NH</u> Date Start: <u>05-02-17</u> Date End: <u>05-02-17</u>	Location: <u>See Plan</u> Approx. Surface Elev: _____
100 Sheffield Road - Manchester, NH 03103 Ph. (603) 668-6016 - Fax: (603) 668-8641		

GROUNDWATER OBSERVATIONS						
Type	CASING	SAMPLER	Date	Depth	Casing At	Stabilization Period
	HSA	SS	05-02-17	3'		Upon Completion
Size	2-1/4" ID	1-3/8" ID				
Hammer		140 lbs.				
Fall		30"				

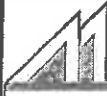
Depth/ Elev.	Cas bl/ft	SAMPLE				BLOWS				Strata Change	Sample Description	Notes
		Sample No.	Depth Range	Pen.	Rec.	0-6"	6-12"	12-18"	18-24"			
0		S-1	0.0-2.0	24	16	1	4	9	6		S-1: Dark brown, medium dense, fine to coarse sand, brick, asphalt (FILL)	
3		S-2	2.0-4.0	24	14	6	7	10	10		S-2: Dark brown/black, medium dense, fine sand, ash, brick, asphalt (FILL)	
6		S-3	4.0-6.0	24	8	4	2	1	4		S-3: Wet, loose, dark brown, fine to coarse sand, gravel, asphalt, brick (FILL)	
9		S-4	6.0-8.0	24	12	4	2	4	6		S-4: Wet, loose, brown, fine to coarse sand, some gravel, asphalt (FILL)	
12		S-5	9.0-11.0	24	16	7	11	12	14		S-5: Medium dense, brownish gray, fine sand, silt	
15		S-6	13.5-13.5	0	0	50/0"					BORING TERMINATED AT 13.5 ft S-6: No recovery Auger Refusal at 13.5'	
18												

Driller: R. Marcoux Helper: J. Donahue Inspector:	COHESIVE CONSISTENCY (Blows/Foot) 0-2 VERY SOFT 2-4 SOFT 4-8 MEDIUM STIFF 8-15 STIFF 15-30 HARD	COHESIONLESS (Blows/Foot) 0-4 VERY LOOSE 4-10 LOOSE 10-30 MEDIUM DENSE 30-50 DENSE 50+ VERY DENSE	PROPORTIONS USED TRACE: 0-10% LITTLE: 10-20% SOME: 20-35% AND: 35-50%
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NOTES:

REMARKS: THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY BETWEEN SOIL TYPES. TRANSITION MAY BE GRADUAL. WATER LEVEL READINGS HAVE BEEN MADE IN THE DRILL HOLES AT TIMES AND UNDER CONDITIONS STATED ON THE BORING LOGS. FLUCTUATIONS IN THE LEVEL OF THE GROUNDWATER MAY OCCUR DUE TO OTHER FACTORS THAN THOSE PRESENT AT THE TIME MEASUREMENTS WERE MADE.

TEST BORING LOG

 MILLER ENGINEERING & TESTING, INC.	Project: <u>Elsie Turner Field Lights</u> <u>Waltham, MA</u>	Sheet <u>1</u> of <u>1</u> Boring No: <u>B-2</u>
	Project No: <u>17.080.NH</u> Date Start: <u>05-02-17</u> Date End: <u>05-02-17</u>	Location: <u>See Plan</u> Approx. Surface Elev: _____
100 Sheffield Road - Manchester, NH 03103 Ph. (603) 668-6016 - Fax: (603) 668-8641		

GROUNDWATER OBSERVATIONS						
Type	CASING	SAMPLER	Date	Depth	Casing At	Stabilization Period
	HSA	SS	05-02-17	3'		Upon Completion
Size	2-1/4" ID	1-3/8" ID				
Hammer		140 lbs.				
Fall		30"				

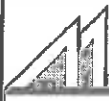
Depth/ Elev.	Cas bl/ft	SAMPLE				BLOWS				Strata Change	Sample Description	Notes
		Sample No.	Depth Range	Pen.	Rec.	0-6"	6-12"	12-18"	18-24"			
0		S-1	0.0-2.0	24	16	2	10	23	19		S-1: Dense, brown, fine to coarse sand, gravel, some silt, asphalt, brick (FILL)	
		S-2	2.0-4.0	24	20	19	10	9	9		S-2: Medium dense, brown/black, fine sand, silt, organics, asphalt (FILL)	
3		S-3	4.0-5.5	18	12	4	4	4	50/0"		S-3: Dark brown, loose, loamy sand, some silt, trace asphalt	
6		S-4	7.0-8.5	18	12	23	47	55			S-4: Very dense, brown, fine to coarse sand, some silt, trace brick, asphalt	
9		S-5	9.0-10.5	18	16	33	47	58			S-5: Very dense, brown, fine to coarse sand, some silt, trace gravel	
12		S-6	14.0-16.0	24	18	10	22	16	16		S-6: Wet, dense, brown, fine to coarse sand, gravel, little silt	
15		S-7	17.0-17.0	0	0	50/0"					BORING TERMINATED AT 17 ft	
18											S-7: No recovery Auger Refusal at 17'	

Driller: R. Marcoux Helper: J. Donahue Inspector:	COHESIVE CONSISTENCY (Blows/Feet) 0-2 VERY SOFT 2-4 SOFT 4-8 MEDIUM STIFF 8-15 STIFF 15-30 HARD	COHESIONLESS (Blows/Feet) 0-4 VERY LOOSE 4-10 LOOSE 10-30 MEDIUM DENSE 30-50 DENSE 50+ VERY DENSE	PROPORTIONS USED TRACE: 0-10% LITTLE: 10-20% SOME: 20-35% AND: 35-50%
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NOTES:

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TEST BORING LOG



MILLER ENGINEERING & TESTING, INC.

100 Sheffield Road - Manchester, NH 03103
Ph. (603) 668-6016 - Fax: (603) 668-8641

Project: Elsie Turner Field Lights
Waltham, MA
Project No: 17.080.NH
Date Start: 05-02-17
Date End: 05-02-17

Sheet 1 of 1
Boring No: A-1
Location: See Plan
Approx. Surface Elev: _____

GROUNDWATER OBSERVATIONS

	CASING	SAMPLER	Date	Depth	Casing At	Stabilization Period
Type	HSA	SS	05-02-17	4'		Upon Completion
Size	2-1/4" ID	1-3/8" ID				
Hammer		140 lbs.				
Fall		30"				

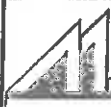
Depth/ Elev.	Cns bl/ft	SAMPLE				BLOWS				Strata Change	Sample Description	Notes
		Sample No.	Depth Range	Pcn.	Rec.	0-6"	6-12"	12-18"	18-24"			
0		S-1	0.0-2.0	24	12	4	5	6	9		S-1: Medium dense, dark brown, fine to medium sand, some silt, brick, asphalt (FILL)	
3		S-2	2.0-4.0	24	10	4	5	25	16		S-2: Medium dense, dark brown, fine to medium sand, silt, asphalt fill material	
6		S-3	4.0-6.0	24	12	6	4	5	6		S-3: Wet, dark brown, loose, fine to coarse sand, some gravel, silt	
9		S-4	9.0-11.0	24	22	5	7	12	26		S-4: Wet, brown, medium dense, fine sand, silt, weathered rock	
12		S-5	12.0-12.0	0	0	50/0"					BORING TERMINATED AT 12 ft S-5: No recovery Auger Refusal at 12'	
15												
18												

Driller: R. Marcoux Helper: J. Donahue Inspector:	COHESIVE CONSISTENCY (Blows/Foot) 0-2 VERY SOFT 2-4 SOFT 4-8 MEDIUM STIFF 8-15 STIFF 15-30 HARD	COHESIONLESS (Blows/Foot) 0-4 VERY LOOSE 4-10 LOOSE 10-30 MEDIUM DENSE 30-50 DENSE 50+ VERY DENSE	PROPORTIONS USED TRACE: 0-10% LITTLE: 10-20% SOME: 20-35% AND: 35-50%
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TEST BORING LOG



MILLER ENGINEERING & TESTING, INC.

100 Sheffield Road - Manchester, NH 03103
Ph. (603) 668-6016 - Fax: (603) 668-8641

Project: Elsie Turner Field Lights
Waltham, MA
Project No: 17.080.NH
Date Start: 05-02-17
Date End: 05-02-17

Sheet 1 **of** 1
Boring No: A-2
Location: See Plan
Approx. Surface Elev: _____

GROUNDWATER OBSERVATIONS

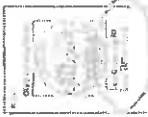
	CASING	SAMPLER	Date	Depth	Casing At	Stabilization Period
Type	HSA	SS	05-02-17	4'		Upon Completion
Size	2-1/4" ID	1-3/8" ID				
Hammer		140 lbs.				
Fall		30"				

Depth/ Elev.	Cas bl/ft	SAMPLE				BLOWS				Strata Change	Sample Description	Notes
		Sample No.	Depth Range	Pen.	Rec.	0-6"	6-12"	12-18"	18-24"			
0		S-1	0.0-2.0	24	10	2	12	16	8		S-1: 2" topsoil, dark brown, medium dense, fine to coarse sand, gravel, some silt, brick, asphalt (FILL)	
		S-2	2.0-4.0	24	6	10	6	6	7		S-2: Medium dense, dark brown, loamy sand, some wood and asphalt (FILL)	
3		S-3	4.0-6.0	24	10	2	2	4	4		S-3: Wet, loose, dark brown, fine to coarse sand, some silt, (FILL)	
6		S-4	7.0-9.0	24	20	2	3	7	10		S-4: Wet, loose, brown, fine sand, wood, asphalt (FILL)	
9		S-5	9.0-11.0	24	14	8	9	13	19		S-5: Medium dense, brown, fine to medium sand, some silt, little gravel	
12												
15		S-6	14.0-15.0	12	12	19	53	50/0"			S-6: Medium dense, brown, fine to medium sand, some silt, little gravel	
											Auger Refusal at 15.5'	
											BORING TERMINATED AT 15.5 ft	
18												

Driller: R. Marcoux Helper: J. Donahue Inspector:	COHESIVE CONSISTENCY (Blows/foot) 0-2 VERY SOFT 2-4 SOFT 4-8 MEDIUM STIFF 8-15 STIFF 15-30 HARD	COHESIONLESS (Blows/foot) 0-4 VERY LOOSE 4-10 LOOSE 10-30 MEDIUM DENSE 30-50 DENSE 50+ VERY DENSE	PROPORTIONS USED TRACE: 0-10% LITTLE: 10-20% SOME: 20-35% AND: 35-50%
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NOTES:

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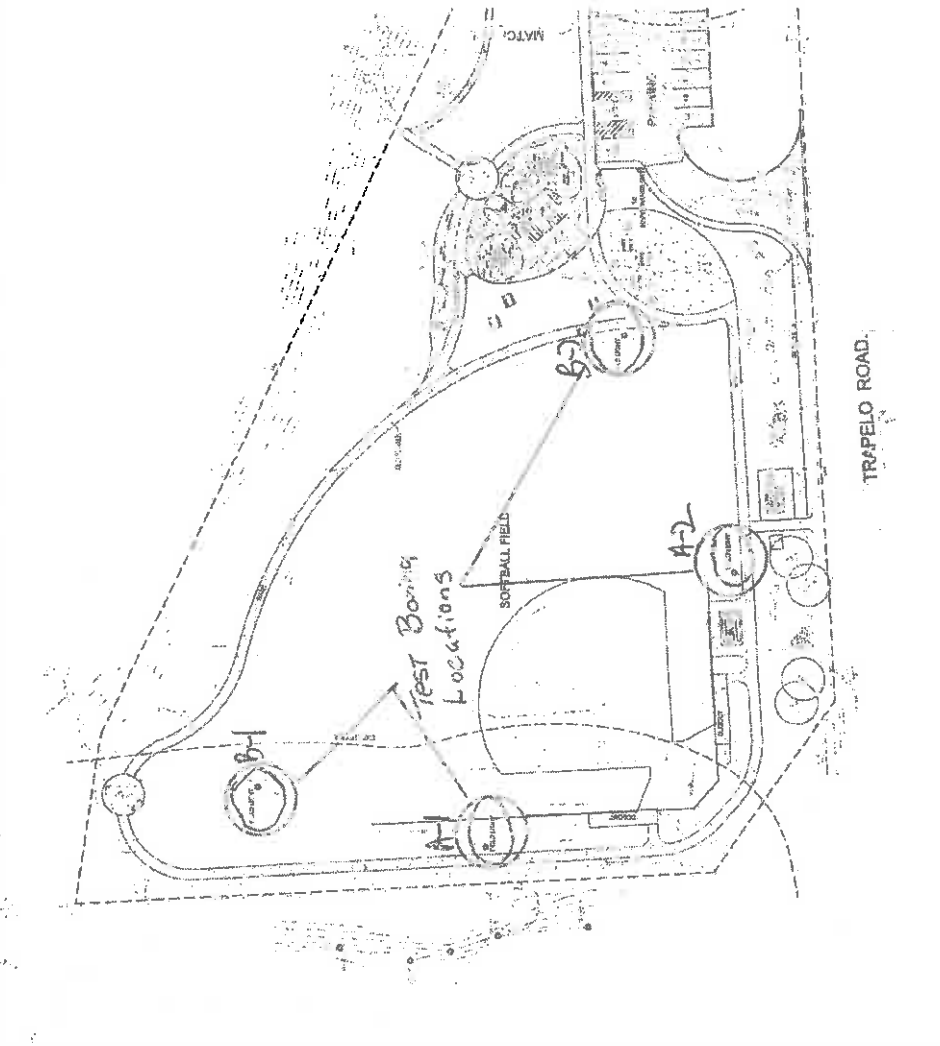


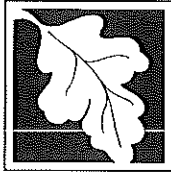
MCEC
 Military Construction Engineering Center
 1715 Woodbury Drive
 Fort Belvoir, Colorado 80110
 Phone: 303.425.4000
 Fax: 303.425.4001

DATE	1/10/07
BY	J. J. [Signature]
FOR	CONSTRUCTION
PROJECT	TRAPEPEL ROAD
SCALE	AS SHOWN
PROJECT NO.	1301
DATE	1/10/07
BY	J. J. [Signature]
FOR	CONSTRUCTION
PROJECT	TRAPEPEL ROAD
SCALE	AS SHOWN
PROJECT NO.	1301

L301
 TRAPEPEL ROAD
 PART A

- SYMBOLS AND LAYOUT ZONES**
- ASPHALT
 - GRAVEL
 - CONCRETE
 - PAVEMENT
 - SOFTBALL FIELD
 - REST ROOM
 - TOILET
 - WATER
 - SEWER
 - STORM SEWER
 - UTILITY
 - VEGETATION
 - EXISTING
 - PROPOSED
 - PROPOSED WITH FINISH
 - PROPOSED WITH FINISH AND CURB
 - PROPOSED WITH FINISH AND CURB AND SIDEWALK
 - PROPOSED WITH FINISH AND CURB AND SIDEWALK AND BIKEWAY
 - PROPOSED WITH FINISH AND CURB AND SIDEWALK AND BIKEWAY AND TRAIL
 - PROPOSED WITH FINISH AND CURB AND SIDEWALK AND BIKEWAY AND TRAIL AND BIKEWAY
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Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 316-0718
 MassDEP File #

eDEP Transaction #
 Waltham
 City/Town

A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):

a. County	b. Certificate Number (if registered land)
c. Book	d. Page

7. Dates: 08-03-2016 09-22-2016 10-06-2016
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance

8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):

Site Plans - L401 and L402

a. Plan Title	b. Prepared By	c. Signed and Stamped by
Marshall/Gary LLC	Ben Gary, RLA	
08-01-2016	1"=20'	
d. Final Revision Date	e. Scale	
Existing Conditions Plans (Survey) 1 of 2 and 2 of 2		09-09-2014
f. Additional Plan or Document Title		g. Date

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:

- | | | |
|---|--|--|
| a. <input type="checkbox"/> Public Water Supply | b. <input type="checkbox"/> Land Containing Shellfish | c. <input type="checkbox"/> Prevention of Pollution |
| d. <input type="checkbox"/> Private Water Supply | e. <input type="checkbox"/> Fisheries | f. <input type="checkbox"/> Protection of Wildlife Habitat |
| g. <input checked="" type="checkbox"/> Groundwater Supply | h. <input checked="" type="checkbox"/> Storm Damage Prevention | i. <input checked="" type="checkbox"/> Flood Control |

2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



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 Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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 Waltham
 City/Town

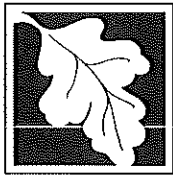
B. Findings (cont.)

Denied because:

- b. the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
- 3. Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) _____ a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	_____ a. linear feet	_____ b. linear feet	_____ c. linear feet	_____ d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	_____ a. square feet	_____ b. square feet	_____ c. square feet	_____ d. square feet
6. <input type="checkbox"/> Land Under Waterbodies and Waterways	_____ a. square feet _____ e. c/y dredged	_____ b. square feet _____ f. c/y dredged	_____ c. square feet	_____ d. square feet
7. <input type="checkbox"/> Bordering Land Subject to Flooding	_____ a. square feet	_____ b. square feet	_____ c. square feet	_____ d. square feet
Cubic Feet Flood Storage	_____ e. cubic feet	_____ f. cubic feet	_____ g. cubic feet	_____ h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	_____ a. square feet	_____ b. square feet		
Cubic Feet Flood Storage	_____ c. cubic feet	_____ d. cubic feet	_____ e. cubic feet	_____ f. cubic feet
9. <input type="checkbox"/> Riverfront Area	_____ a. total sq. feet	_____ b. total sq. feet		
Sq ft within 100 ft	_____ c. square feet	_____ d. square feet	_____ e. square feet	_____ f. square feet
Sq ft between 100-200 ft	_____ g. square feet	_____ h. square feet	_____ i. square feet	_____ j. square feet



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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	_____	_____		
	a. square feet	b. square feet		
	_____	_____		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	_____	_____	_____ cu yd	_____ cu yd
	a. square feet	b. square feet	c. nourishment	d. nourishment
14. <input type="checkbox"/> Coastal Dunes	_____	_____	_____ cu yd	_____ cu yd
	a. square feet	b. square feet	c. nourishment	d. nourishment
15. <input type="checkbox"/> Coastal Banks	_____	_____		
	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	_____	_____		
	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	_____	_____		
	a. square feet	b. square feet		
	_____	_____		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	_____	_____		
	a. c/y dredged	b. c/y dredged		
21. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	_____		
	a. square feet	b. square feet		
22. <input type="checkbox"/> Riverfront Area	_____	_____		
	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	_____	_____	_____	_____
	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	_____	_____	_____	_____
	g. square feet	h. square feet	i. square feet	j. square feet



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B. Findings (cont.)

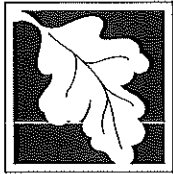
* #23. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

23. Restoration/Enhancement *:
- _____ a. square feet of BVW _____ b. square feet of salt marsh
24. Stream Crossing(s):
- _____ a. number of new stream crossings _____ b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. The work is a maintenance dredging project as provided for in the Act; or
 - b. The time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
 - c. If the work is for a Test Project, this Order of Conditions shall be valid for no more than one year.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order. An Order of Conditions for a Test Project may be extended for one additional year only upon written application by the applicant, subject to the provisions of 310 CMR 10.05(11)(f).
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on _____ unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.



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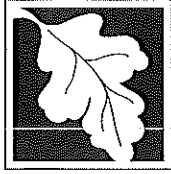
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C. General Conditions Under Massachusetts Wetlands Protection Act

8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]
"File Number 316-0718 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.



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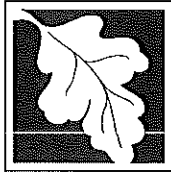
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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.
19. The work associated with this Order (the "Project")
- (1) is subject to the Massachusetts Stormwater Standards
 - (2) is NOT subject to the Massachusetts Stormwater Standards

If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
 - i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;

v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following:

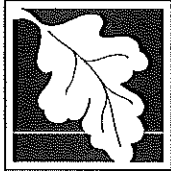
i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and

ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

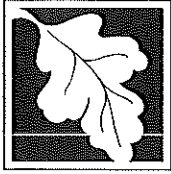
- g) The responsible party shall:
 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.

- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the Issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

See attached.

- 20. For Test Projects subject to 310 CMR 10.05(11), the applicant shall also implement the monitoring plan and the restoration plan submitted with the Notice of Intent. If the conservation commission or Department determines that the Test Project threatens the public health, safety or the environment, the applicant shall implement the removal plan submitted with the Notice of Intent or modify the project as directed by the conservation commission or the Department.



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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No
2. The _____ hereby finds (check one that applies):

Conservation Commission

- a. that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw _____

2. Citation _____

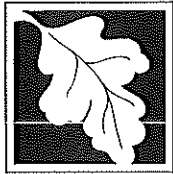
Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

1. Municipal Ordinance or Bylaw _____

2. Citation _____

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.
 The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):



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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

10-6-2016
 1. Date of Issuance

Please indicate the number of members who will sign this form.

5
 2. Number of Signers

This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

[Handwritten signatures of Brad Bell and James W. Ker]

by hand delivery on

by certified mail, return receipt requested, on

Date

Date

10-6-2016

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Waltham Conservation Commission
119 School Street
Waltham, MA 02451-4596

SPECIAL ORDERS OF CONDITIONS (V1.2)
AS ISSUED BY THE WALTHAM CONSERVATION COMMISSION

DEP File Number: 316-0718
Applicant: City of Waltham Recreation Department
Location: Elsie Turner Field, 385 Trapelo Road
Date of Issuance: October 6, 2016

19. RECORDING AND ADMINISTRATION

- A. Prior to any work on the site, or within six (6) weeks of the date of this Order, whichever comes first, this Order of Conditions shall be recorded at the Middlesex Registry of Deeds or Land Court and notice filed with the Commission pursuant to Condition 8. Failure to do so shall be deemed cause to revoke this Order.
- B. In advance of any work on this project the applicant shall notify the Commission, and at the request of the Commission, shall arrange an on-site conference among the Commission, the contractor and the applicant to ensure that all of the conditions of this Order are understood.
- C. This Order shall be made a part of all contracts and subcontracts dealing with the work proposed, and shall supersede all other conflicting contract requirements.
- D. This Order shall apply to and be binding upon the applicant, its employees and all successors and assigns in interest or control.
- E. Prior to any work being done on the project site, the applicant shall inform the Waltham Conservation Commission in writing of the names, addresses, business and home phone numbers of both the project supervisor who will be responsible for ensuring on-site compliance with this order and his/her alternate. The applicant shall also notify the Commission in writing of any changes in this information.
- F. Members of the Commission or their agents shall have the right to enter upon and inspect the premises to evaluate compliance with this Order of Conditions.
- G. Any changes differing from the aforementioned conditions must be submitted to the Commission for approval prior to their implementation. If the Commission finds, by

majority vote, said changes to be significant and/or deviate from the original plans, Notice of Intent, or the Order of Conditions, then the Commission may require a new Notice of Intent or call for another public hearing within 21 days, at the expense of the applicant, in order to take testimony from all interested parties. Within 21 days of the close of said public hearing, the Commission will issue an amended or new Order of Conditions.

H. Any errors found in the plans or information submitted by the applicant shall be considered as changes, and the procedures outlined in Condition "G" above shall be followed.

I. In conjunction with the sale of any portion of the site covered by this Order of Conditions, the applicant shall submit to the Commission a signed statement by the buyer that he/she is aware of outstanding Orders of Conditions.

J. The Commission may authorize its designated agent to act on its behalf in determining preconstruction compliance.

K. Special Conditions 21B, 22G, 23A, 23B, 23C, 23D, and 23E shall apply in perpetuity and shall not expire with the issuance of a Certificate of Compliance for this project.

20. PRIOR TO COMMENCEMENT OF WORK

A. Prior to any work on the project site, the proposed limit of work shall be clearly marked with stakes, flags or fencing and shall be approved in writing by the Commission. Such markers will be maintained until all construction on the site's perimeter is complete. All workers shall be informed that no construction activity is to occur beyond this line at any time.

B. Prior to any work on the project site, all trees greater than six (6) inches in diameter that are to be saved shall be protected from inadvertent damage by strapping boards around the trunk from ground level to a height of at least eight (8) feet. Completion of this project measure shall be approved in writing by the Commission. Such measures shall be maintained until all earthwork and grading is complete and then shall be removed. Trees that are not to be saved shall be cut and stumps removed.

C. Prior to any construction on the site, an erosion control barrier of a filter fabric fence backed by a row of double-staked straw bales shall be placed between all construction activities and wetland areas, in accordance with Erosion and Sedimentation Guidelines for Urban and Suburban Areas, Mass. DEP, March 1997. This barrier shall be inspected and approved in writing by the Commission. Upon completion of the project the applicant shall remove and discard to a suitable area, all straw bales and other materials determined to be detrimental to the resource areas.

D. The applicant shall have on hand at the start of any soil disturbance, removal or stockpiling, a minimum of 20% additional straw bales, in good condition and sufficient stakes for double staking these bales. Said bales shall be used only for the control of

emergency erosion problems and shall not be used for the normal control of erosion, as described in Condition "C".

21. LIMITS OF WORK/EROSION CONTROL

A. There shall be no activity (i.e. filling, alteration, regrading, removal of vegetation, etc.) related to this project within 50 feet of any resource area unless otherwise described in these orders and on the referenced plans.

B. As soon as possible during construction, all disturbed upland areas in the resource area or buffer zone shall be brought to final finished grade and stabilized permanently against erosion. This shall be done either by sodding, or by loaming, seeding, and mulching according to Natural Resources Conservation Service (formerly UDA) Soil Conservation Service Guidelines. If the latter course is chosen, stabilization will be considered completed once the surface shows complete vegetative cover. Bare ground that can not be permanently stabilized within thirty (30) days shall be stabilized by temporary measures.

22. DURING WORK

A. Accepted engineering and construction standards and procedures shall be followed in the completion of this project.

B. A copy of this Order of Conditions, as well as all construction and wetland replication plans, shall be on site upon commencement of any site work and made available to any person doing work on the site.

C. Site grading and construction shall be scheduled to avoid periods of high water. Once begun, grading and construction shall move uninterrupted to completion to avoid erosion and sedimentation of wetlands.

D. Any dewatering or drawdown activities on the project in which water will be released into a resource area or storm drain shall make use of a sedimentation tank or similar device to remove sediment before the water is released.

E. No earthen embankment in the buffer zone shall have a post construction slope steeper than 2:1.

F. There shall be no stockpiling of soil or other materials within fifty (50) feet of any resource area, except as described in the NOI and shown on the referenced plan.

G. During and after work on this project, there shall be no discharge or spillage of fuel, oil, or other pollutants into any resource area or buffer zone. The applicant shall take all reasonable precautions to prevent the release of pollutants by ignorance, accident, or vandalism.

23. UPON COMPLETION OF WORK

A. Storage of Petroleum Products

- i. No underground storage of fuel oils shall be allowed within the resource area or buffer zone.
- ii. There shall be no storage of petroleum products (e.g. motor oil, gasoline, diesel fuel, etc.) within the resource area or buffer zone on the site at any time, except for quantities commensurate with maintaining a multi-family unit.

B. Fertilizer, Pesticides and Herbicides

- i. Fertilizers shall not be used within a resource area or fifty (50) feet from a resource area.
- ii. Pesticides and herbicides shall not be used within a resource area or buffer zone.

C. Sodium chloride shall not be used for de-icing on the site. Signs of a minimum of two square feet stating such restriction shall be posted at all vehicle entrances.

D. Sand used in deicing shall be removed periodically during the winter and by May 1st of each year. Records of cleaning shall be maintained on site and mailed annually to the Commission by May 1st.

E. The storm drainage system shall be equipped with gas and oil traps. Catch basins shall be cleaned and maintained by the applicant every 3 months. Records of said cleaning shall be maintained on site and mailed annually to the Commission by May 1st.


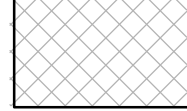


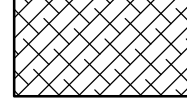


24. SITE-SPECIFIC CONDITIONS

A. Applicant shall have a swale created along the high side of the parking lot outside the walkway. The swale will be connected hydraulically that conveys water to drain from the high side of the parking lot into the wetlands and eliminates any water that may travel over the pavement.

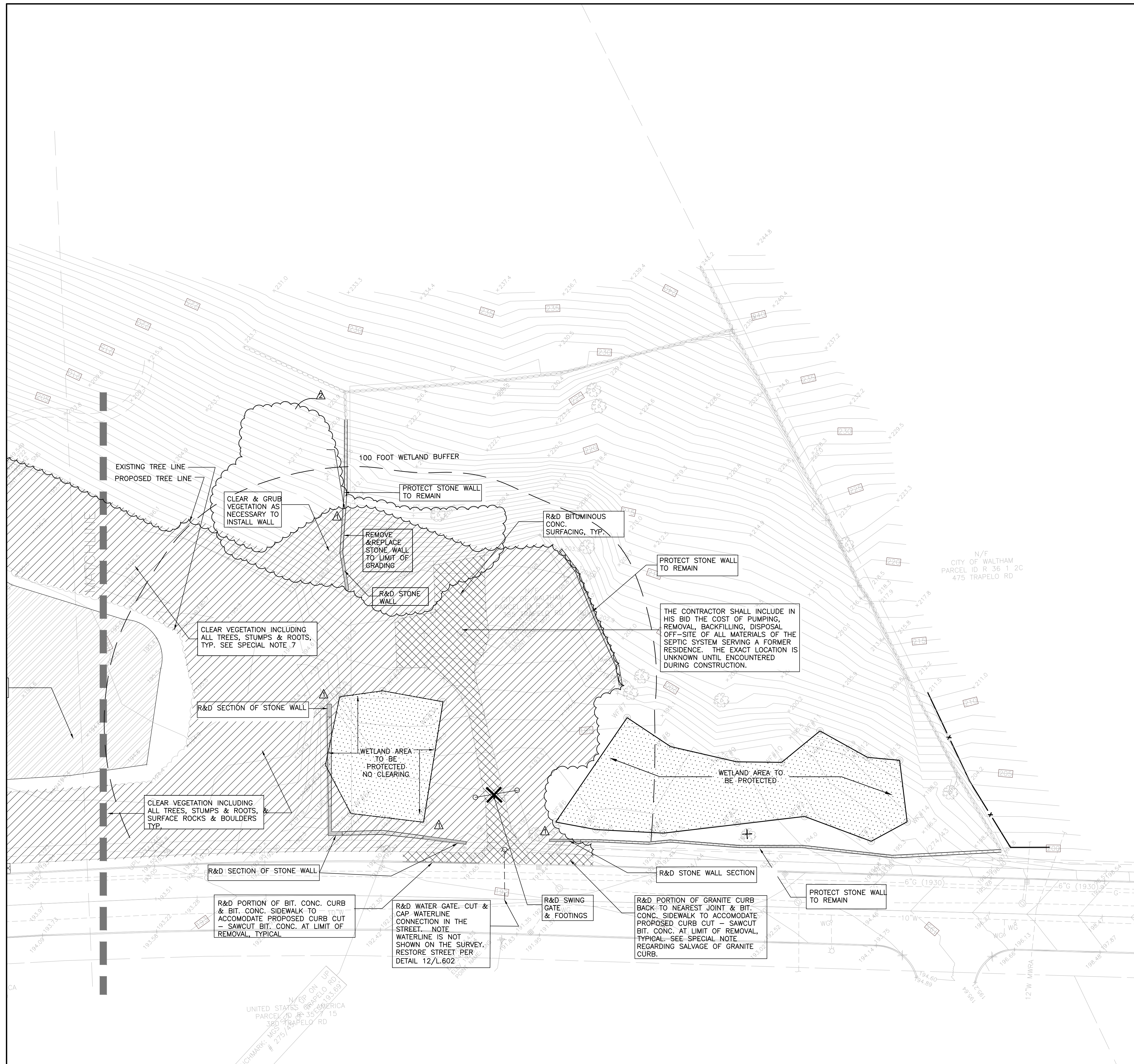
B. The revised plan shall be shown to all of the necessary City of Waltham departments for approval. It will then be presented to the Conservation Commission for approval.



SITE PREPARATION & DEMOLITION LEGEND

-  PROTECTED WETLAND
-  R&D BITUMINOUS CONCRETE PAVING
-  R&D GRAVEL SURFACE
-  R&D TREES, SHRUBS AND ALL OTHER VEGETATION. REMOVE STUMPS & ROOTS.
-  R&D INFIELD MIX
-  R&D CURB, TYP.
-  REMOVE & DISPOSE OF EXISTING SITE ELEMENTS

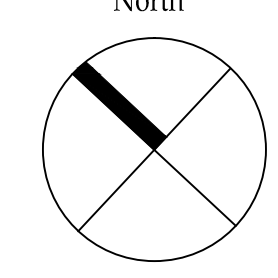
- TYP. TYPICAL
- R & D REMOVE AND DISPOSE
- R & R REMOVE AND REPLACE
- R & S REMOVE AND SALVAGE



No.	Description	Date
△	REVISED ADDENDUM #2	12/01/17
△	REVISED ADDENDUM #1	11/20/17

REVISIONS

North



Project:

**CITY OF WALTHAM
 ELSE TURNER FIELD
 421 TRAPELO ROAD
 WALTHAM, MA 02452**

Prepared For:

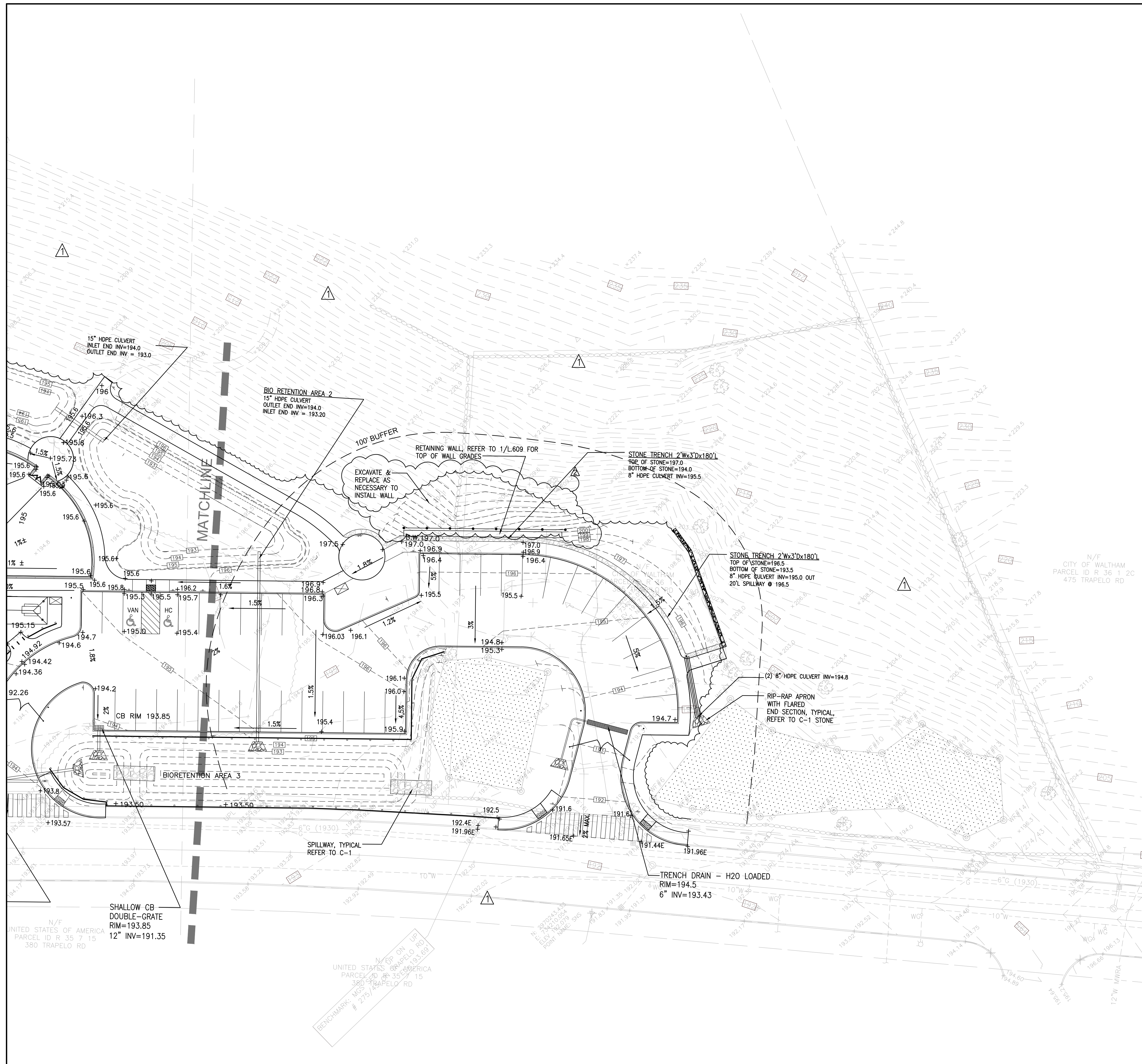
**CITY OF WALTHAM
 DEPARTMENT OF RECREATION
 510 MOODY STREET
 WALTHAM, MA 02453**

TITLE:

SITE PREPARATION PLAN

Scale 1"=20' Date OCT. 31, 2017
 Drawn By CCC
 Checked By DRB
 Approved By CCC
 Project No. 1710.00





No.	Description	Date
△	REVISED ADDENDUM #2 REV. AREA OF GRADING	12/01/17
△	REVISED ADDENDUM #1	11/20/17

REVISIONS	
North	

Project:
**CITY OF WALTHAM
ELSE TURNER FIELD
421 TRAPELO ROAD
WALTHAM, MA 02452**

Prepared For:
**CITY OF WALTHAM
DEPARTMENT OF RECREATION
510 MOODY STREET
WALTHAM, MA 02453**

TITLE:
**GRADING & DRAINAGE
PLAN**

Scale 1"=20' Date OCT. 31, 2017
Drawn By CCC
Checked By DRB
Approved By CCC
Project No. 1710.00

DWG No. **L.402**



PLANT SCHEDULE

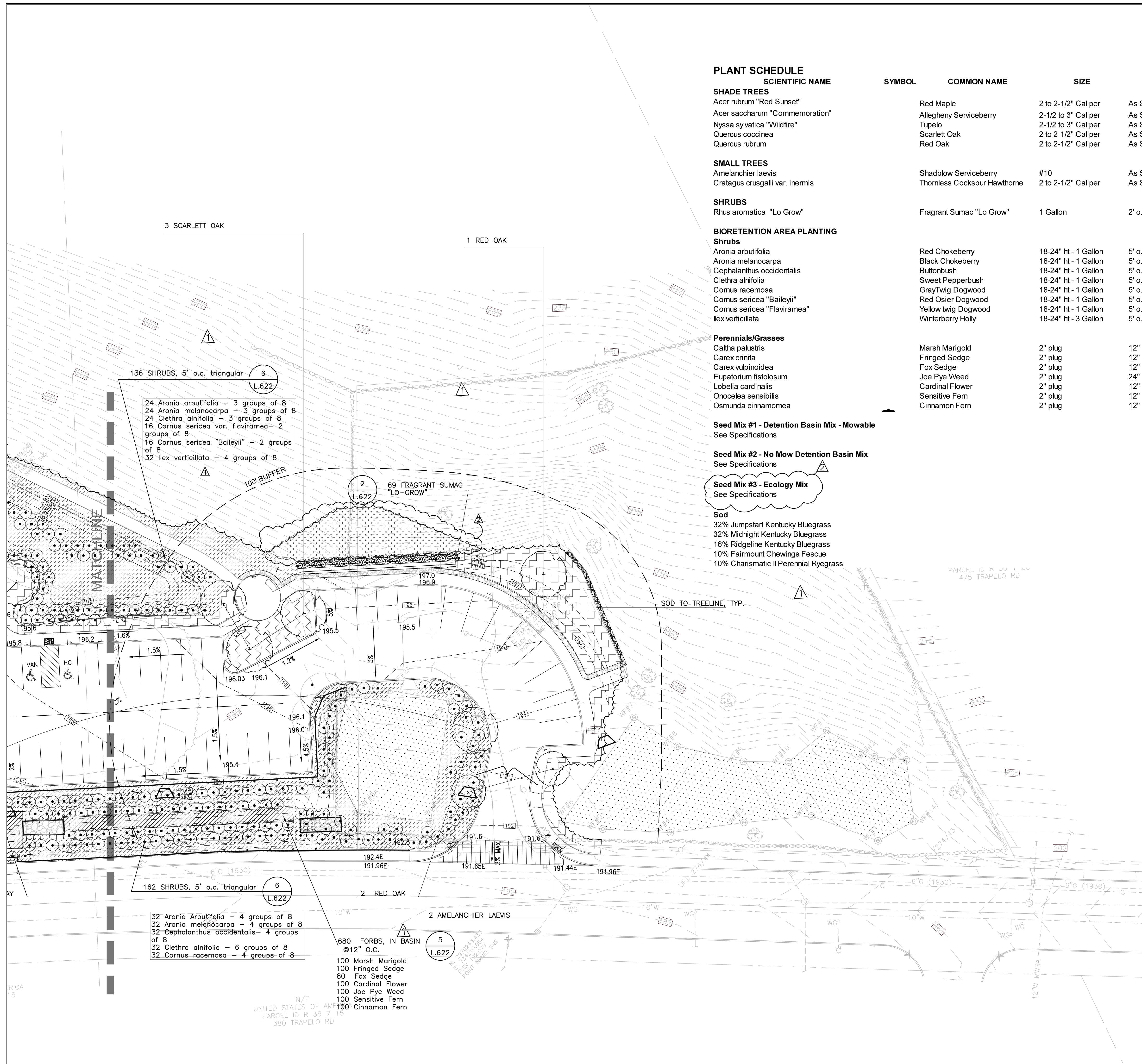
SCIENTIFIC NAME	SYMBOL	COMMON NAME	SIZE	SPACING	QUANTITY	COMMENTS
SHADE TREES						
Acer rubrum "Red Sunset"		Red Maple	2 to 2-1/2" Caliper	As Shown	4	Amended loam backfill
Acer saccharum "Commemoration"		Allegheny Serviceberry	2-1/2 to 3" Caliper	As Shown	4	Amended loam backfill
Nyssa sylvatica "Wildfire"		Tupelo	2-1/2 to 3" Caliper	As Shown	1	Amended loam backfill
Quercus coccinea		Scarlett Oak	2 to 2-1/2" Caliper	As Shown	3	Amended loam backfill
Quercus rubrum		Red Oak	2 to 2-1/2" Caliper	As Shown	3	Amended loam backfill
SMALL TREES						
Amelanchier laevis		Shadblow Serviceberry	#10	As Shown	4	Amended loam backfill
Crataegus crusgalli var. inermis		Thornless Cockspur Hawthorne	2 to 2-1/2" Caliper	As Shown	12	Amended loam backfill
SHRUBS						
Rhus aromatica "Lo Grow"		Fragrant Sumac "Lo Grow"	1 Gallon	2' o.c.	69	Mulched bed
BIORETENTION AREA PLANTING						
Shrubs						
Aronia arbutifolia		Red Chokeberry	18-24" ht - 1 Gallon	5' o.c. triangular	64	8 per group
Aronia melanocarpa		Black Chokeberry	18-24" ht - 1 Gallon	5' o.c. triangular	64	8 per group
Cephalanthus occidentalis		Buttonbush	18-24" ht - 1 Gallon	5' o.c. triangular	32	8 per group
Clethra alnifolia		Sweet Pepperbush	18-24" ht - 1 Gallon	5' o.c. triangular	64	8 per group
Cornus racemosa		Gray Twig Dogwood	18-24" ht - 1 Gallon	5' o.c. triangular	48	8 per group
Cornus sericea "Baileyi"		Red Osier Dogwood	18-24" ht - 1 Gallon	5' o.c. triangular	16	8 per group
Cornus sericea "Flaviramea"		Yellow twig Dogwood	18-24" ht - 1 Gallon	5' o.c. triangular	16	8 per group
Ilex verticillata		Winterberry Holly	18-24" ht - 3 Gallon	5' o.c. triangular	32	8 per group
Perennials/Grasses						
Caltha palustris		Marsh Marigold	2" plug	12" o.c. triangular	200	
Carex crinita		Fringed Sedge	2" plug	12" o.c. triangular	200	
Carex vulpinoidea		Fox Sedge	2" plug	12" o.c. triangular	180	
Eupatorium fistulosum		Joe Pye Weed	2" plug	24" o.c. triangular	100	
Lobelia cardinalis		Cardinal Flower	2" plug	12" o.c. triangular	100	
Onoclea sensibilis		Sensitive Fern	2" plug	12" o.c. triangular	100	
Osmunda cinnamomea		Cinnamon Fern	2" plug	12" o.c. triangular	100	

Seed Mix #1 - Detention Basin Mix - Mowable
See Specifications

Seed Mix #2 - No Mow Detention Basin Mix
See Specifications

Seed Mix #3 - Ecology Mix
See Specifications

Sod
32% Jumpstart Kentucky Bluegrass
32% Midnight Kentucky Bluegrass
16% Ridgeline Kentucky Bluegrass
10% Fairmount Chewings Fescue
10% Charismatic II Perennial Ryegrass



LEGEND

- SOD
- BIORETENTION BASIN MIX #1 - MOWABLE
- BIORETENTION BASIN MIX #2 - NO MOW
- SEED MIX #3 - ECOLOGY MIX

No.	Description	Date
REVISION 1	REVISED ADDENDUM #2 ADDTL SEEDING	12/01/17
REVISION 2	REVISED ADDENDUM #1 SEEDING/SODDING AREAS	11/20/17

REVISIONS

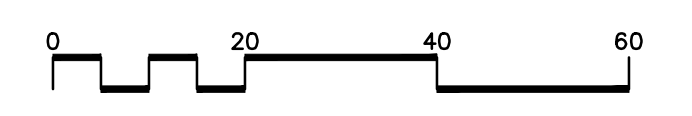
Project:
**CITY OF WALTHAM
ELSE TURNER FIELD
421 TRAPELO ROAD
WALTHAM, MA 02452**

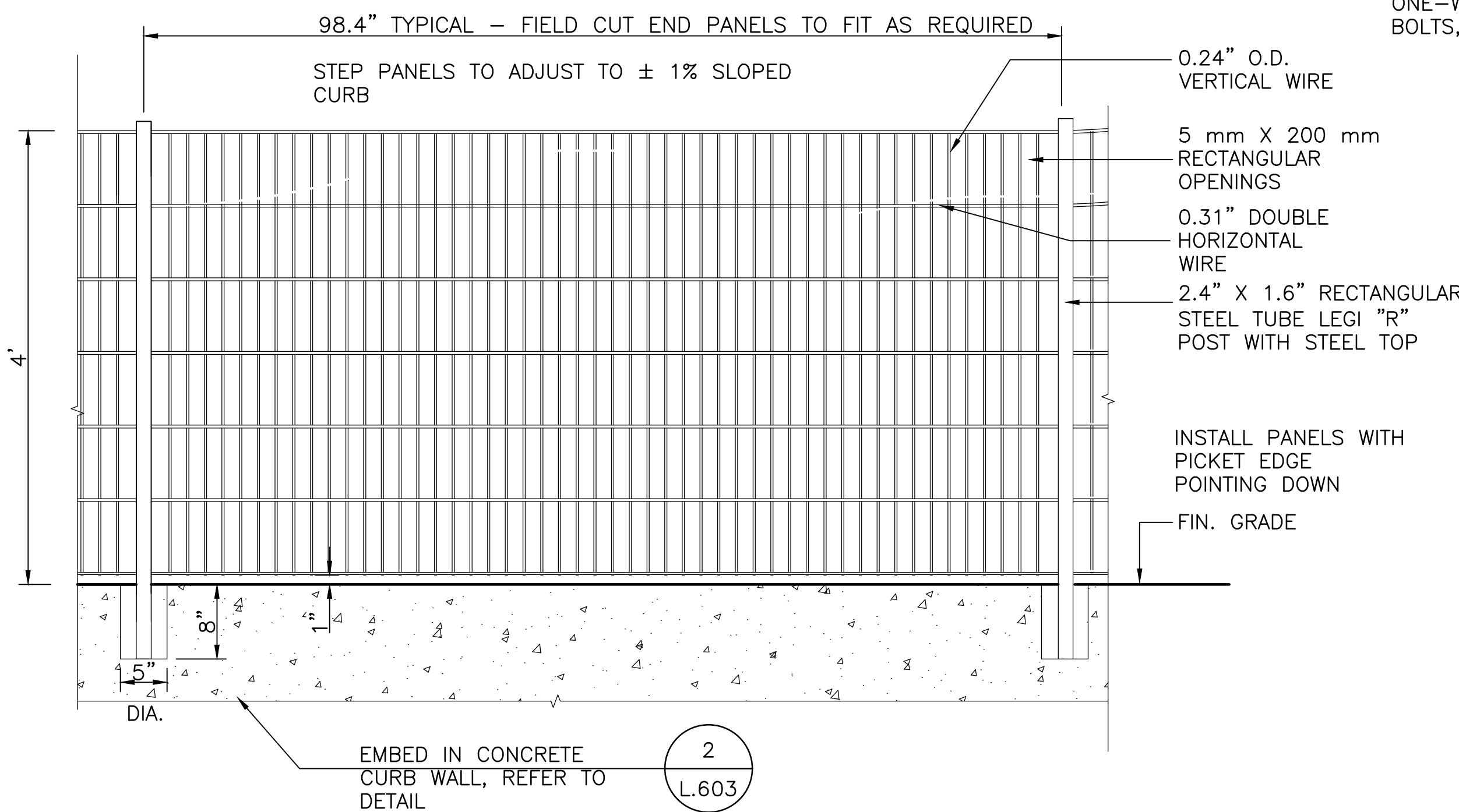
Prepared For:
**CITY OF WALTHAM
DEPARTMENT OF RECREATION
510 MOODY STREET
WALTHAM, MA 02453**

TITLE:
PLANTING PLAN

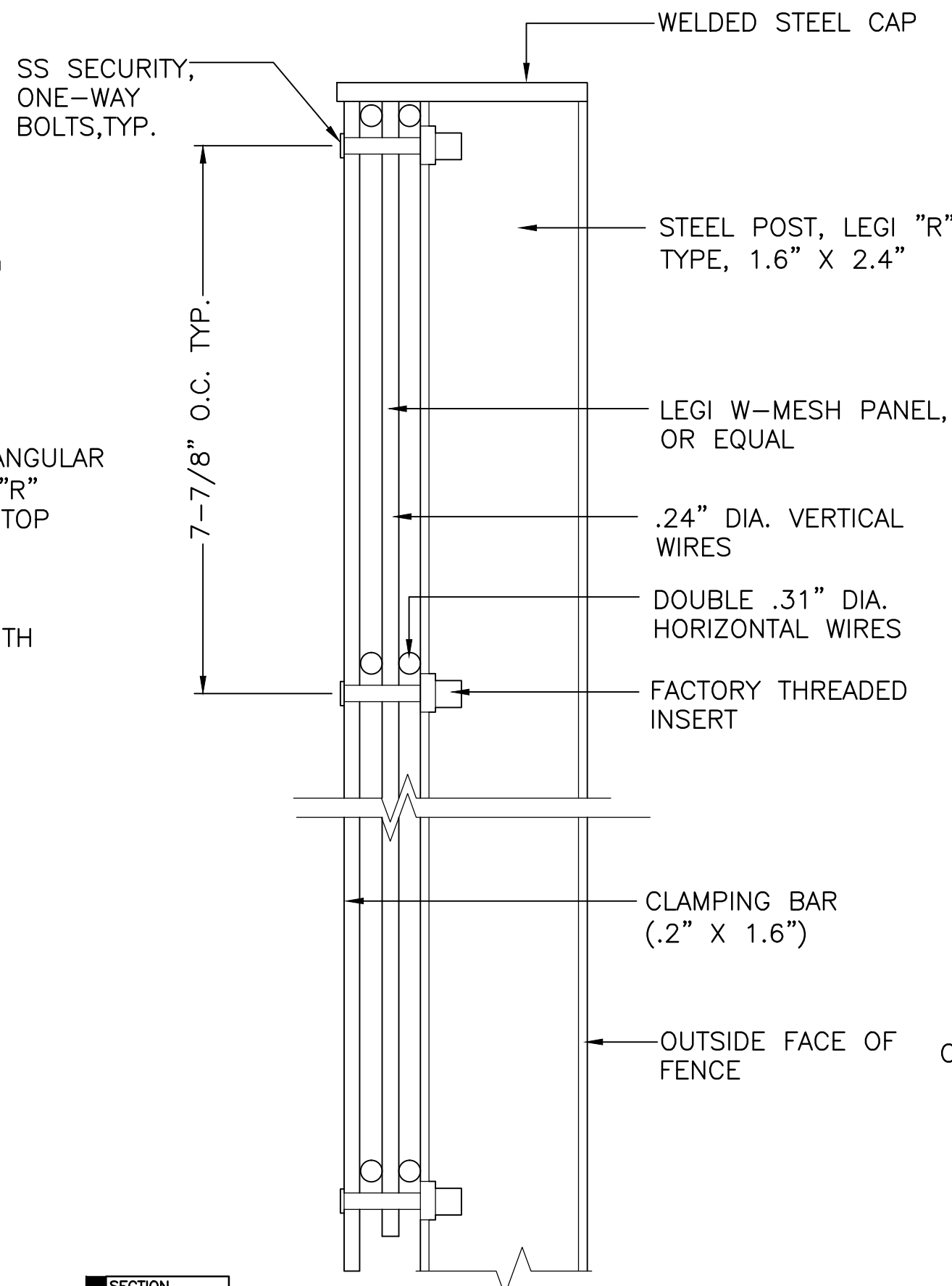
Scale 1"=20' Date OCT. 31, 2017
Drawn By CCC
Checked By DRB
Approved By CCC
Project No. 1710.00

DWG No. **L.502**

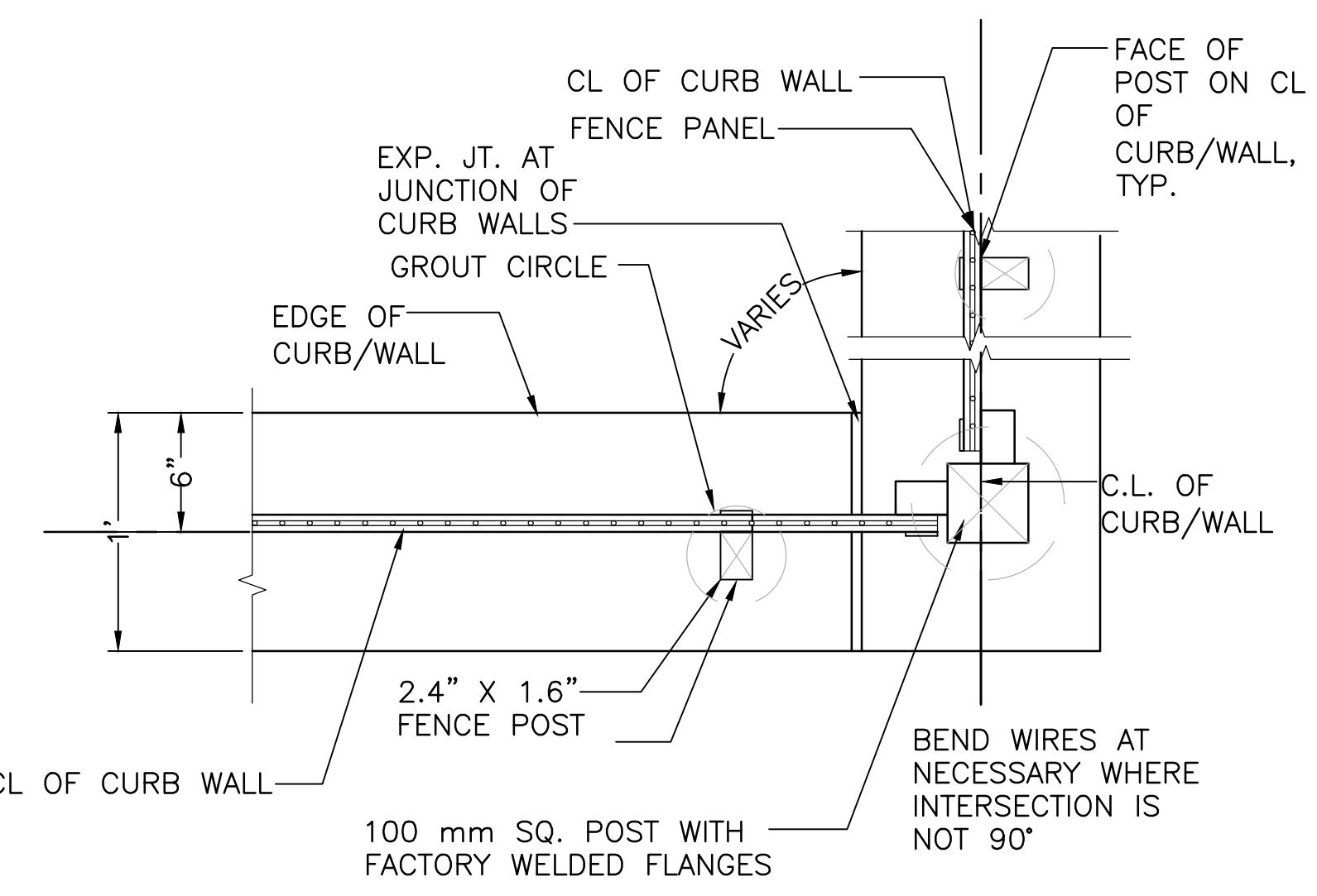




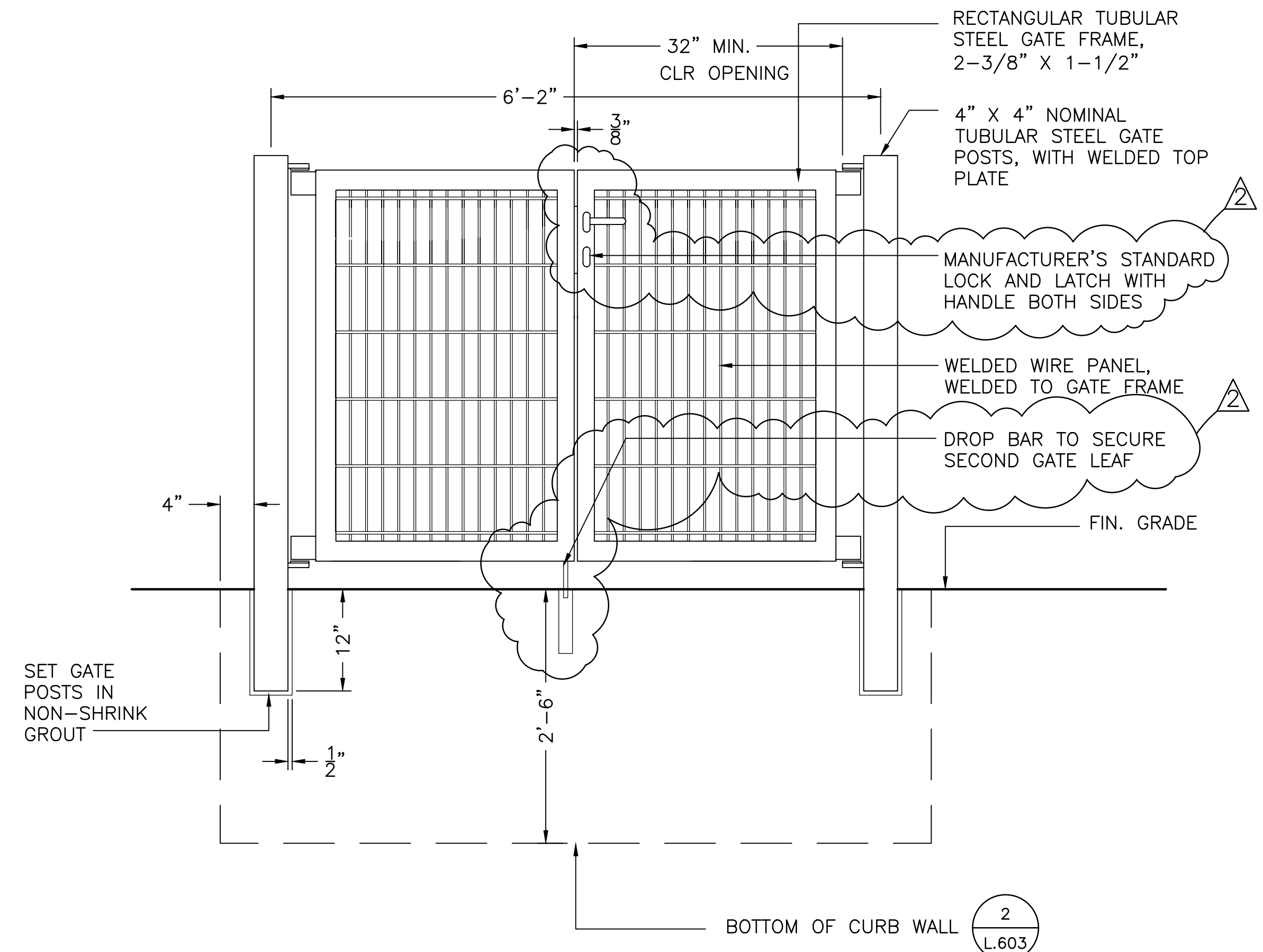
SECTION
1 WELDED WIRE FENCE DETAIL
 1" = 1'-0"



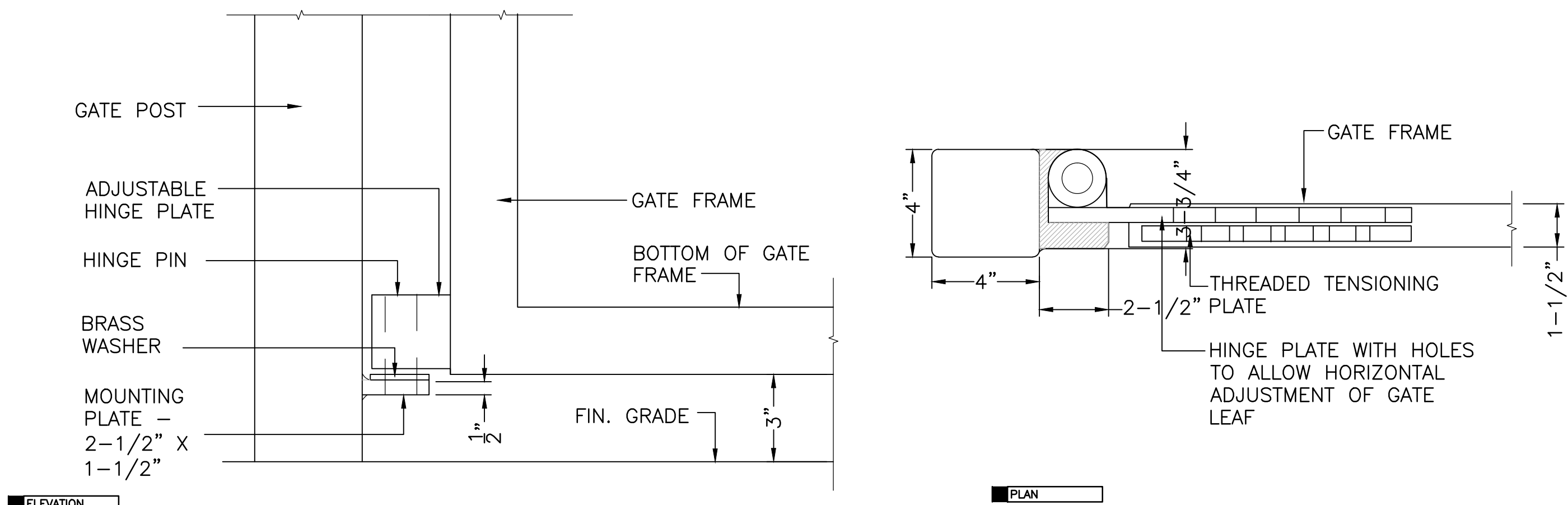
SECTION
2 FENCE POST SECTION
 1/2 SCALE



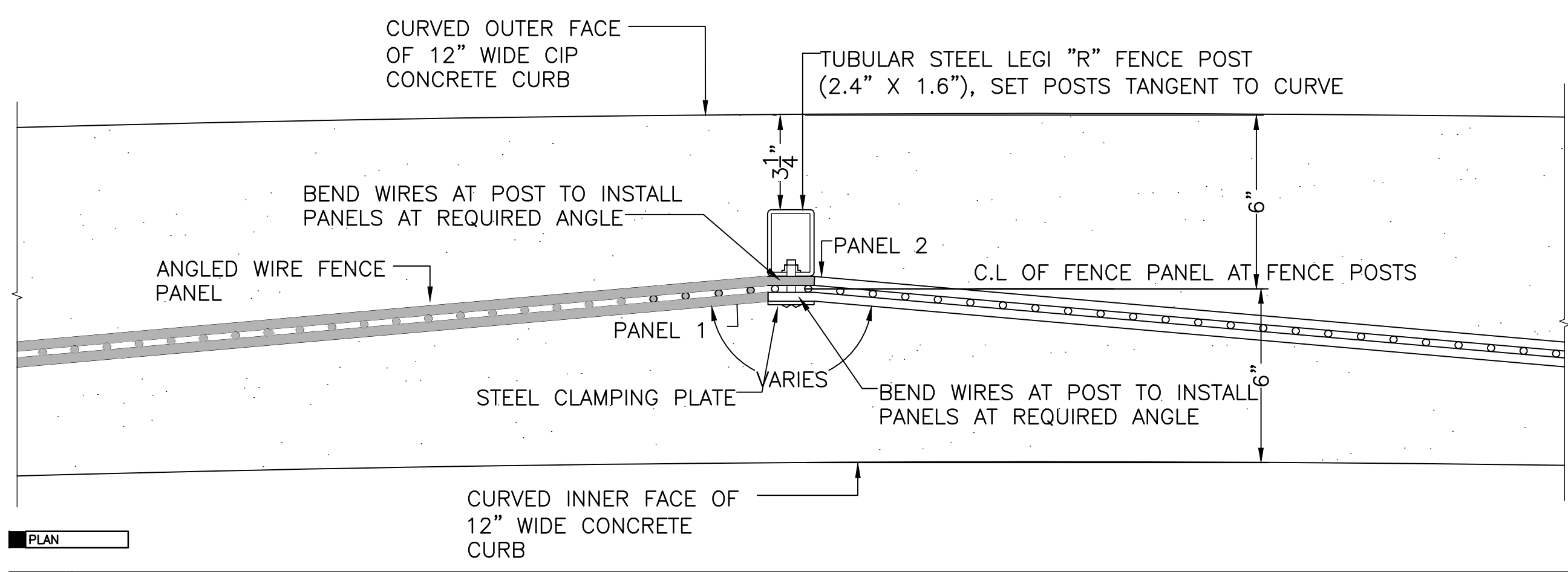
PLAN
3 CORNER POST DETAIL
 N.T.S.



SECTIONAL ELEVATION
4 DOUBLE GATE
 SCALE: 1" = 1'-0"



ELEVATION
5 GATE FRAME DETAIL
 1" = 1'-0"



PLAN
6 TYPICAL ATTACHMENT AT POSTS
 SCALE: ONE QUARTER SIZE



No.	Description	Date
1	REVISION TO DOUBLE GATE PER ADDENDUM #2	12/01/17

REVISIONS

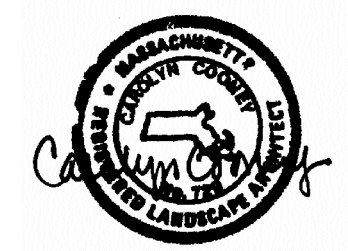
Project:
**CITY OF WALTHAM
 ELSE TURNER FIELD
 421 TRAPELO ROAD
 WALTHAM, MA 02452**

Prepared For:
**CITY OF WALTHAM
 DEPARTMENT OF RECREATION
 510 MOODY STREET
 WALTHAM, MA 02453**

TITLE:
**WELDED WIRE
 FENCE DETAILS**

Scale AS NOTED Date OCT. 31, 2017
 Drawn By CCC
 Checked By DRB
 Approved By VH
 Project No. 1710.00

DWG No. **L.608**



No.	Description	Date
1	REVISION TO REBAR SIZE PER ADDENDUM #2	12/01/17

REVISIONS

Project:

**CITY OF WALTHAM
ELSE TURNER FIELD
421 TRAPELO ROAD
WALTHAM, MA 02452**

Prepared For:

**CITY OF WALTHAM
DEPARTMENT OF RECREATION
510 MOODY STREET
WALTHAM, MA 02453**

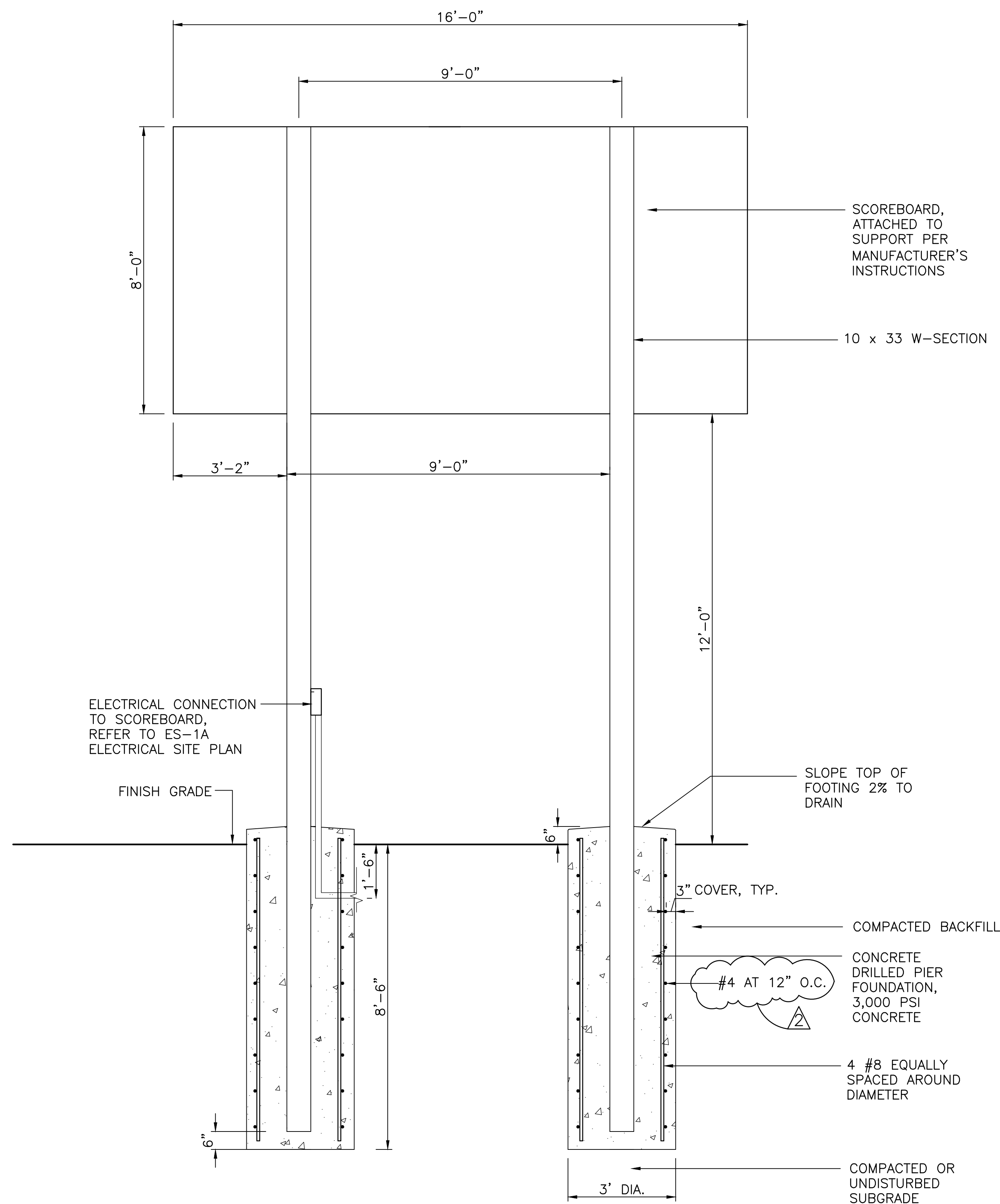
TITLE:

**SCOREBOARD/SOFTBALL
FIELD DETAILS**

Scale AS NOTED Date OCT. 31, 2017
Drawn By CCC
Checked By DRB
Approved By VH
Project No. 1710.00

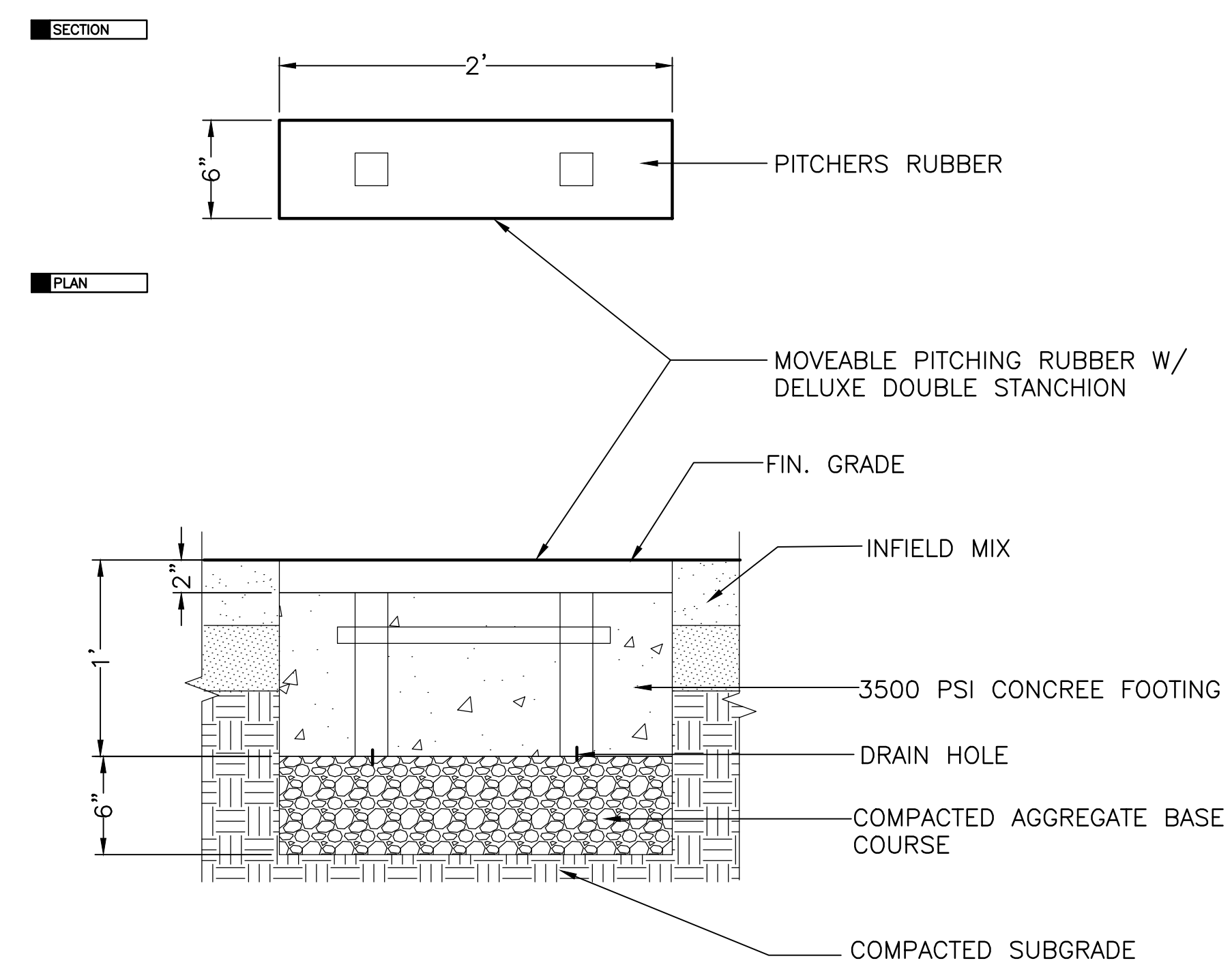
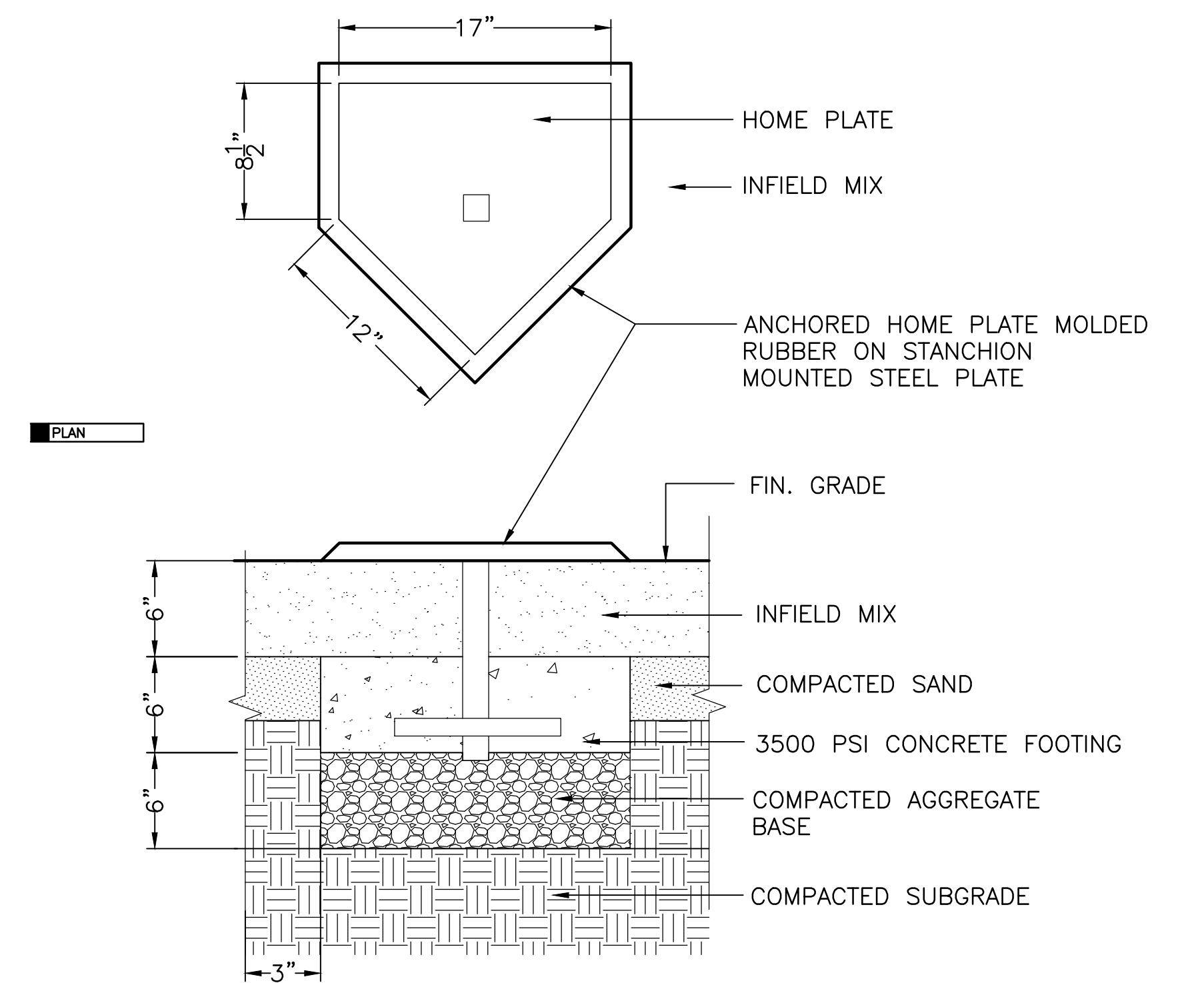
DWG No.

L.615



REAR ELEVATION/SECTION

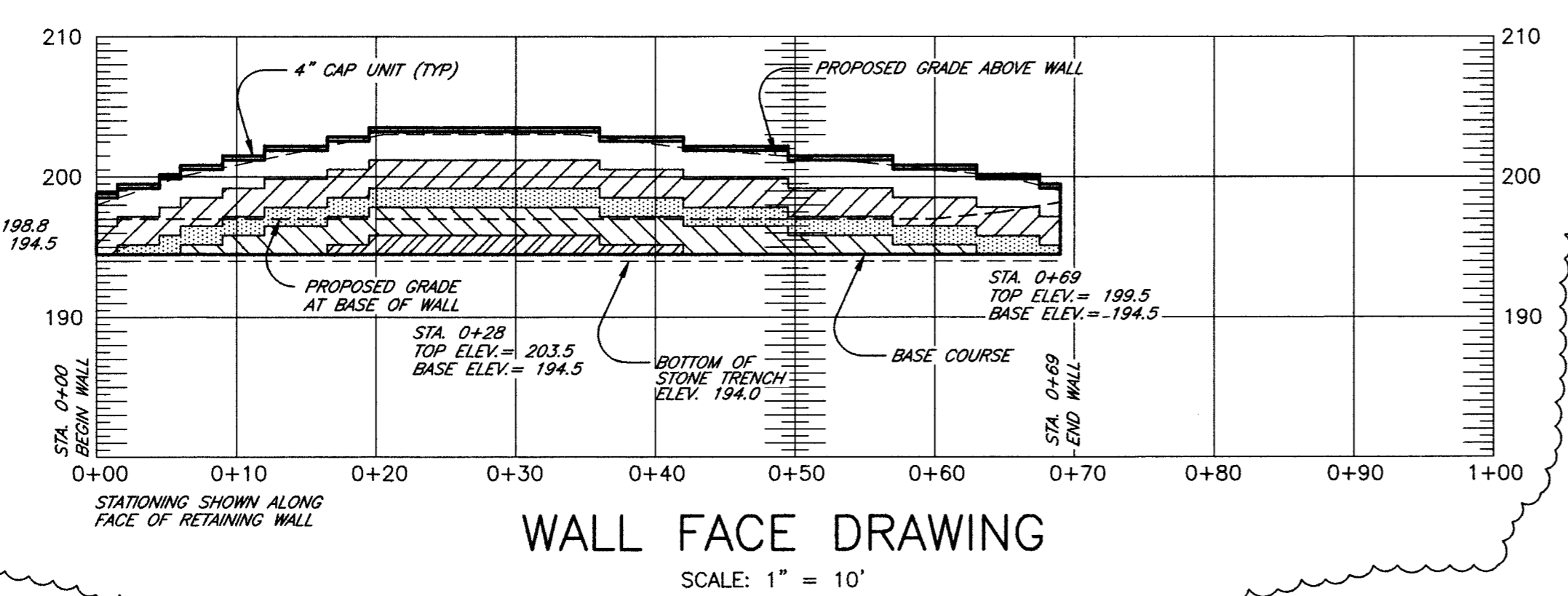
1 SCOREBOARD INSTALLATION DETAIL
SCALE: 1/2" = 1'-0"



SECTION

3 HOME PLATE AND PITCHERS RUBBER
SCALE: 1-1/2" = 1'-0"

DESIGN ASSUMPTIONS - MAX. SLOPE ABOVE WALL 3H:1V, SLOPE BELOW WALL = LEVEL, 55 psf LIVE LOAD, 0 psf DEAD LOAD, MAXIMUM BEARING PRESSURE = 2400 psf.



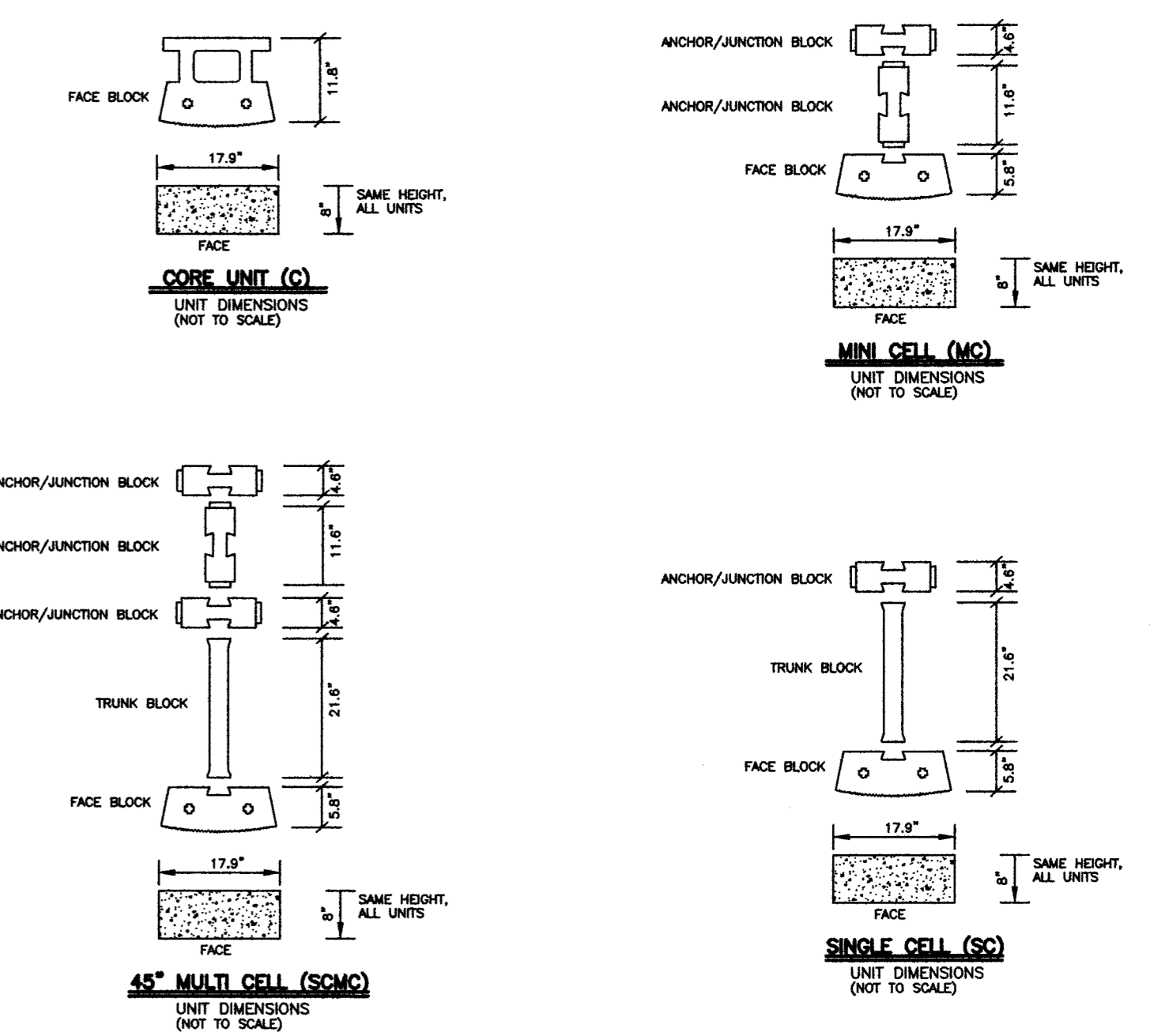
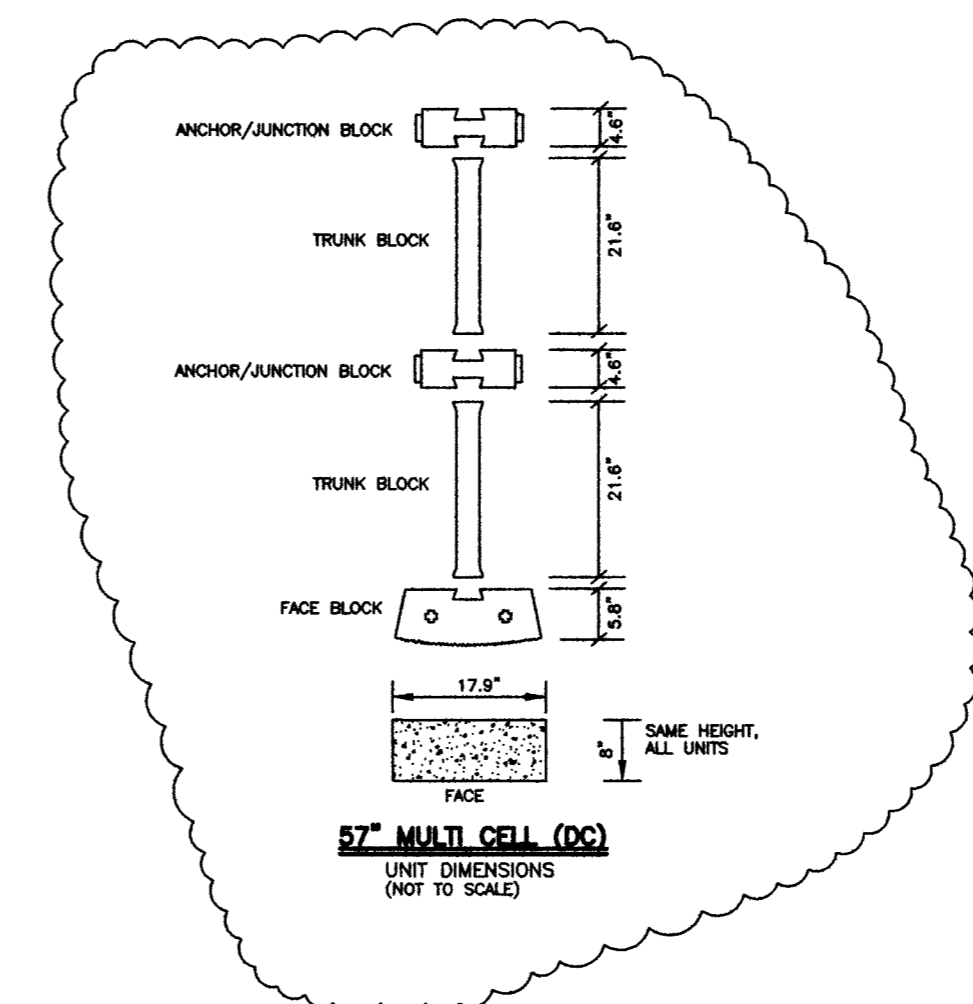
WALL FACE DRAWING
SCALE: 1" = 10'

SEE REFERENCE DRAWING L.401 FOR LOCATION OF WALL ON SITE.
ORIENTATION IS STANDING IN PARKING LOT LOOKING NORTHEAST AT FACE OF WALL

LEGEND:

- GRAVITY STONE "CORE UNIT"
- GRAVITY STONE "MINI CELL" MINI CELL CONSISTS OF ONE "FACE BLOCK" AND TWO "ANCHOR BLOCKS"
- GRAVITY STONE 32" DEEP SINGLE CELL 32" DEEP SINGLE CELL CONSISTS OF ONE "FACE BLOCK", ONE "TRUNK BLOCK", AND ONE "ANCHOR BLOCK"
- GRAVITY STONE 45" DEEP MULTI CELL 45" DEEP MULTI-CELL CONSISTS OF ONE "FACE BLOCK", ONE "TRUNK BLOCK", AND THREE "ANCHOR BLOCKS"
- GRAVITY STONE 57" DEEP MULTI CELL 57" DEEP MULTI-CELL CONSISTS OF ONE "FACE BLOCK", TWO "TRUNK BLOCKS", AND TWO "ANCHOR BLOCKS"

SPECIAL NOTE : REFERENCE PLAN SHOWS A STONE DRAINAGE TRENCH IN FRONT OF THE WALL.
WALL DRAIN MAY NOT BE CONNECTED INTO THE TRENCH BELOW GRADE.



CONSTRUCTION SEQUENCE:

1. LAY OUT 6 -INCH OFFSET FROM FACE OF WALL AND BACK OF WALL ON GROUND FOR BASE EXCAVATION.
2. REMOVE GRASS, ORGANICS, AND UNSUITABLE MATERIAL FROM WITHIN THE BASE LAYOUT. EXCAVATE TO A MINIMUM DEPTH OF 16" BELOW FINISHED GRADE.
3. COMPACT THE NATIVE SOIL, AND LAY FILTER FABRIC AS SPECIFIED ON THE SURFACE OF THE SOIL. OVERLAP FABRIC PIECES BY TWO FEET.
4. PLACE STONE UP TO BASE ELEVATION FOR WALL AND RUN COMPACTOR OVER THE STONE TO CONSOLIDATE.
5. BEGIN INSTALLATION OF BASE COURSE. INSURE THAT ALL UNITS (FACE BLOCKS, TRUNKS AND ANCHORS) ARE LEVEL FRONT TO BACK AND SIDE TO SIDE. BUTT EACH FACE UNIT TIGHT AGAINST THE NEXT. IN FIRST COURSE ABOVE GRADE, SMALL GAPS BETWEEN UNITS MAY BE PROVIDED AS WEEPS.
6. FILL VOID AREAS WITH STONE. RUN COMPACTOR OVER TO CONSOLIDATE. ADD OR REMOVE STONE AS REQUIRED TO CREATE A LEVEL SURFACE FOR THE NEXT COURSE.
7. INSTALL SUBSEQUENT LAYERS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ALIGNMENT PLUGS ARE TO BE INSTALLED FOR STANDARD SETBACK.
8. ALL FILL WITHIN THE WALL SYSTEM AND BETWEEN THE WALL SYSTEM AND THE FILTER FABRIC IS TO BE AASHTO #57 STONE.
9. WHEN EXCAVATING FOR INSTALLATION OR MAINTENANCE OF THE STONE DRAINAGE TRENCH, PRECAUTIONS SHOULD BE TAKEN TO PREVENT UNDERMINING THE LEVELING PAD, OR LEAVING IT EMPTY BELOW THE BOTTOM OF THE BASE COURSE.

NOTES:

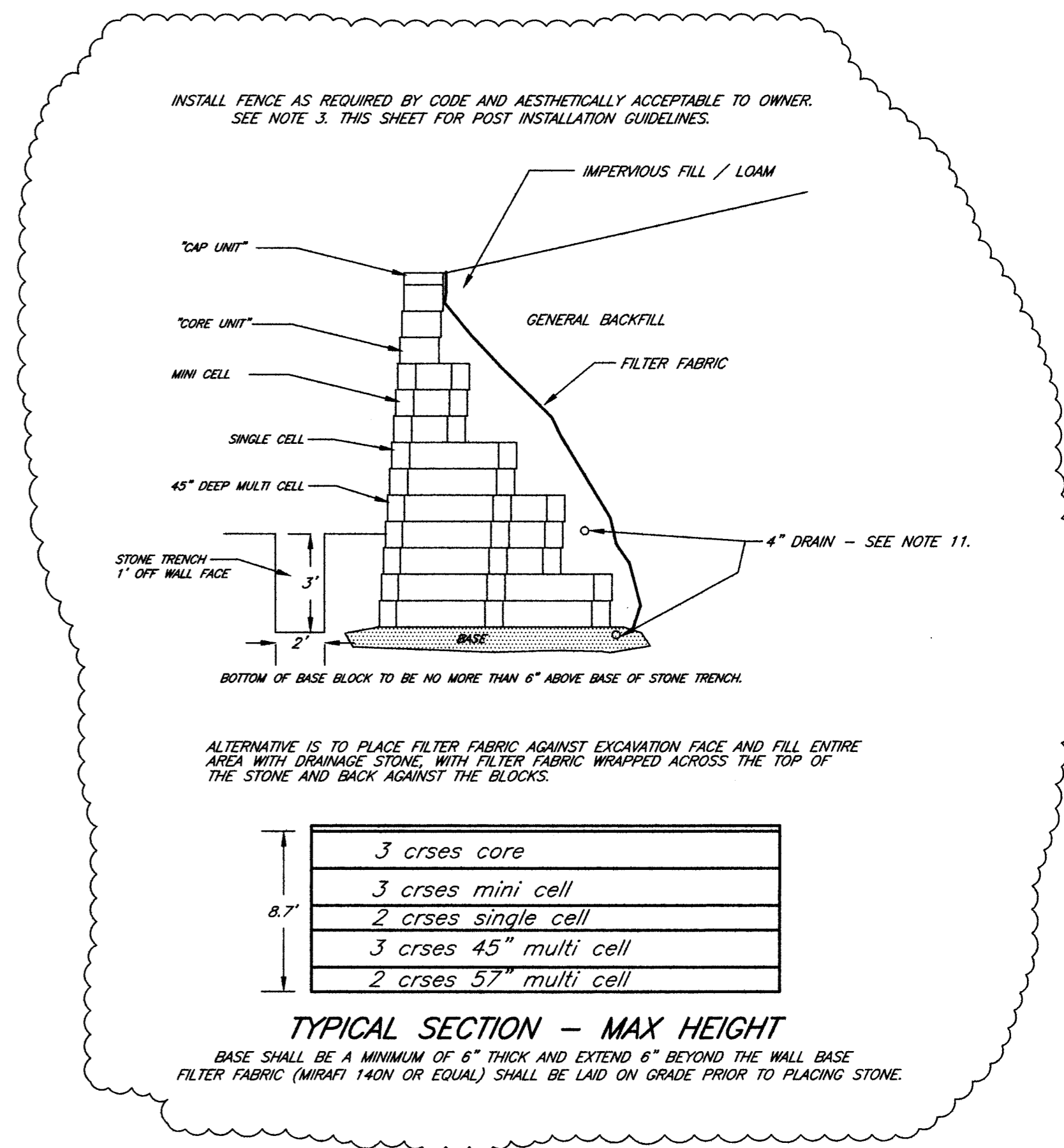
1. CARE SHOULD BE TAKEN TO REMOVE ALL ORGANIC MATERIAL FROM THE BASE EXCAVATION FOR THE RETAINING WALL.
2. ENDS OF THE RETAINING WALLS SHALL BE BLENDED INTO THE FINISHED GRADE TO MINIMIZE EROSION POTENTIAL.
3. FOR FENCE POSTS LOCATED LESS THAN 3 FEET FROM THE REAR OF THE WALL BLOCK. USE OF THE "SLEEVE-IT" FENCE POST INSTALLATION SYSTEM (www.1616sleeve.com) IS RECOMMENDED. THIS PROCEDURE INVOLVES THE USE OF THE "SLEEVE-IT" POST RISER AND SUPPORT STRUTS AND IS INSTALLED WHEN THE WALL IS APPROX. 24" BELOW ITS FINISHED GRADE. ALTERNATIVELY A SLEEVE MAY BE INSTALLED VERTICALLY THROUGH THE ANCHOR TRUNKS AND SET IN CONCRETE.
4. FOR PIPES WHICH OUTLET THROUGH THE WALL, THE SPACE NEEDED TO SQUARE-OFF THE PIPE TO THE WALL MAY BE FILLED WITH NON-SHRINK MORTAR, BLOCKS CUT TO SIZE OR OTHER APPROVED SEALANT METHOD TO PREVENT MIGRATION OF FINES THROUGH GAPS AROUND THE PIPE. A GRANITE OR CONCRETE LINTEL IS AN APPROVED METHOD OF SPANNING THE PIPE FOR SUPPORT OF THE WALL ABOVE.
5. ANY UTILITY LINE HAVING A DIAMETER GREATER THAN 4" AND PASSING UNDER A RETAINING WALL MUST HAVE A MINIMUM CLEARANCE OF 24" BETWEEN THE WALL BASE COURSE AND THE CROWN OF THE UTILITY LINE. WHERE THIS MINIMUM CLEARANCE CANNOT BE ACHIEVED, GRANITE OR CONCRETE HEADER SHALL BE INSTALLED OVER THE PIPE. THIS HEADER SHALL EXTEND AT LEAST 24" BEYOND BOTH SIDES OF THE PIPE, RUNNING ALONG THE WALL BASE. THE HEADER SHALL BE AT LEAST 12" DEEP (TO MATCH THE WALL DEPTH) AND BE CENTERED BENEATH THE WALL BASE. THE HEADER SHALL BE AT LEAST 8" IN HEIGHT.
6. WALL BASE, UNIT BACKFILL AND DRAINAGE STONE SHALL BE AASHTO #57 STONE. COMPACTED BASE (95% STANDARD PROCTOR) TO HAVE MINIMUM BEARING CAPACITY IN ACCORDANCE WITH REQUIREMENTS SHOWN ON THE WALL FACE DRAWING.
7. INSTALL WALLS IN ACCORDANCE WITH THESE PLANS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. THESE WALLS HAVE BEEN DESIGNED WITH CONSIDERATION OF SEISMIC LOADINGS.
9. THE LAYOUT OF THIS WALL IS BASED ON PLANS BY CAROLYN COONEY & ASSOCIATES TITLED "L.401 GRADING & UTILITIES PLAN" DATED AUGUST 27, 2017 AND REVISED GRADING FROM "L.4.02 GRADING & DRAINAGE PLAN" DATED OCTOBER 31, 2017.
10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE PRIOR TO PERFORMING ANY EXCAVATION, AND FOR MAINTAINING ALL EXCAVATIONS AND WORK AREAS IN A SAFE CONDITION IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
11. A 4" DIA. SCH 40 PVC DRAIN IS TO BE INSTALLED IN ONE OF TWO LOCATIONS: A) A THICKENED SECTION OF BASE, OR B) BEHIND THE COURSE OF BLOCK IMMEDIATELY ABOVE THE FINISHED GRADE IN FRONT OF THE WALL. DRAIN MAY BE CONNECTED TO THE PROPOSED CATCH BASINS LOCATED NEAR EACH END OF THE WALL, OR BE DAYLIGHTED AT BOTH ENDS OF THE WALL. ALL PIPE WITHIN THE WALL ENVELOPE (BETWEEN BLOCK AND FILTER FABRIC) SHALL BE PERFORATED. PIPE OUTSIDE OF THIS ENVELOPE (E.G. CONNECTION TO CATCH BASINS) SHALL BE SOLID WALL. CONNECTIONS TO CATCH BASINS SHALL BE ABOVE THE HIGH WATER LEVEL. IF DAYLIGHTED, A SLOTTED COVER MAY BE INSTALLED ON THE PIPE END AS AN AESTHETIC TREATMENT.

IMPERVIOUS MATERIAL GENERAL REQUIREMENTS	
SIEVE SIZE	% PASSING
3"	100%
#4	80-100%
#40	50-90%
#100	40-80%
#200	30-80%

DESIGN ASSUMPTIONS		
SOIL	SOIL UNIT WEIGHT	φ
UNIT FILL - 3/4" STONE (AASHTO #57 SPEC.)		
RETAINED EARTH	130	32
FOUNDATION SOIL	120	30
APPLIED LIVE LOAD = 55 psf		
APPLIED DEAD LOAD = 0 psf		
SLOPE BEHIND WALL 3H:1V		
SEISMIC ACCELERATION = 0.18		

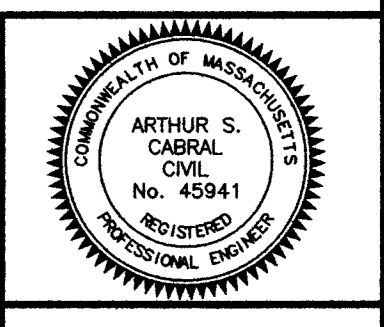
MINIMUM FACTORS OF SAFETY	
OVERTURNING	2.0
SLIDING	1.5
BEARING CAPACITY	2.0

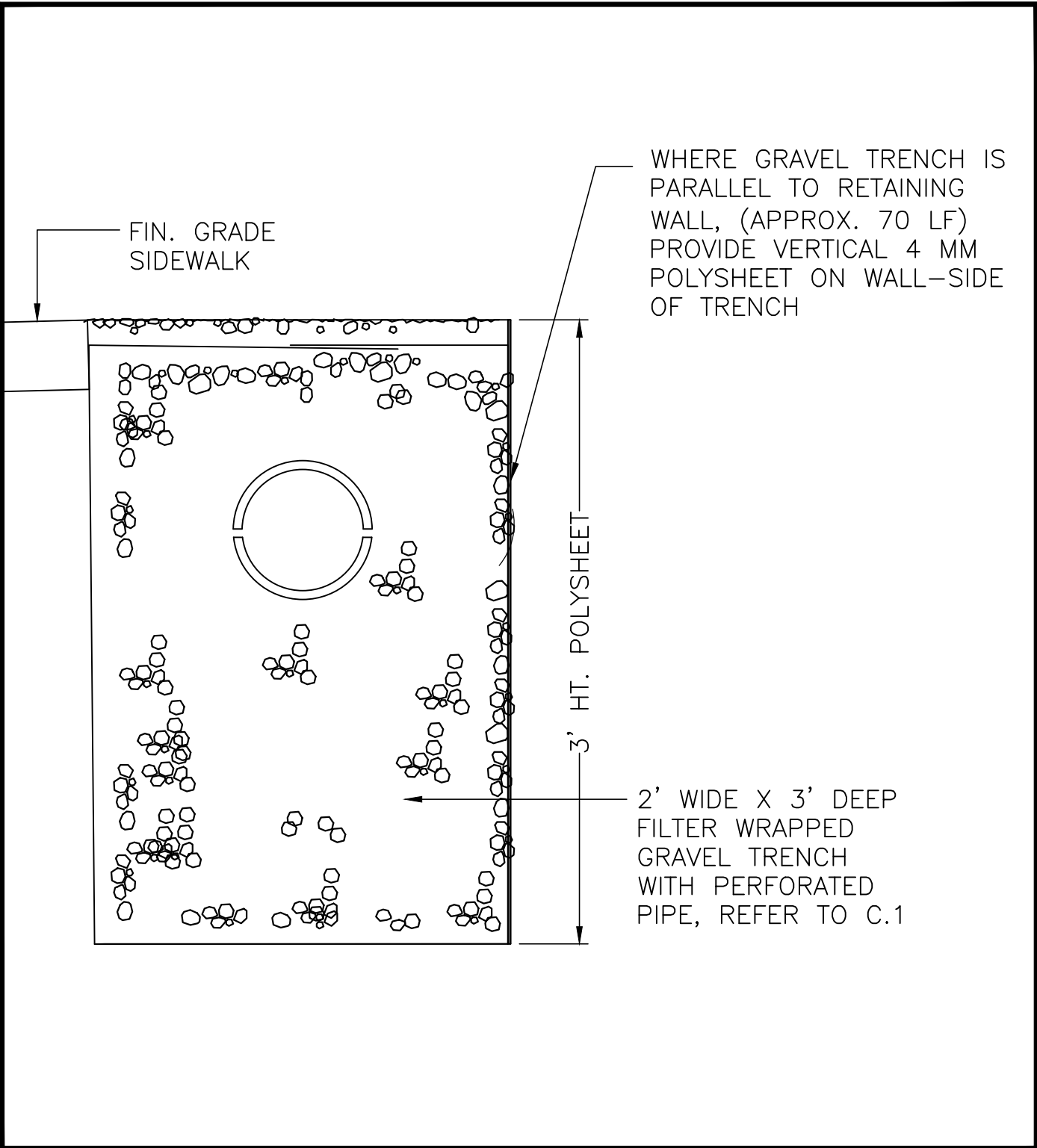
A GLOBAL STABILITY ANALYSIS WAS NOT PERFORMED FOR THE WALLS SHOWN ON THESE PLANS.



S.1

<p>REV. #2 REVISED WALL DESIGN PER GRADING REVISIONS 11/27/17 ASC</p> <p>REV. #1 MODIFIED NOTES AND DETAILS PER REVIEW COMMENTS 10/18/17 ASC</p> <p style="text-align: center;">COWESET ENGINEERING</p> <p style="text-align: center;">77 WALNUT STREET, WEST BRIDGEWATER MA - TEL: 508-427-0065, FAX: 508-427-0068</p>	<p>CLIENT: CAROLYN COONEY & ASSOCIATES 13 ELM STREET, MILFORD, MASSACHUSETTS 01757</p> <p>PROJECT: PROPOSED RETAINING WALL ELSIE TURNER FIELD, 425 TRAPELO ROAD., WALTHAM, MASSACHUSETTS</p> <p>SHEET TITLE: RETAINING WALL ELEVATION, LEGEND, NOTES AND DETAILS</p> <p>DATE: OCTOBER 17, 2017</p>	<p>PROJECT No.: 17-134</p> <p>SCALE: AS SHOWN</p> <p style="text-align: right;">SHEET 1 OF 1</p>
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Project Title
 ELSIE TURNER FIELD

Drawing Title
 ADDENDUM #2 – REVISION TO GRAVEL TRENCH DETAIL C.1

Project Number

Drawn By CCC

Scale NTS

Date 12/1/2017

Drawing Number

Carolyn Cooney and Associates
 13 Elm Street, Milford, Massachusetts 01757
 Telephone 508.478.8426, Fax 508.478.8607

Landscape Architecture

SK-1