

THE CITY OF WALTHAM  
MASSACHUSETTS

PURCHASING DEPARTMENT

**Design Services, Winter Street Water System, 2021**

**ADDENDUM NO. 2**

September 14th, 2021

**CHANGES, CORRECTIONS AND CLARIFICATIONS**

The attention of bidders submitting proposals for the above subject project is called to the following addendum to the specifications. The items set forth herein, whether of omission, addition, substitution or clarification are all to be included in and form a part of the proposal submitted. Please acknowledge receipt in your Cover letter.

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**ITEM 1: ANSWERS TO POSED QUESTIONS**

**Q1)** – Does the city have a rough construction estimate for the project?

**A1)** – **The rough estimate of construction costs at this point in time is approximately \$3 million.**

**Q2)** – In the first paragraph under task 1: Existing Conditions Plans it list all the things that must be located. Please confirm that those items are only within the limits of work which per the second paragraph is 10' beyond the limits of the right of way.

**A2)** – **On-the-ground survey shall be performed along the areas indicated on Figure 1. The limits of this survey shall extend to 10' beyond the right-of-way for roadways and 10' beyond the boundary of existing easements crossing between Totten Pond Rd and Winter St.**

**Q3)** – Task 1 – Existing Condition Plans: Is there any easement near #225 Winter Street where the water main transitions from one section of Winter Street to another?

**A3)** – **The accepted right-of-way for Winter St extends through this portion. Sheets of the record layout plan are attached.**

**Q4)** - Also, there is a requirement for the consultant to document an As-Built Survey as noted below:

“Upon completion of construction activity, consultant shall remobilize to the project area and re-survey the project area to update the original existing conditions plan with the new construction.”

Since the construction contract end date will be unknown at this time, can costs be included as an allowance for this activity? Or will the construction contract include an as-built survey of conditions?

**A4) – All costs associated with re-mobilization to the project area to document the as-built survey shall be considered included within the lump sum price given for Task 1. No allowance will be made for this requirement. Updating the existing conditions plans to as-builts shall also include incorporating notes and other information included in the set of red-lined drawings completed by the contractor. All red-lined drawings shall be provided to the consultant upon the completion of construction activity.**

**Q5) – Task 2 – Design Service: Are there any known archaeological sites in the project area and/or any reports on them?**

**A5) – No, there are no known archaeological sites within the project area.**

**Q6) – Task 2 – Design Service: What is the diameter, depth, and nature of the culvert near Totten Pond Road that the new 12" HP water main is to cross?**

**A6) – Records indicate the culvert is comprised of 3 – 30" diameter reinforced concrete pipes. Record plans of City owned utilities within the project area are attached within this Addenda. Profiles are shown however it is the responsibility of the consultant to field verify all design critical information.**

**Q7) – Do you have sewer profiles or existing Geotech info that can be shared where the new water line is to be installed (Glen Circle, Totten Pond Rd, Lincoln etc.,)? If available we can opt to use that info rather than do new geo-tech borings. If existing info gives an idea of sub-surface geology then it can be used as a guide and when the bid goes out, a unit price line item can be put in for ledge or rock.**

**A7) – The presence of ledge is only sometimes indicated on the record profile drawings provided within this addendum. Consultant shall plan on conducting geotechnical borings along the proposed 12" water main corridor and other locations where utilities are proposed to be replaced to verify the presence of ledge or other unsuitable soil conditions.**

**Q8) – Does the City wish to specify standard cement lining of the existing water mains or use structural lining?**

**A8) – The City would like to specify standard cement lining of existing water mains within the project area.**

**Q9) – What level of support is the City looking for during construction and what amount of hours should be assumed?**

**A9) – The City will require full time construction observation and construction administration services under this project. Under Task 3, each proposal shall include 2,200 hours of construction observation and 700 hours of construction administration.**

**Q10) – How will Police Details be coordinated and paid for?**

**A10) – Included within this addendum is an updated price form that includes an allowance for police details needed to perform the design services within the scope of work. The Consultant shall be responsible for coordinating all police details. Police details shall be paid directly by the Consultant. The Consultant shall submit copies of paid police detail invoices to the City monthly for reimbursement under this allowance. Any costs associated with police details not associated directly with this scope of work or**

charges incurred from failure to cancel details in advance shall not be eligible for reimbursement under this allowance.

**Q11)** – Under the Technical Proposal Paragraph 8, #5, the RFP states to include hourly staffing rates, should this only be included in the Price Proposal?

**A11)** – **Do not include any Hourly Staffing Rate Pricing in your Technical Proposal. All expenses should be included in the bottom-line price so all of your costs are in the price proposal.**

**Q12)** – Will the street opening fee be waived to conduct geotechnical borings?

**A12)** – **Yes.**

**Q13)** – What is the scope of the roadway reconstruction, does it include new sidewalks and curbing?

**A13)** – **The roadway reconstruction will be evaluated to improve the drainage characteristics of the road. Resetting curbing may be done as required depending on changes in grade. The roadway reconstruction does not include new curbing or sidewalks.**

**Q14)** – Can the City provide the geotechnical report for the work being completed on the site of the new high school?

**A14)** – **This information shall be provided to the successful Consultant once a design agreement is in place, but the City does not want the Consultant to rely upon this information.**

**Q15)** – Due to the proximity of the work being conducted at the site of the new high school with Glen Cir, Lincoln St Ext, and Lincoln Terrace can the City provide the construction stormwater/groundwater management plan for that site as well what the permanent design will be when the high school site work is complete? Are the current detention ponds lined and/or will they be in the future?

**A15)** – **This information shall be provided to the successful Consultant once a design agreement is in place.**

**Q16)** – It appears that the required drainage design goes beyond typical stormwater runoff and will need to address groundwater. Is it the expectation that the project limit of the drainage design on Glen Cir, Lincoln St Ext, and Lincoln Terrace extend beyond the ROW to address other water point sources (other than stormwater runoff), i.e. sump pumps, retaining walls, or any visual conduit discharging to the street?

**A16)** – **The intent of the drainage design is to provide positive drainage on the streets so any stormwater flow onto the street will be efficiently captured by the new drain system.**

**Q17)** - Does the City have any records of which houses in the project area have sump pumps?

**A17)** – **The City has responses to a 2013 Sump Pump Amnesty program in which homeowners could report if they had a sump pump. Results of this survey will be made available to the successful Consultant. Design of removal or relocation of sump pump discharge shall not be included within the scope of services. The Consultant shall notify the City if sump pump connections are found as a result of**

research and investigation. The City may attach design drawings and specifications (done by others) to the final construction package to be included within the construction bid.

**Q18)** – To complete the design of the lining of the sewers, we'll want to CCTV the lines. Does the City have a place to dispose of any debris, if cleaning is required for CCTV? Or has the City already CCTV'd the sewer pipes located in the project area?

**A18)** – The City has 2019 CCTV footage of the sewer and drain main along Glen Circle which will be made available to the successful Consultant. The Consultant shall still be responsible to perform CCTV inspections of all sewer mains to be lined and of drainage systems called out to be reviewed including Glen Circle. The City does not maintain an area for disposal of debris removed from either the stormwater or sanitary sewer systems. Consultant shall be responsible for the lawful removal, handling, and disposal of all material removed as part of CCTV inspections.

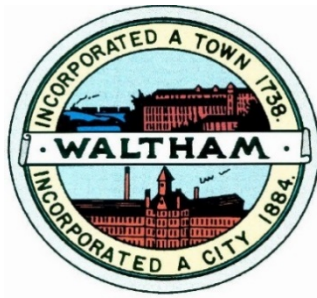
**ITEM 2: DELETE AND REPLACE**

**DELETE** Price Proposal on Page 39 of the original RFB and **REPLACE** with the Attached Revised Price Proposal.

**ITEM 3: ADD**

**ADD** Attachment 1 for Reference "Record Plans."

**End of Addendum 2**



**PRICE PROPOSAL**  
**Winter Street Water System Design**  
**Waltham, Massachusetts**

September 23, 2021

Price Proposal shall be all inclusive, including all expenses, supplies, materials, travel costs and any other expenses necessary for furnishing services and deliverables as specified in the scope of work as described in the Duties and Responsibilities.

**Task 1 - Existing Conditions Plans**

\_\_\_\_\_ \$ \_\_\_\_\_  
(In Words) (In Figures)

**TASK 2 – Design Services**

\_\_\_\_\_ \$ \_\_\_\_\_  
(In Words) (In Figures)

**TASK 3 – Construction Phase**

\_\_\_\_\_ \$ \_\_\_\_\_  
(In Words) (In Figures)

**Allowance – Police Details:**

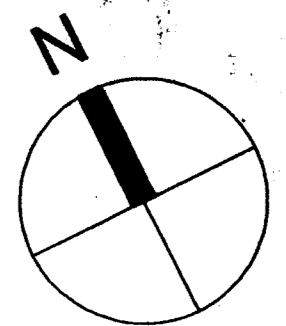
Twenty Thousand Dollars \$ 20,000  
(In Words) (In Figures)

**BASE PROPOSAL TOTAL (TASKS 1 ,2 & 3 + Police Details Allowance):**

\_\_\_\_\_ \$ \_\_\_\_\_  
(In Words) (In Figures)

**Company Name:** \_\_\_\_\_

**Date of Proposal:** \_\_\_\_\_



Smart Street  
(Public-40' Wide)

Winter Street  
(Public-40' Wide)

Malvern Street  
(Public-40' Wide)

3A  
N/F  
of Waltham  
2516 Page 1 of 2

VETERAN'S MEMORIAL RINK  
1 STORY CONCRETE  
#295 TOTTEN POND ROAD  
FIRST FLOOR ELEVATION 71.0'

1  
N/F  
of Shirley  
11-28-90  
11-28-90  
Page 2 of 2

A1  
32  
N/F  
Michael A.  
Nicholson  
11-28-90  
11-28-90  
Page 3 of 3

2B  
32  
N/F  
Arthur E. &  
Ma M. Chandonoff

BENCHMARK  
1/4" = 1' Scale  
Elevation of 124.71 (N.G.V.D.)

PROJECT BENCHMARK  
1/4" = 1' Scale  
Elevation of 124.71 (N.G.V.D.)

Pond  
(Public-60' Wide)  
\*\* 1960 County Layout \*\*

| LEGEND    |                             |
|-----------|-----------------------------|
| FA        | FIRE ALARM                  |
| FP        | FLAG POLE                   |
| GB        | GRANITE BOUND w/ DRILL HOLE |
| S         | SIGN                        |
| WG        | WATER GATE                  |
| FA        | FLOW ARROW                  |
| H         | HYDRANT                     |
| G         | GAS METER                   |
| UP        | UTILITY POLE                |
| UL        | UTILITY POLE w/ LIGHT       |
| CB        | CATCH BASIN                 |
| RCB       | RECORD CATCH BASIN          |
| DM        | DRAIN MANHOLE               |
| RDM       | RECORD DRAIN MANHOLE        |
| SM        | SEWER MANHOLE               |
| SSM       | SPOT ELEVATION LOCATION     |
| 100.00    | ELEVATION                   |
| 100.00B   | BOTTOM OF BERM              |
| 100.00T   | TOP OF BERM                 |
| 100.00C   | BOTTOM OF CURB              |
| 100.00T   | TOP OF CURB                 |
| 100.00BS  | BOTTOM OF BOTTOM STEP       |
| 100.00TS  | TOP OF BOTTOM STEP          |
| 100.00BS  | BOTTOM OF TOP STEP          |
| 100.00TS  | TOP OF TOP STEP             |
| 100.00W   | BOTTOM OF WALL              |
| 100.00TW  | TOP OF WALL                 |
| 100.00WB  | BOTTOM OF WALK              |
| 100.00TWB | TOP OF WALK                 |
| BT        | BITUMINOUS BERM             |
| BC        | BITUMINOUS CONCRETE         |
| CI        | CAST IRON                   |
| CU        | CONTINUATION UNKNOWN        |
| F         | FOUND                       |
| FM        | FORCE MAIN                  |
| GC        | GRANITE CURB                |
| HAT       | HUB AND TACK                |

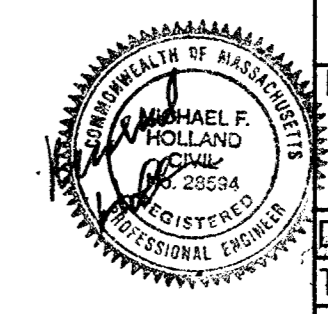
| UTILITY LEGEND |                |
|----------------|----------------|
| S              | SEWER          |
| D              | DRAIN          |
| W              | WATER          |
| G              | GAS            |
| E              | ELECTRIC       |
| T              | TELEPHONE      |
| OH             | OVERHEAD WIRES |

| PROPOSED LEGEND |                              |
|-----------------|------------------------------|
| S               | SEWER                        |
| D               | DRAIN                        |
| W               | WATER                        |
| G               | GAS                          |
| E               | ELECTRICITY                  |
| C               | PROPOSED CONTOUR             |
| SP              | PROPOSED SPOT GRADE          |
| 124.0           | CATCH BASIN                  |
| 124.0           | SEWER MANHOLE                |
| CP              | CONCRETE PIPE                |
| CI              | CAST IRON PIPE               |
| RC              | REINFORCED CONCRETE PIPE     |
| RD              | REINFORCED DUCTILE IRON PIPE |
| CL              | CLUMP                        |

GENERAL NOTES:

- SEVENTY-TWO (72) HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DISSAFE AND UTILITY COMPANIES AS REQUIRED.
- UNLESS OTHERWISE NOTED, PIPE MATERIALS ARE AS FOLLOWS:  
A. WATER: CLASS 52 DUCTILE IRON MECHANICAL JOINTS AT DEAD END RUNS AND WHERE SLOPES EXCEED 10%. PUSH-ON JOINTS ELSEWHERE.  
B. SANITARY GRAVITY SEWER: PVC (SDR-35)  
C. STORM DRAIN: CORRUGATED POLYETHYLENE (ADS N-12)
- SANITARY SEWERS ARE 12" DIAMETER UNLESS OTHERWISE NOTED ON SHEETS C4.1 AND C4.2.
- CONTRACTOR MUST CONTACT THE WALTHAM CITY PLUMBING INSPECTOR AND THE MWRA PRIOR TO CONSTRUCTION OF THE OIL-WATER SEPARATOR.

|  |                         |                |
|--|-------------------------|----------------|
| PROJECT NO. MDC 953 CONTRACT NO. 1   |                         |                |
| RENOVATIONS & ADDITIONS TO VETERAN'S MEMORIAL RINK   |                         |                |
| THE COMMONWEALTH OF MASSACHUSETTS<br>DIVISION OF CAPITAL PLANNING AND OPERATIONS<br>OFFICE OF FACILITIES MANAGEMENT                  |                         |                |
| GRADING & UTILITIES PLAN   |                         | DRAWING NO.    |
| DIVISION OF CAPITAL PLANNING AND OPERATIONS<br>OFFICE OF FACILITIES MANAGEMENT<br>ONE ASHBURTON PLACE<br>BOSTON, MASSACHUSETTS 02108 |                         | L-4<br>117-001 |
| SCALE: 1" = 20'  | DATE: November 14, 1996 |                |
| DRAWN: K.T.  | CHECKED: B.W.           |                |



P:\1995\95098\DWG\SITE\C5098L4 11-7-96 5:58:49







620'621

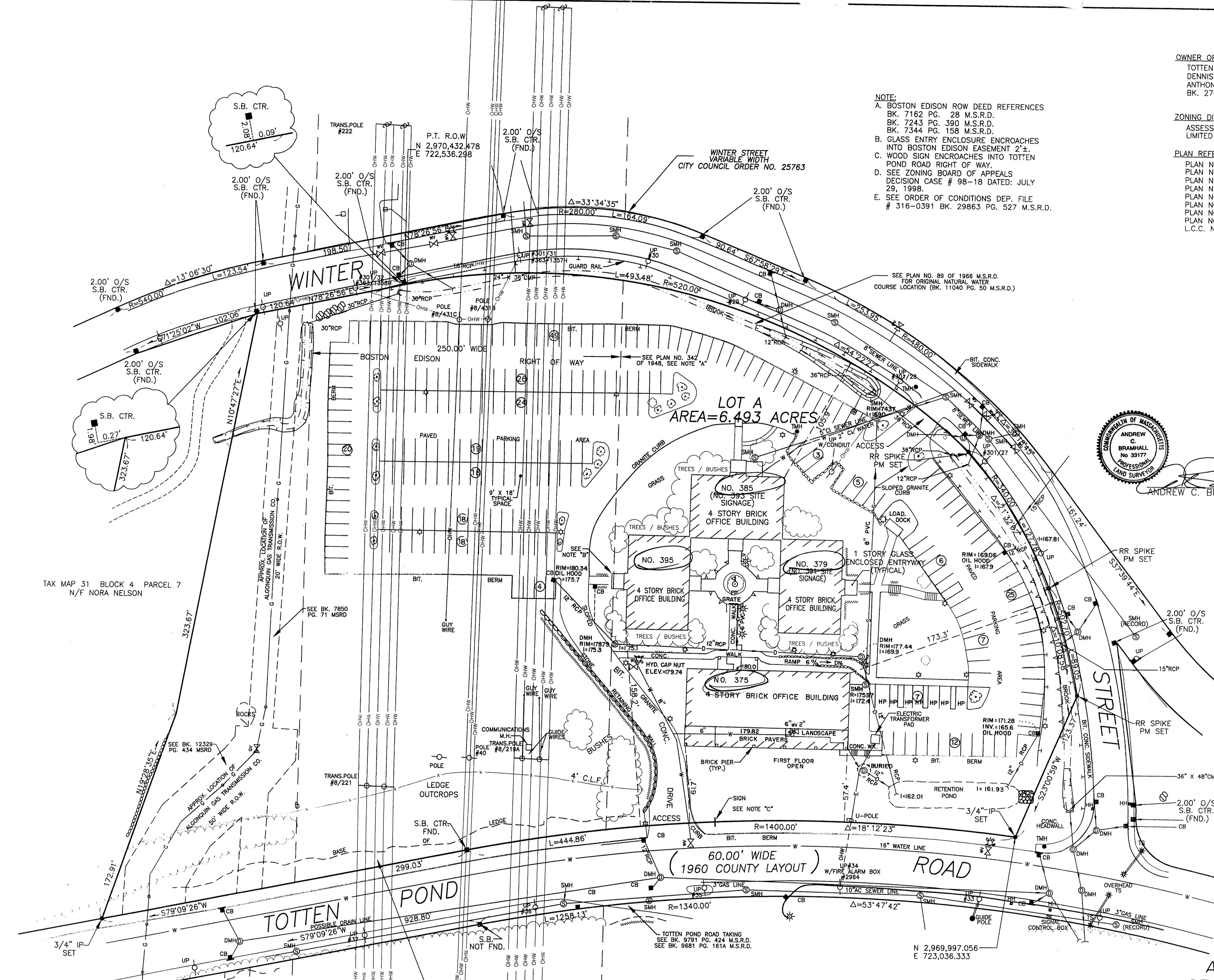
MASSACHUSETTS  
STATE PLANE  
COORDINATE SYSTEM

OWNER OF RECORD  
TOTTEN POND NOMINEE TRUST  
DENNIS SARGENT &  
ANTHONY J. LACAVA, JR. TRUSTEES  
BK. 27075 PG. 529

ZONING DISTRICT  
ASSESSORS TAX MAP 31 BLOCK 4 PARCEL 8  
LIMITED COMMERCIAL

PLAN REFERENCES  
PLAN NO. 342 OF 1948 M.S.R.D.  
PLAN NO. 26 OF 1952 M.S.R.D.  
PLAN NO. 1446 OF 1960 M.S.R.D.  
PLAN NO. 148 OF 1961 M.S.R.D.  
PLAN NO. 89 OF 1966 M.S.R.D.  
PLAN NO. 1427 OF 1972 M.S.R.D.  
PLAN NO. 1428 OF 1972 M.S.R.D.  
PLAN NO. 947 OF 1985 M.S.R.D.  
L.C.C. NO. 26543A

NOTE:  
A. BOSTON EDISON ROW DEED REFERENCES  
BK. 7182 PG. 28 M.S.R.D.  
BK. 7243 PG. 390 M.S.R.D.  
BK. 7344 PG. 158 M.S.R.D.  
B. GLASS ENTRY ENCROACHES INTO BOSTON EDISON EASEMENT 2'±.  
C. WOOD SIGN ENCROACHES INTO TOTTEN POND ROAD RIGHT OF WAY.  
D. SEE ZONING BOARD OF APPEALS DECISION CASE # 98-18 DATED: JULY 29, 1998.  
E. SEE ORDER OF CONDITIONS DEP. FILE # 316-0391 BK. 29863 PG. 527 M.S.R.D.



ANDREW C. BRAMHALL P.L.S.

2/1/00  
DATE

- LEGEND
- ⊗ - WATER GATE
  - ⊙ - LIGHT POLE
  - ⊕ - HYDRANT
  - ⊖ - UTILITY POLE
  - ⊗ - SEWER MANHOLE
  - ⊙ - DRAIN MANHOLE

RECEIVED  
FEB 03 2000  
Engineering Dept.

ASBUILT PLAN  
OF LAND LOCATED AT  
375-395 TOTTEN POND ROAD  
WALTHAM, MASS.

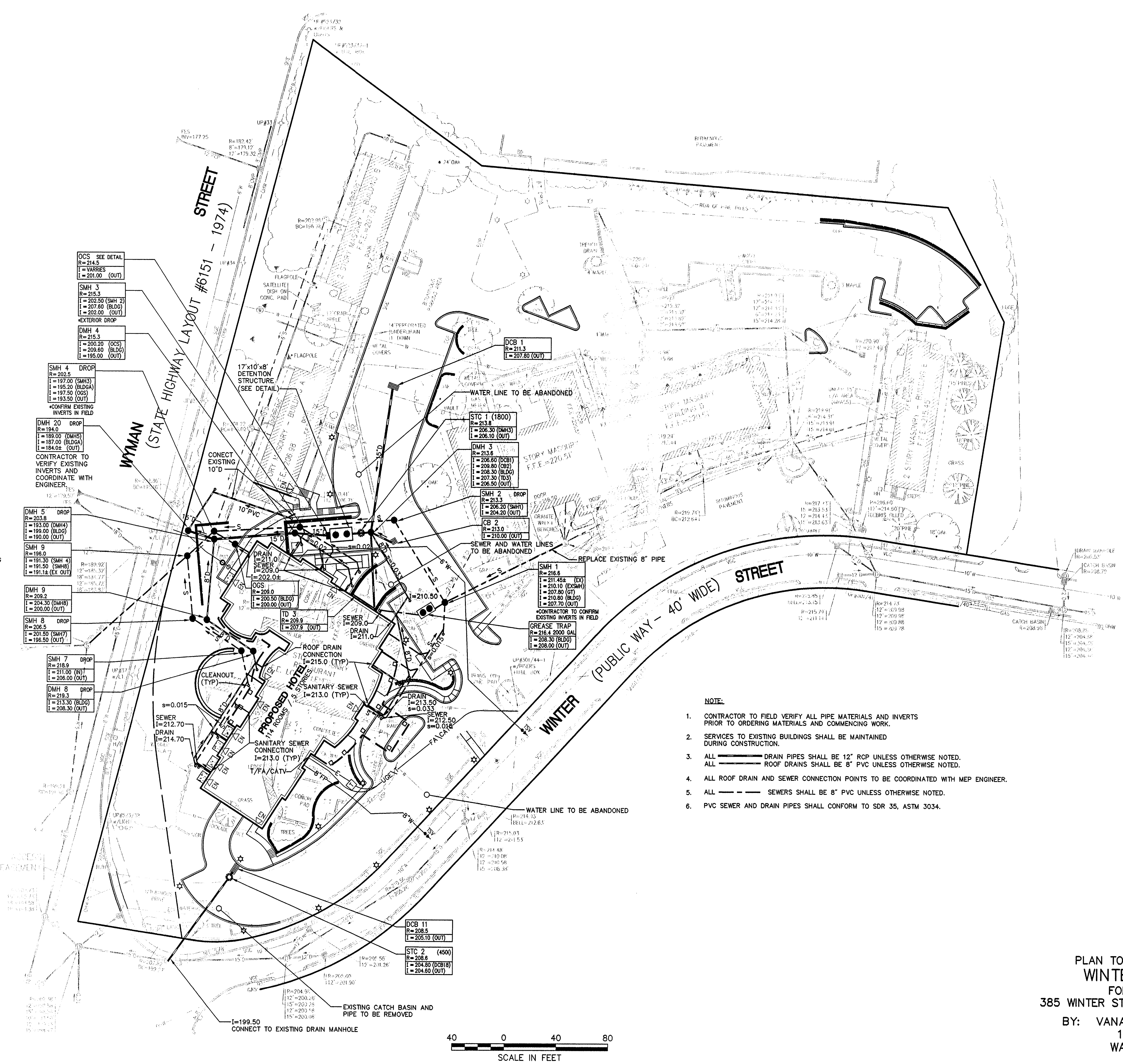
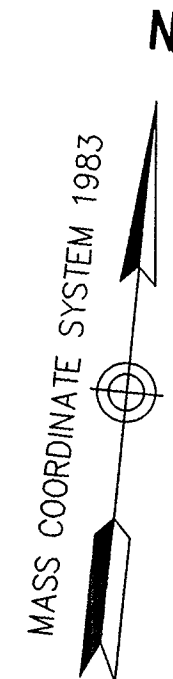
SCALE: 1" = 40'  
BENCHMARK SURVEY  
STONEHAM, MASS. 02180  
(781) 279-9109

840.1.DWG 40 20 0 40 80 120 160

NOTE:  
STATE PLANE COORDINATE SYSTEM BASED ON  
PLAN BY VANESSE HAGIN & BRESLIN ENTITLED  
SITE UTILITY LAYOUT PLAN C 2  
SCALE: 1" = 40' DATED JULY 1996  
FOR THE SUISSE CHALET WINTER STREET  
WALTHAM, MASS.

TOTTEN POND ROAD  
CONSTRUCTION & SLOPE EASEMENT  
CITY COUNCIL ORDER NO. 19983  
DATED: JANUARY 24, 1991

NOTE:  
BUILDING NO. 391 TOTTEN POND ROAD (BY SITE SIGNAGE) IS SHOWN  
AS NO. 379 TOTTEN POND ROAD BASED ON CITY OF WALTHAM ASSESSORS  
RECORDS.  
BUILDING NO. 393 TOTTEN POND ROAD (BY SITE SIGNAGE) IS SHOWN  
AS NO. 385 TOTTEN POND ROAD BASED ON CITY OF WALTHAM ASSESSORS  
RECORDS.  
PARKING SPACES SHOWN ARE APPROXIMATE  
TOTAL=261± (SITE UNDER SNOW COVER)



REPLACE EXISTING CLAY SEWERS PRIOR TO MAKING NEW CONNECTIONS. CONTRACTOR TO CONFIRM MATERIALS.

- NOTE:**
1. CONTRACTOR TO FIELD VERIFY ALL PIPE MATERIALS AND INVERTS PRIOR TO ORDERING MATERIALS AND COMMENCING WORK.
  2. SERVICES TO EXISTING BUILDINGS SHALL BE MAINTAINED DURING CONSTRUCTION.
  3. ALL **———** DRAIN PIPES SHALL BE 12" RCP UNLESS OTHERWISE NOTED. ALL **———** ROOF DRAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
  4. ALL ROOF DRAIN AND SEWER CONNECTION POINTS TO BE COORDINATED WITH MEP ENGINEER.
  5. ALL **———** SEWERS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
  6. PVC SEWER AND DRAIN PIPES SHALL CONFORM TO SDR 35, ASTM 3034.



| No. | Revision          | Date    | Appr'd |
|-----|-------------------|---------|--------|
| 1   | REV DOOR LOC/ELEV | 5/29/01 | NA     |

Designed by \_\_\_\_\_ Drawn by \_\_\_\_\_ Checked by \_\_\_\_\_  
 CAD checked by \_\_\_\_\_ Approved by \_\_\_\_\_  
 Scale 1"=40' Date 4/23/01  
 Project Title

## Marriott Courtyard

Waltham, Massachusetts  
 Issued For \_\_\_\_\_

Not for Construction  
 Drawing Title

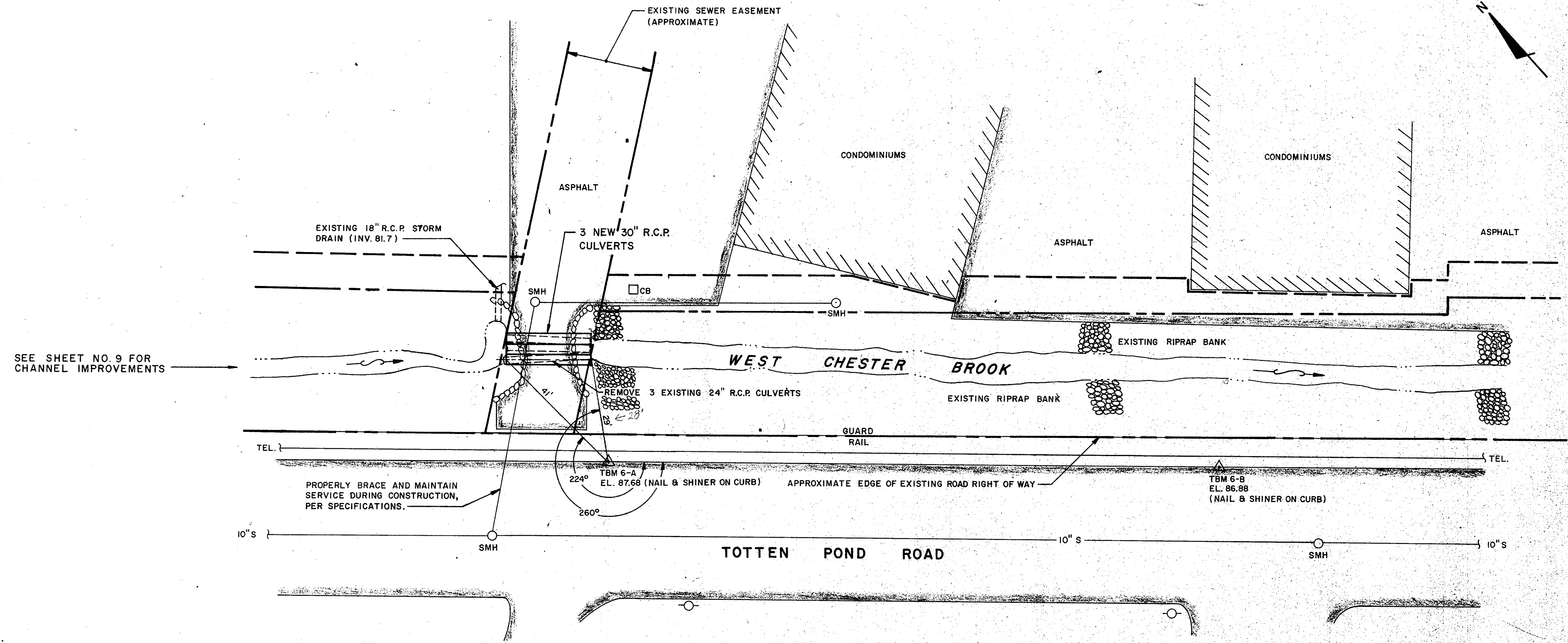
## Utility Plan

PLAN TO ACCOMPANY PETITION OF  
 WINTER STREET TRUST  
 FOR SPECIAL PERMIT AT  
 385 WINTER STREET, WALTHAM, MASSACHUSETTS  
 BY: VANASSE HANGEN BRUSTLIN, INC.  
 101 WALNUT STREET  
 WATERTOWN, MA 02471

CITY COUNCIL ORDER NO. \_\_\_\_\_ APPROVED \_\_\_\_\_  
 DISAPPROVED \_\_\_\_\_

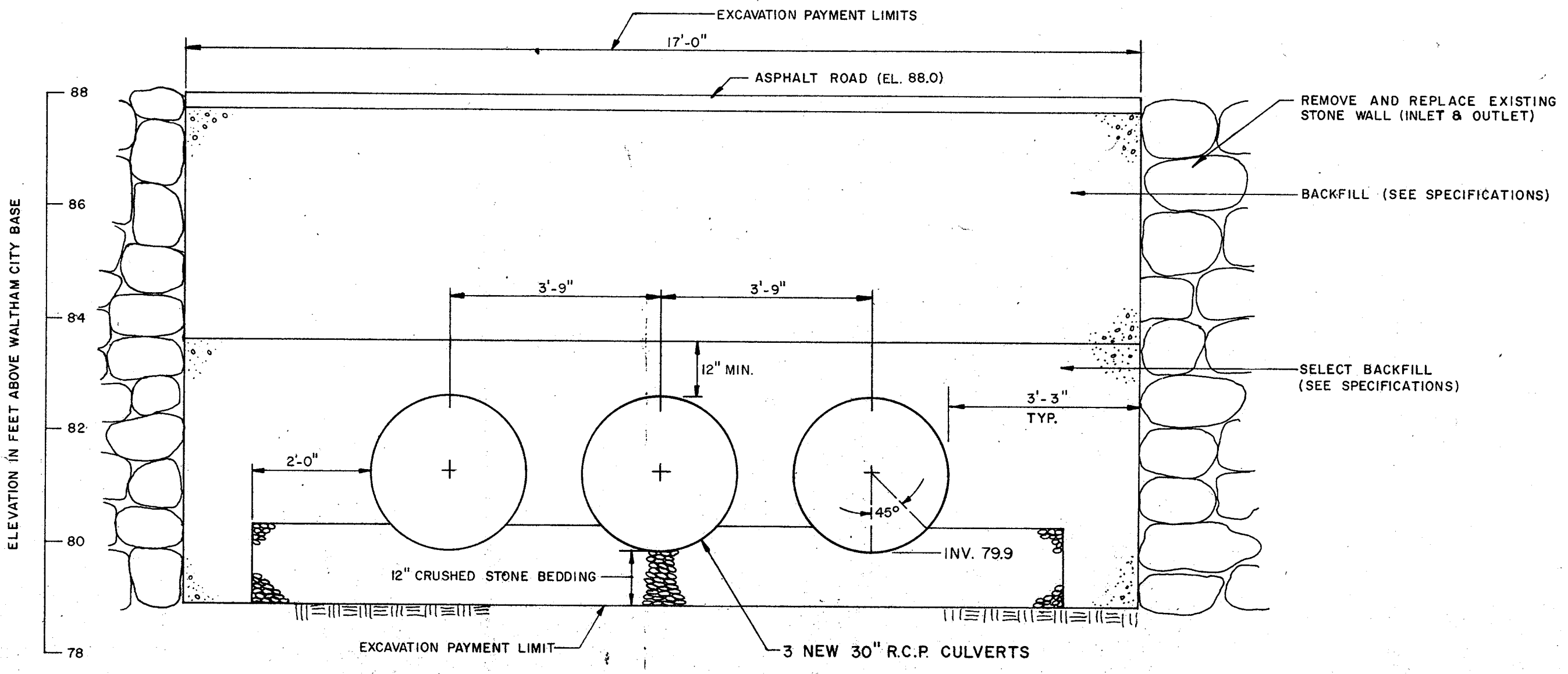
Drawing Number  
**C-7**  
 Sheet of 8 12  
 Project Number  
 06683

929.771



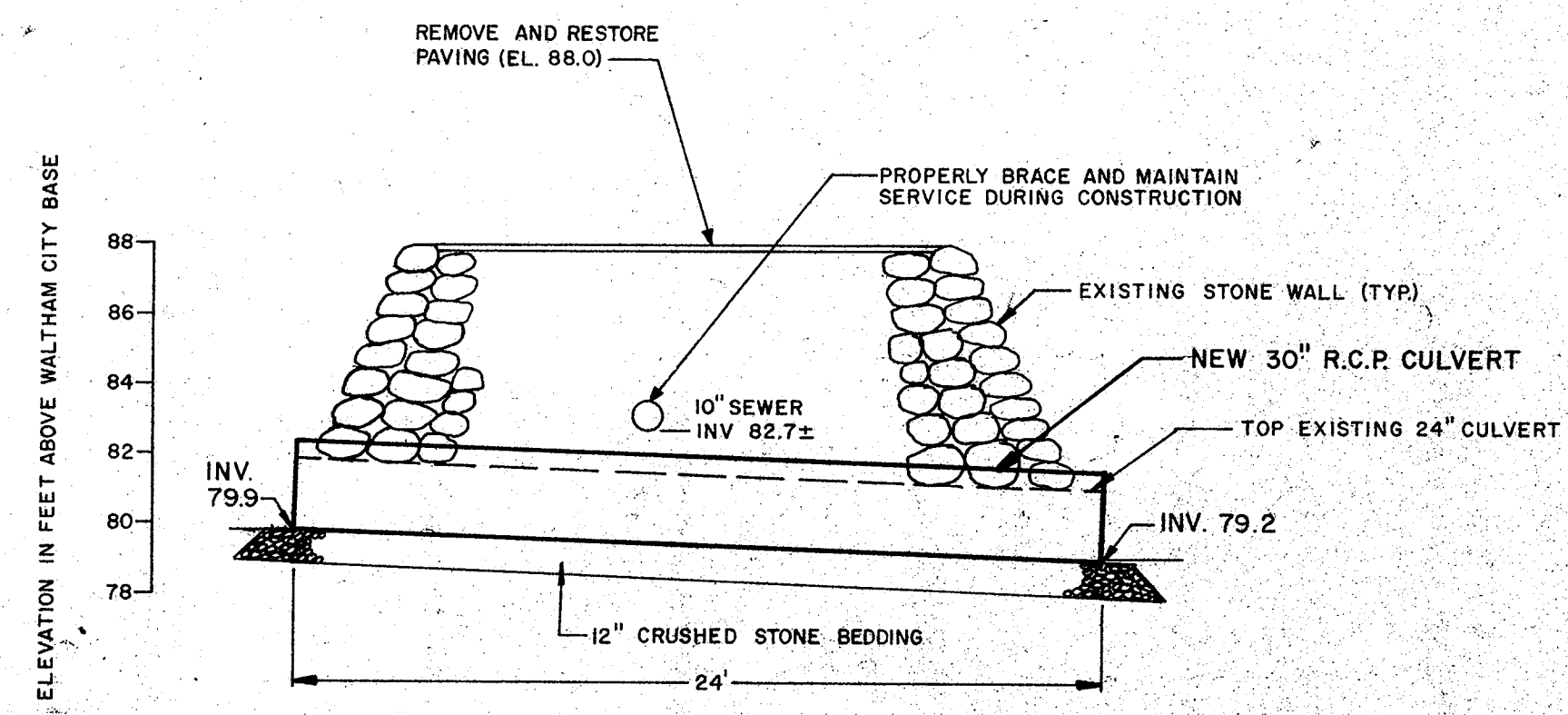
**PLAN**

SCALE: 1" = 20'



**CULVERT INLET**

SCALE: 1" = 2'



**CULVERT PROFILE (TYPICAL)**

SCALE: 1" = 5'

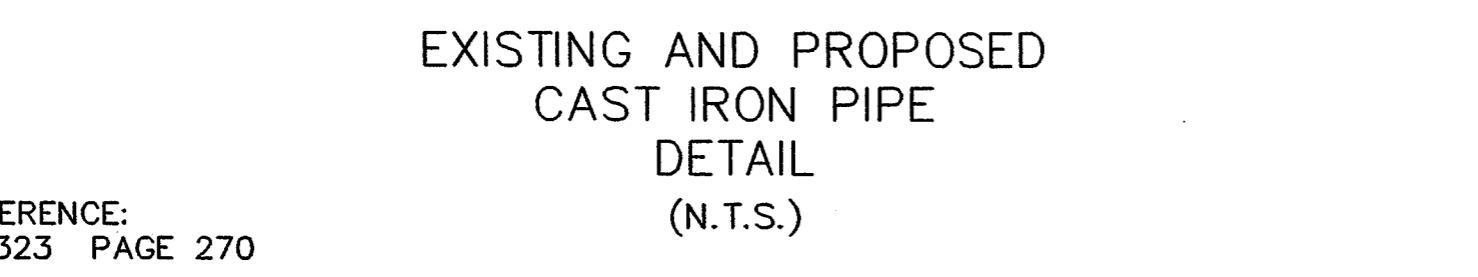
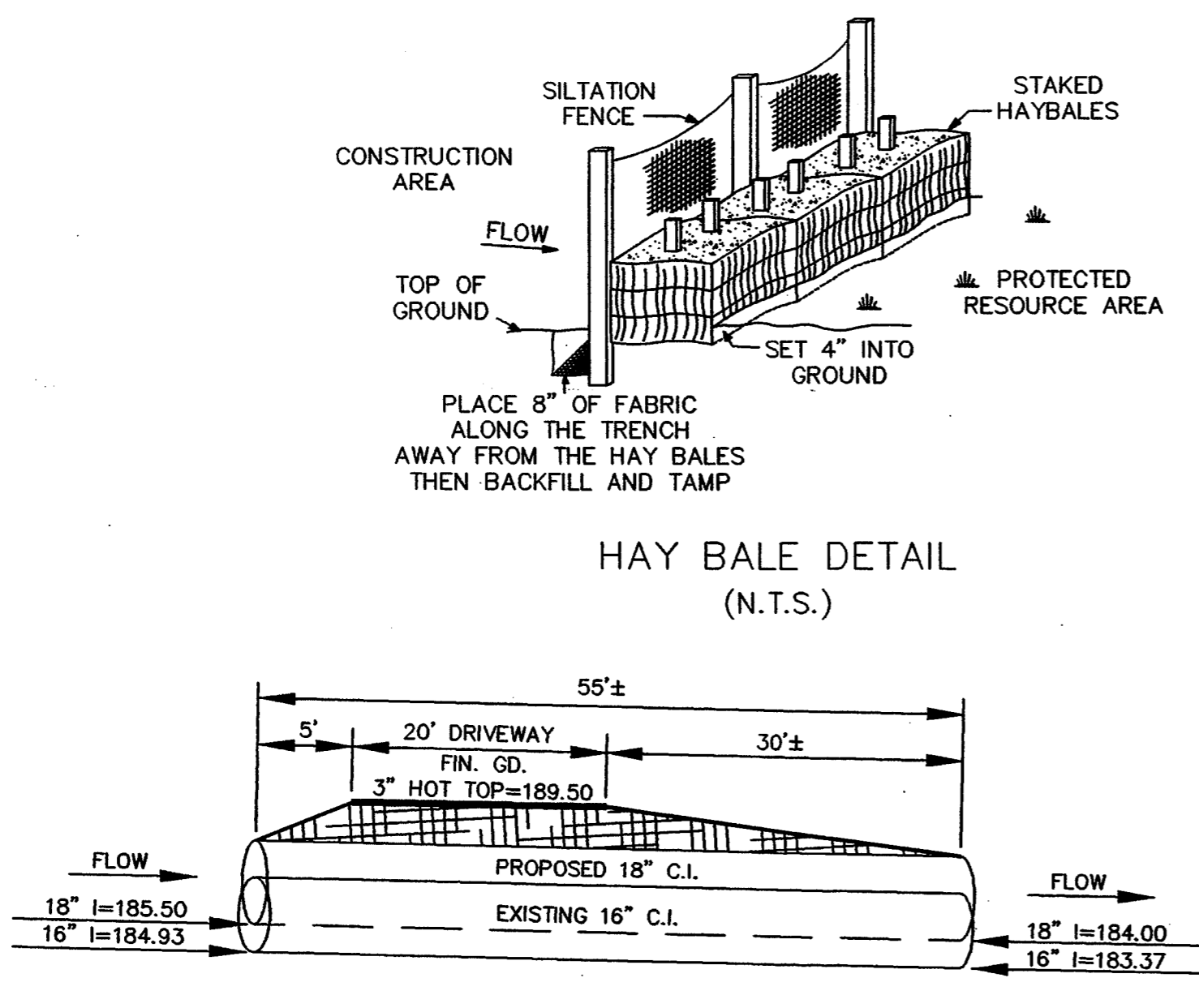
NOTE:  
1. SEE SHEET NO. 1 FOR GENERAL NOTES AND LEGEND.

|  |  |  |               |
|--|--|--|---------------|
| <b>MAGUIRE</b><br>Architects - Engineers - Planners<br>CE MAGUIRE, INC. WALTHAM, MASSACHUSETTS |  | City of Waltham, Massachusetts   |               |
| DESIGNED: J.D.P.<br>DRAWN: L.J.C.<br>CHECKED: E.A.R.<br>PROJ. MGR.: J.D.P.<br>SUBMITTED:       |  | <b>WEST CHESTER BROOK</b><br>IMPROVEMENTS AT THE SEWER<br>EASEMENT ALONG TOTTEN POND RD. |               |
| APPROVED:  |  | DATE JULY, 1981  | SHEET 8 OF 12 |
|  |  | PROJECT NO. W-7  |               |

144.026

144-035

MASS. COORD. SYSTEM NAD 83  
MAP DATE  
SEE CITY OF WALTHAM PLAN #134-020



DEED REFERENCE:  
BOOK 10,323 PAGE 270

PLAN REFERENCES:  
PLAN OF LAND  
IN WALTHAM, MA  
BY DAVID E. DENNY, P.L.S.  
DATED JUNE 13, 2003

AS-BUILD PLAN OF LAND  
LOCATED AT 375-395  
TOTTEN POND ROAD  
WALTHAM, MASS.  
BY BENCHMARK SURVEY  
ANDREW C. BRAMHALL, P.L.S.  
DATED JANUARY 24, 2000

ACTUAL SURVEY INCLUDING LOCATION OF BUILDINGS,  
FEATURES, BROOK, B.V.W., TOPOGRAPHY, ETC. WAS  
PERFORMED BY DENNY LAND SURVEYING,  
16 QUEENSBERRY STREET, BOSTON, MA

PROPERTY LOCATED IN LIMITED COMMERCIAL ZONE.

MAP 31 BLOCK 4 LOT 7

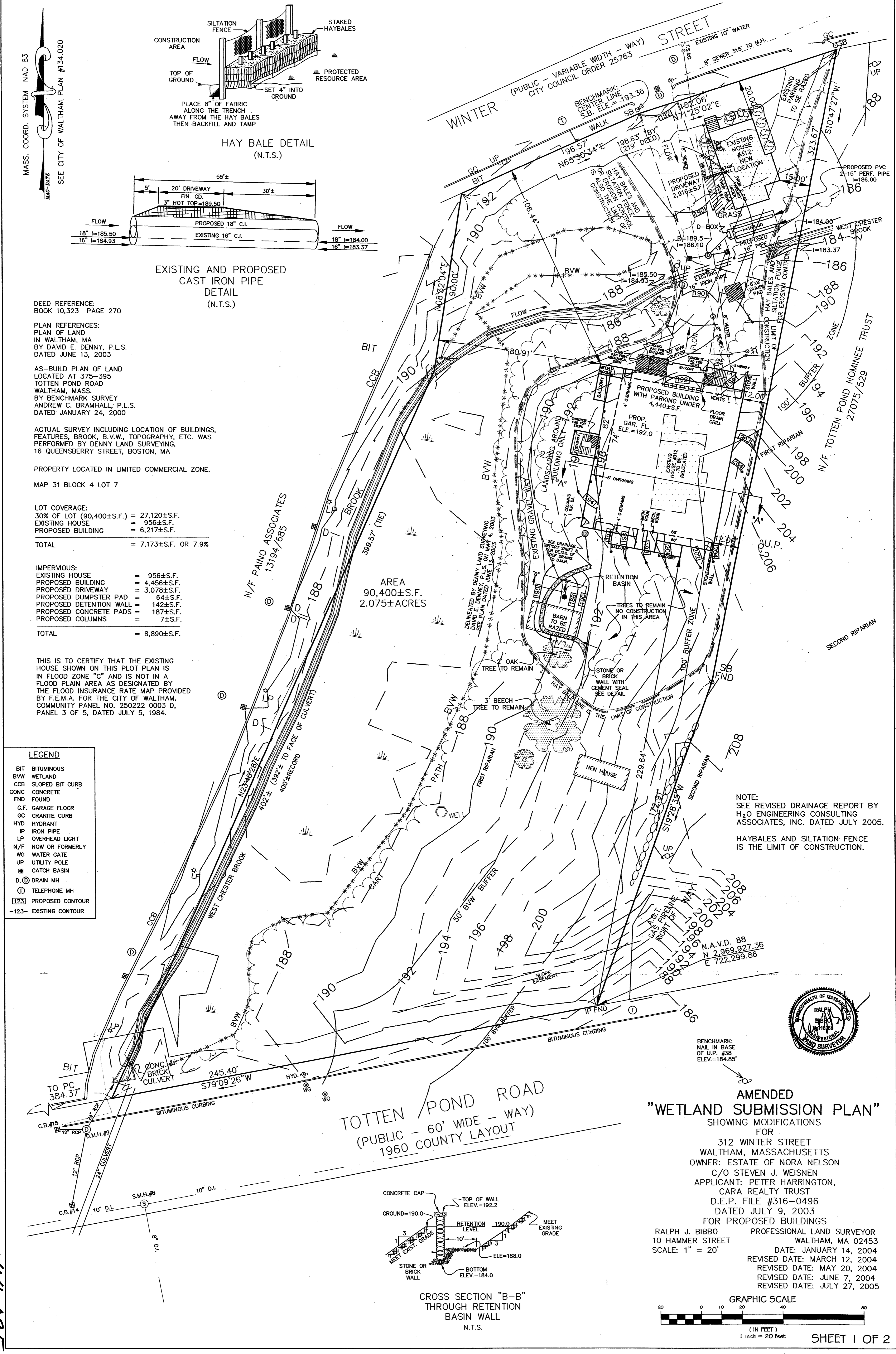
LOT COVERAGE:  
30% OF LOT (90,400±S.F.) = 27,120±S.F.  
EXISTING HOUSE = 956±S.F.  
PROPOSED BUILDING = 6,217±S.F.  
TOTAL = 7,173±S.F. OR 7.9%

IMPERVIOUS:  
EXISTING HOUSE = 956±S.F.  
PROPOSED BUILDING = 4,456±S.F.  
PROPOSED DRIVEWAY = 3,078±S.F.  
PROPOSED DUMPSTER PAD = 64±S.F.  
PROPOSED DETENTION WALL = 142±S.F.  
PROPOSED CONCRETE PADS = 187±S.F.  
PROPOSED COLUMNS = 7±S.F.  
TOTAL = 8,890±S.F.

THIS IS TO CERTIFY THAT THE EXISTING HOUSE SHOWN ON THIS PLOT PLAN IS IN FLOOD ZONE "C" AND IS NOT IN A FLOOD PLAIN AREA AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP PROVIDED BY F.E.M.A. FOR THE CITY OF WALTHAM, COMMUNITY PANEL NO. 250222 0003 D, PANEL 3 OF 5, DATED JULY 5, 1984.

**LEGEND**

- BIT BITUMINOUS
- BVW WETLAND
- CCB SLOPED BIT CURB
- CONC CONCRETE
- FND FOUND
- G.F. GARAGE FLOOR
- GC GRANITE CURB
- HYD HYDRANT
- IP IRON PIPE
- LP OVERHEAD LIGHT
- N/F NOW OR FORMERLY
- WG WATER GATE
- UP UTILITY POLE
- CATCH BASIN
- D, (D) DRAIN MH
- (T) TELEPHONE MH
- (123) PROPOSED CONTOUR
- 123- EXISTING CONTOUR



NOTE:  
SEE REVISED DRAINAGE REPORT BY  
H2O ENGINEERING CONSULTING  
ASSOCIATES, INC. DATED JULY 2005.

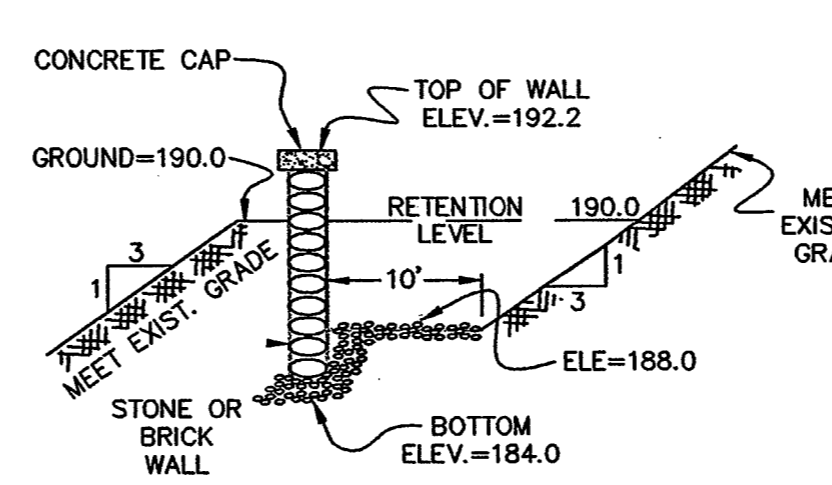
HAYBALES AND SILTATION FENCE  
IS THE LIMIT OF CONSTRUCTION.



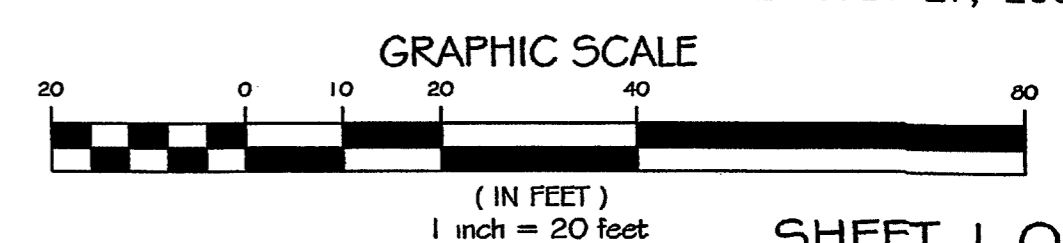
**AMENDED  
"WETLAND SUBMISSION PLAN"**  
SHOWING MODIFICATIONS

FOR  
312 WINTER STREET  
WALTHAM, MASSACHUSETTS  
OWNER: ESTATE OF NORA NELSON  
C/O STEVEN J. WEISNEN  
APPLICANT: PETER HARRINGTON,  
CARA REALTY TRUST  
D.E.P. FILE #316-0496  
DATED JULY 9, 2003  
FOR PROPOSED BUILDINGS

RALPH J. BIBBO PROFESSIONAL LAND SURVEYOR  
10 HAMMER STREET WALTHAM, MA 02453  
SCALE: 1" = 20'  
DATE: JANUARY 14, 2004  
REVISED DATE: MARCH 12, 2004  
REVISED DATE: MAY 20, 2004  
REVISED DATE: JUNE 7, 2004  
REVISED DATE: JULY 27, 2005



CROSS SECTION "B-B"  
THROUGH RETENTION  
BASIN WALL  
N.T.S.



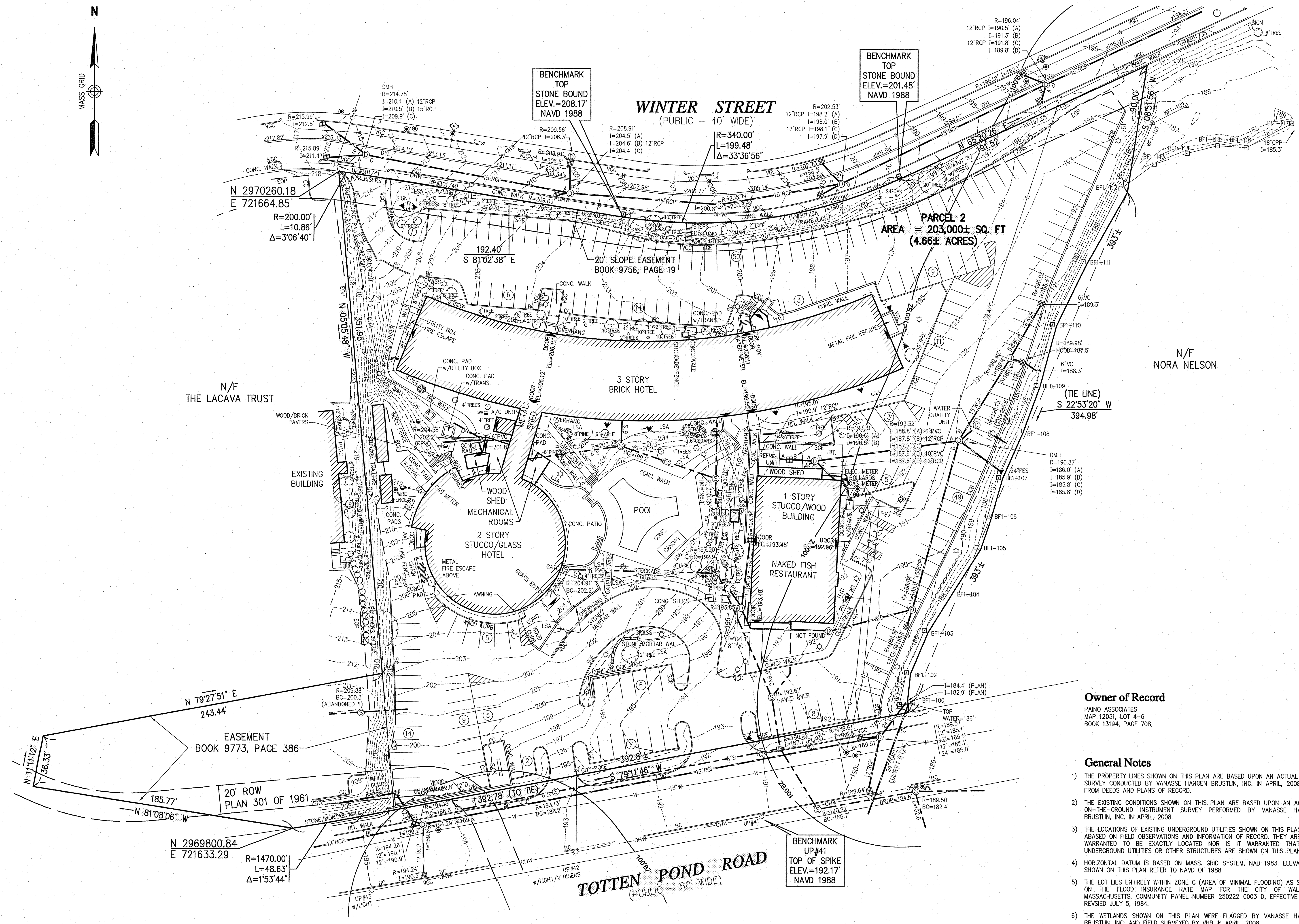
144-035



Vanasse Hangen Brustlin, Inc.

Transportation  
Land Development  
Environmental Services

101 Walnut Street, P.O. Box 9151  
Watertown, Massachusetts 02471-9151  
617 924 1770 • FAX 617 924 2286



**Legend**

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ STREET SIGN
- ⊙ GUARD RAIL
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ MONITORING WELL
- ⊙ FINISHED FLOOR ELEVATION
- ⊙ WELL
- ⊙ EDGE OF PAVEMENT
- ⊙ CONCRETE CURB
- ⊙ VERTICAL GRANITE CURB
- ⊙ SLOPED GRANITE EDGE
- ⊙ BITUMINOUS BERM
- ⊙ BITUMINOUS CURB
- ⊙ GUARD RAIL
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100-FT BUFFER ZONE
- ⊙ 100-FT RIVER FRONT AREA
- ⊙ 200-FT RIVER FRONT AREA
- ⊙ LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LIMIT OF BANK
- ⊙ VEGETATED WETLAND BOUNDARY

| No. | Revision | Date | Apprv. |
|-----|----------|------|--------|
|     |          |      |        |
|     |          |      |        |
|     |          |      |        |

Designed by \_\_\_\_\_ Drawn by \_\_\_\_\_ Checked by \_\_\_\_\_  
 CAD checked by \_\_\_\_\_ Approved by \_\_\_\_\_  
 Scale 1"=30' Date May 7, 2008  
 Project Title \_\_\_\_\_

**Owner of Record**  
 PAINO ASSOCIATES  
 MAP 12031, LOT 4-6  
 BOOK 13194, PAGE 708

**General Notes**

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL, 2008 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL, 2008.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE C (AREA OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF WALTHAM, MASSACHUSETTS, COMMUNITY PANEL NUMBER 250222 0003 D, EFFECTIVE DATE REVISED JULY 5, 1984.
- 6) THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VANASSE HANGEN BRUSTLIN, INC. AND FIELD SURVEYED BY VHB IN APRIL, 2008.
- 7) THE UTILITY INVERT ELEVATIONS ARE LISTED IN A CLOCKWISE DIRECTION WITH THE OUTLET ELEVATION LAST.

Drawing Title  
**Existing Conditions  
Plan of Land**

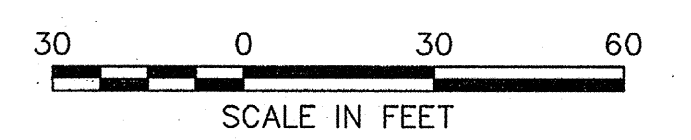
Drawing Number  
**Sv-1**

Project Number  
10505.00

Sheet 1 of 1

Date 5/20/08

Professional Seal: Russell Bousquet, No. 35545, Professional Land Surveyor, State of Massachusetts



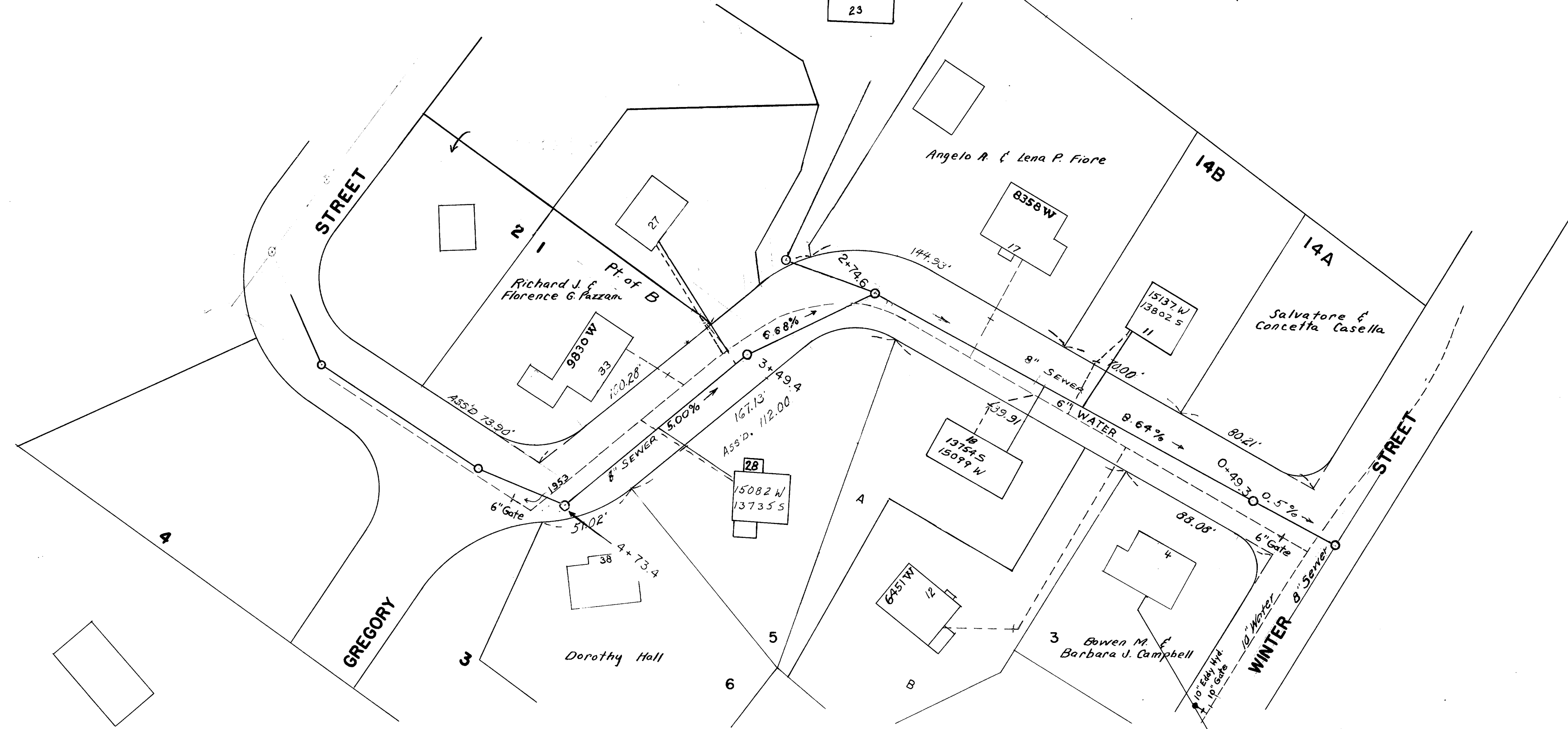
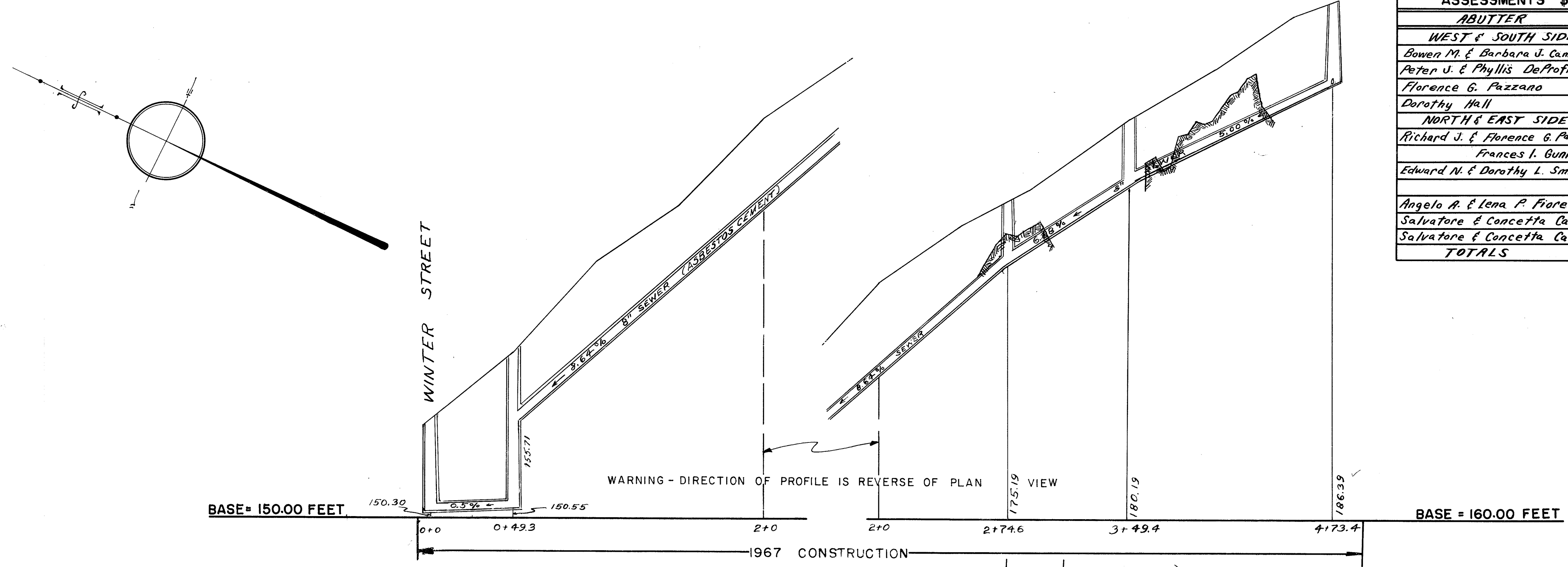
# CEDARCROFT LANE

SCALES: 40 FT. HOR. & 4 FT. VERT. PER IN.

TABLE OF ASSESSMENTS FOR 1967 CONSTRUCTION  
CONSTRUCTION ORDER 22019 DATE OF APPROVAL MAY 31, 1967  
ASSESSMENT ORDER 22206 DATE OF APPROVAL FEB. 29, 1968  
TOTAL COST \$ 5,983.42

AMOUNT ASSESSED \$  
ASSESSMENTS \$ 4.00 PER LINEAR FOOT OF FRONTAGE

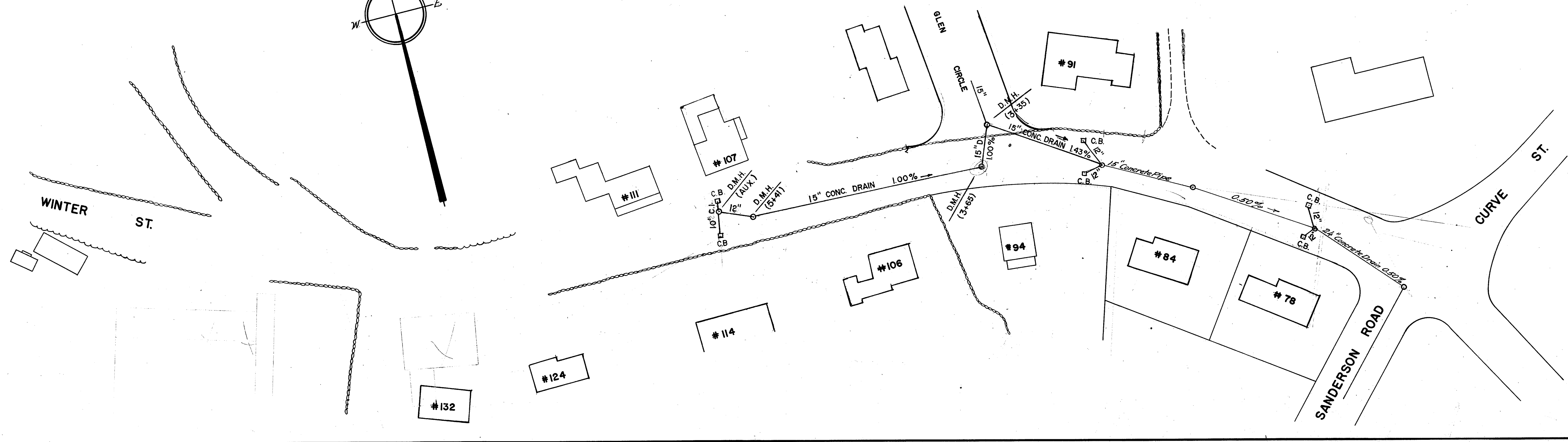
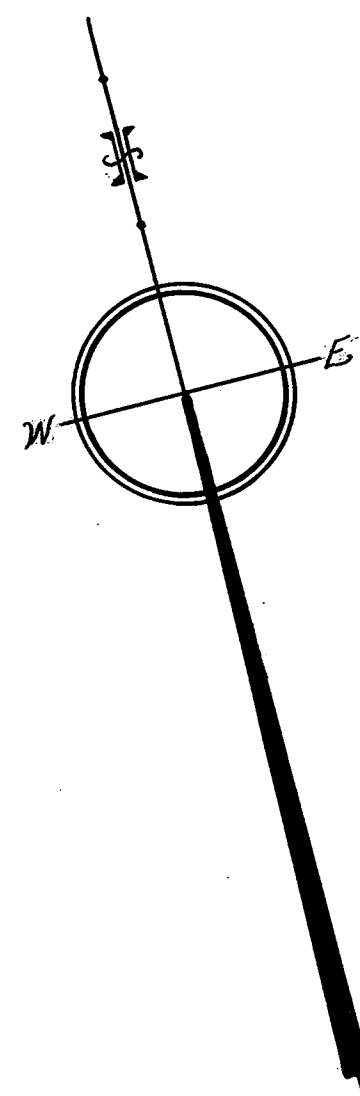
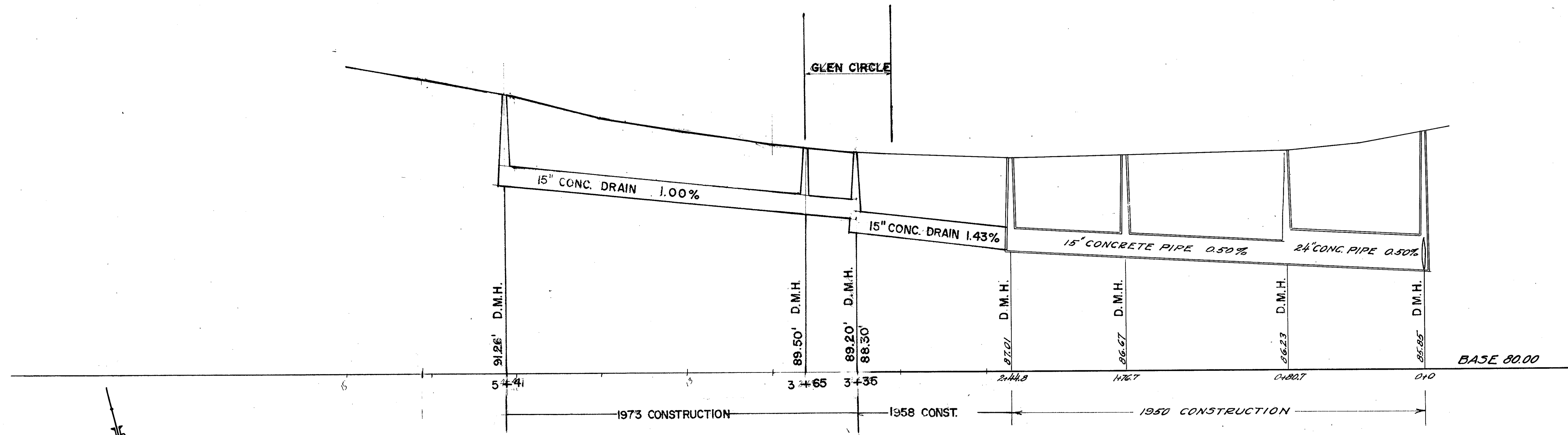
| ABUTTER                          | LOT NO. | HOUSE NO. | FRONTAGE | FRONTAGE ASSESSED | AMOUNT  | REMARKS                          |
|----------------------------------|---------|-----------|----------|-------------------|---------|----------------------------------|
| <b>WEST &amp; SOUTH SIDE</b>     |         |           |          |                   |         |                                  |
| Bowen M. & Barbara J. Campbell   | 3       | 4         | 88.08    | 88.08             | 352.32  |                                  |
| Peter J. & Phyllis DeProfo       | 4       | 12        | 139.91   | 139.91            | 559.64  | Pln. 89-78<br>Chs. w/Abstract    |
| Florence G. Pazzano              | 5       |           | 167.13   | 172.00            | 448.00  |                                  |
| Dorothy Hall                     | 6       | 38        | 51.02    | 51.02             | 204.08  | Pln. 89-78<br>Chs. w/Abstract    |
| <b>NORTH &amp; EAST SIDE</b>     |         |           |          |                   |         |                                  |
| Richard J. & Florence G. Pazzano | 1       | 27        | 100.28   | 73.90             | 295.60  | Short Side - 17<br>ft. for 100.5 |
| Frances I. Bunnell               |         | Pt. 18    | 15.47    | 15.47             | 61.88   |                                  |
| Edward N. & Dorothy L. Smith     |         | X 27      | 63.48    | 63.48             | 253.92  |                                  |
| Angelo A. & Lena P. Fiore        |         | 17        | 144.93   | 144.93            | 579.72  |                                  |
| Salvatore & Concetta Casella     |         | 14B       | 70.00    | 70.00             | 280.00  | Pln. 89-78<br>Chs. w/Abstract    |
| Salvatore & Concetta Casella     |         | 14A       | 80.21    | 80.21             | 320.84  |                                  |
| <b>TOTALS</b>                    |         |           |          | 839.00            | 3356.00 |                                  |





# LINCOLN STREET DRAIN

SCALES: 40 FT. HOR. & 4 FT. VERT. PER INCH



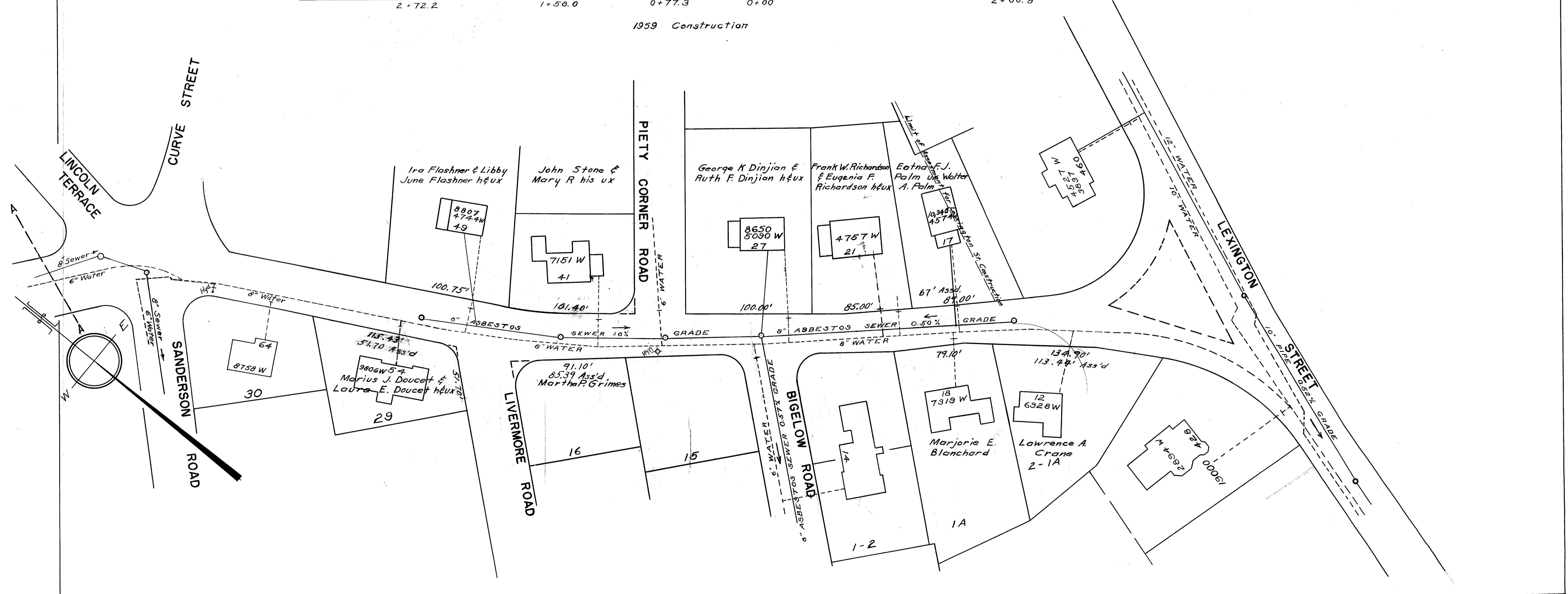
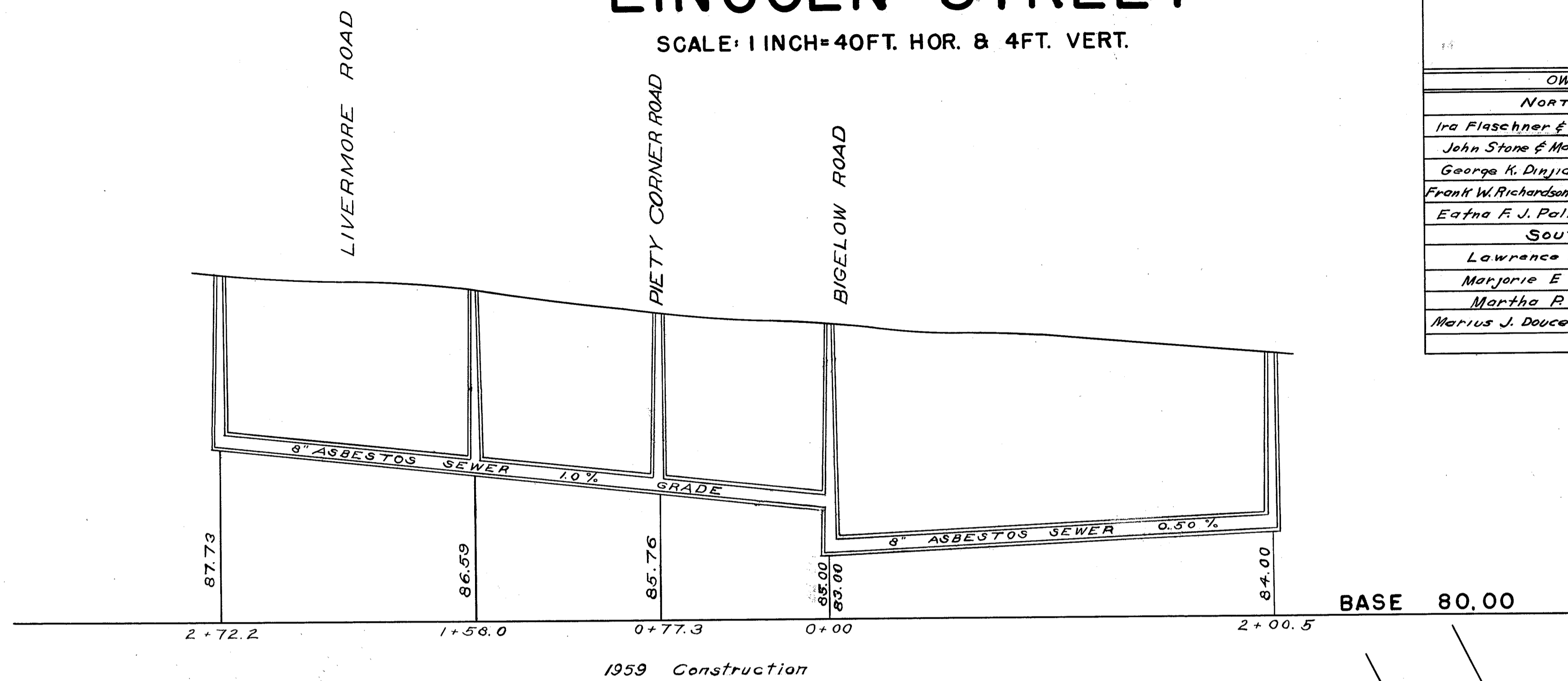


# LINCOLN STREET

SCALE: 1 INCH=40 FT. HOR. & 4 FT. VERT.

TABLE OF ASSESSMENT FOR 1959 CONSTRUCTION  
CONSTRUCTION ORDER 19409 DATE OF APPROVAL APR. 14, 1959  
ASSESSMENT ORDER 20282. DATE OF APPROVAL NOV. 14, 1961  
TOTAL COST \$ 6336.78  
AMOUNT ASSESSED \$ 3135.12  
ASSESSMENT \$4.00 PER LINEAR FOOT OF FRONTAGE

| OWNER   | Lot No. | House No. | Frontage | Front. Ass'd. | Amount  | Remarks                        |
|---|---------|-----------|----------|---------------|---------|--------------------------------|
| <b>NORTH SIDE</b>                               |         |           |          |               |         |                                |
| Ira Flaschner & Libby June Flaschner h&w        | 49      |           | 100.75   | 100.75        | 403.00  |                                |
| John Stone & Mary R his ux                      | 41      |           | 101.40   | 101.40        | 405.60  | Lot Line to Pl.                |
| George K. Dinjian & Ruth F. Dinjian h&w         | 27      |           | 100.00   | 100.00        | 400.00  | Pl. to Lot Line                |
| Frank W. Richardson & Eugenia F. Richardson h&w | 21      |           | 85.00    | 85.00         | 340.00  |                                |
| Eatna F. J. Palm ux Walter A. Palm              | 17      |           | 89.00    | 67.00         | 268.00  | Spaced from street to sidewalk |
| <b>SOUTH SIDE</b>                               |         |           |          |               |         |                                |
| Lawrence A. Crane                               | 2-1A    | 12        | 134.90   | 113.44        | 453.76  | Area divided by 100            |
| Marjorie E. Blanchard                           | 1A      | 18        | 79.10    | 79.10         | 316.40  |                                |
| Martha R. Grimes                                | 16      |           | 91.10    | 85.39         | 341.56  | Pl. to Lot Line Street Side    |
| Marius J. Doucet & Laura E. Doucet h&w          | 29      | 54        | 115.49   | 51.70         | 206.80  | Pl. to Lot Line Street Side    |
| <b>TOTALS</b>                                   |         |           |          | 783.78        | 3135.12 |                                |



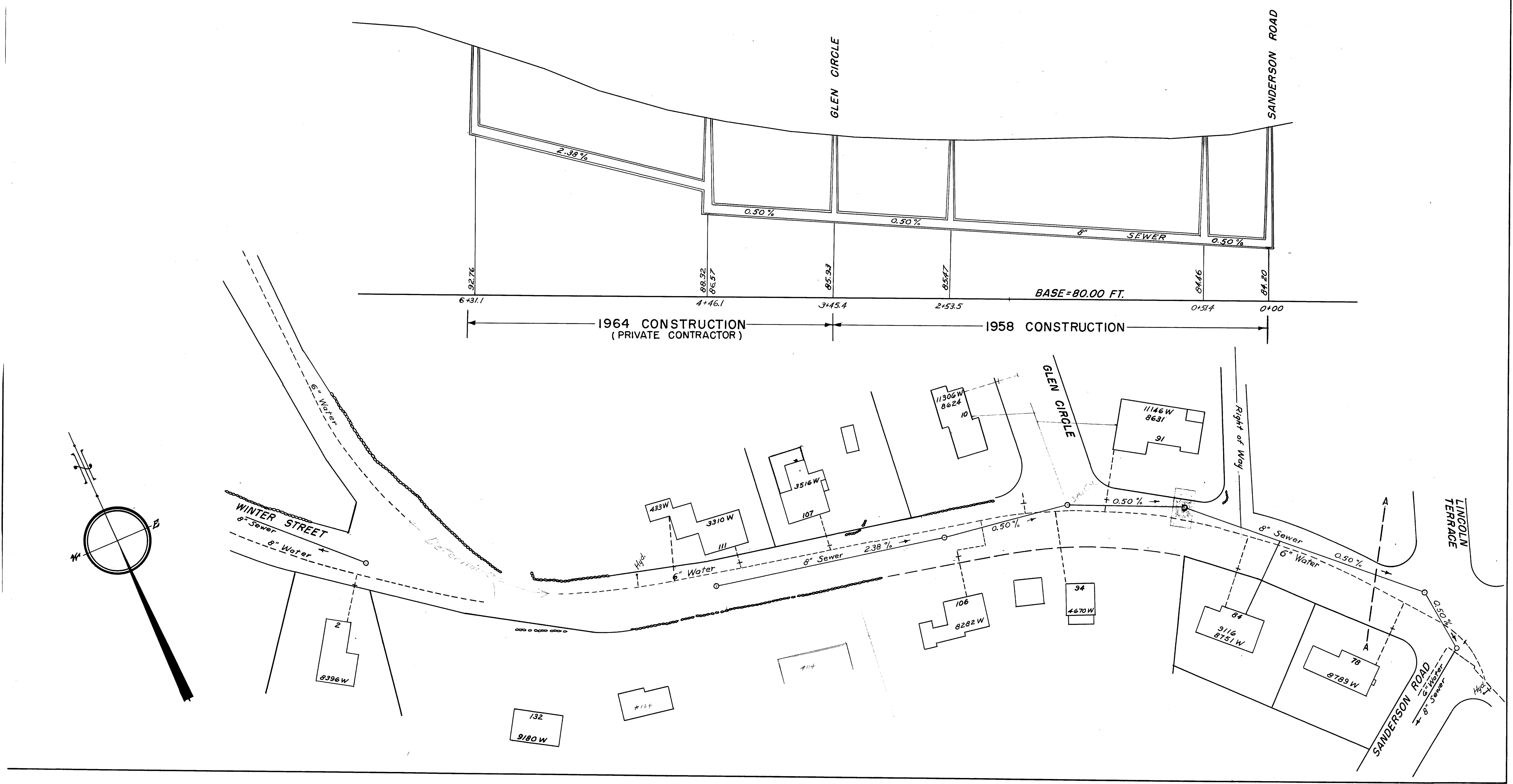
# LINCOLN STREET

SCALE: 1 INCH=40FT. HOR. & 4FT. VERT.

TABLE OF ASSESSMENTS FOR 1984 CONSTRUCTION (Right of Way)  
 CONSTRUCTION ORDER NO. 25540 DATE OF APPROVAL: AUGUST 7, 1984  
 FINAL COST \$ 20,548.50  
 ASSESSMENT ORDER NO. 25854 DATE OF APPROVAL: FEBRUARY 13, 1986  
 AMOUNT ASSESSED \$ 3,782.40  
 COST PER FOOT TO ABUTTER \$8.00

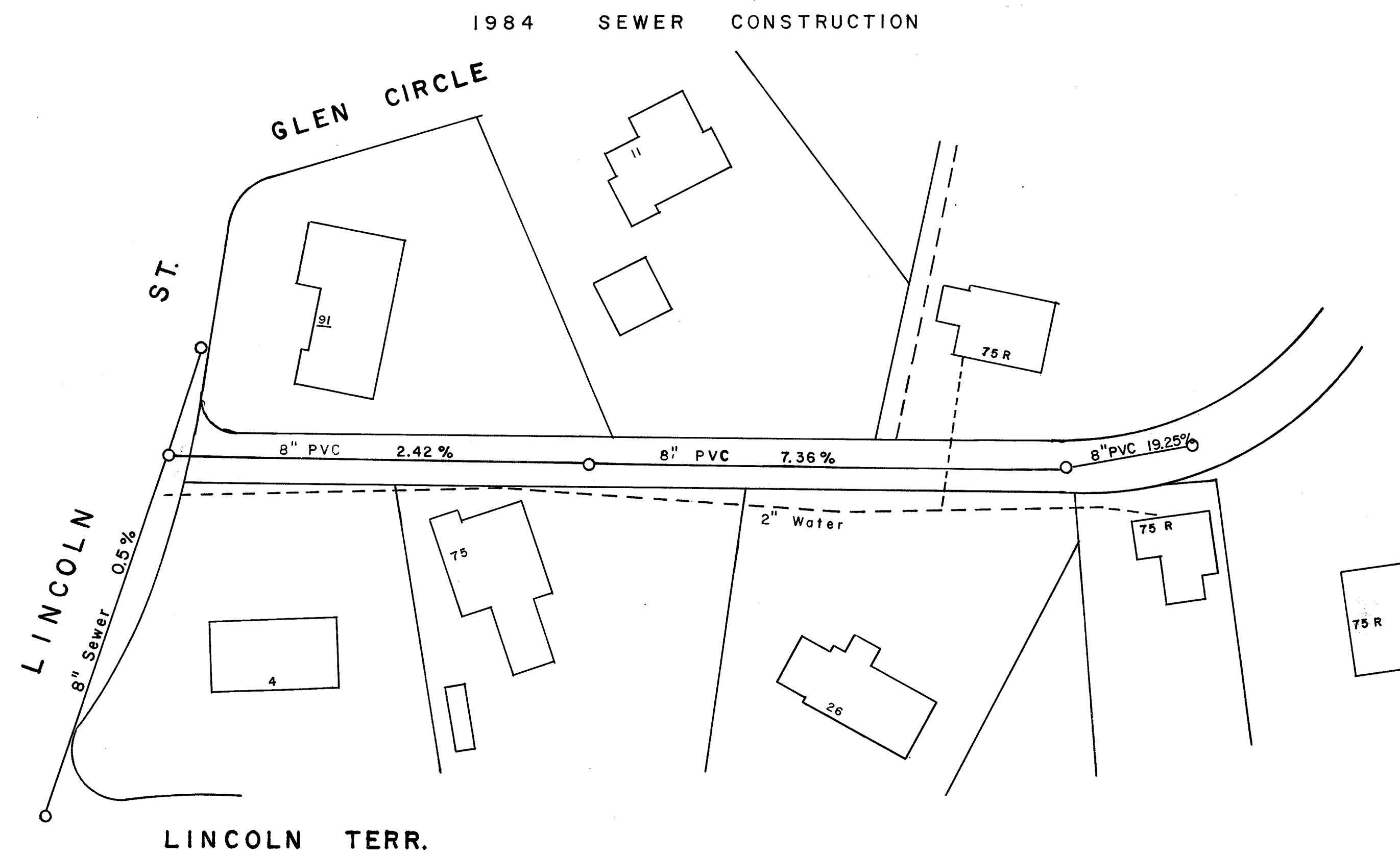
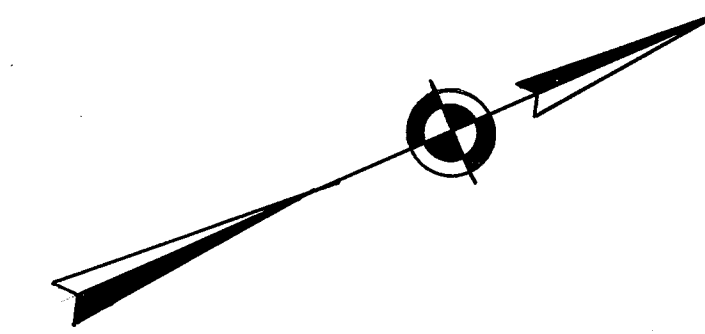
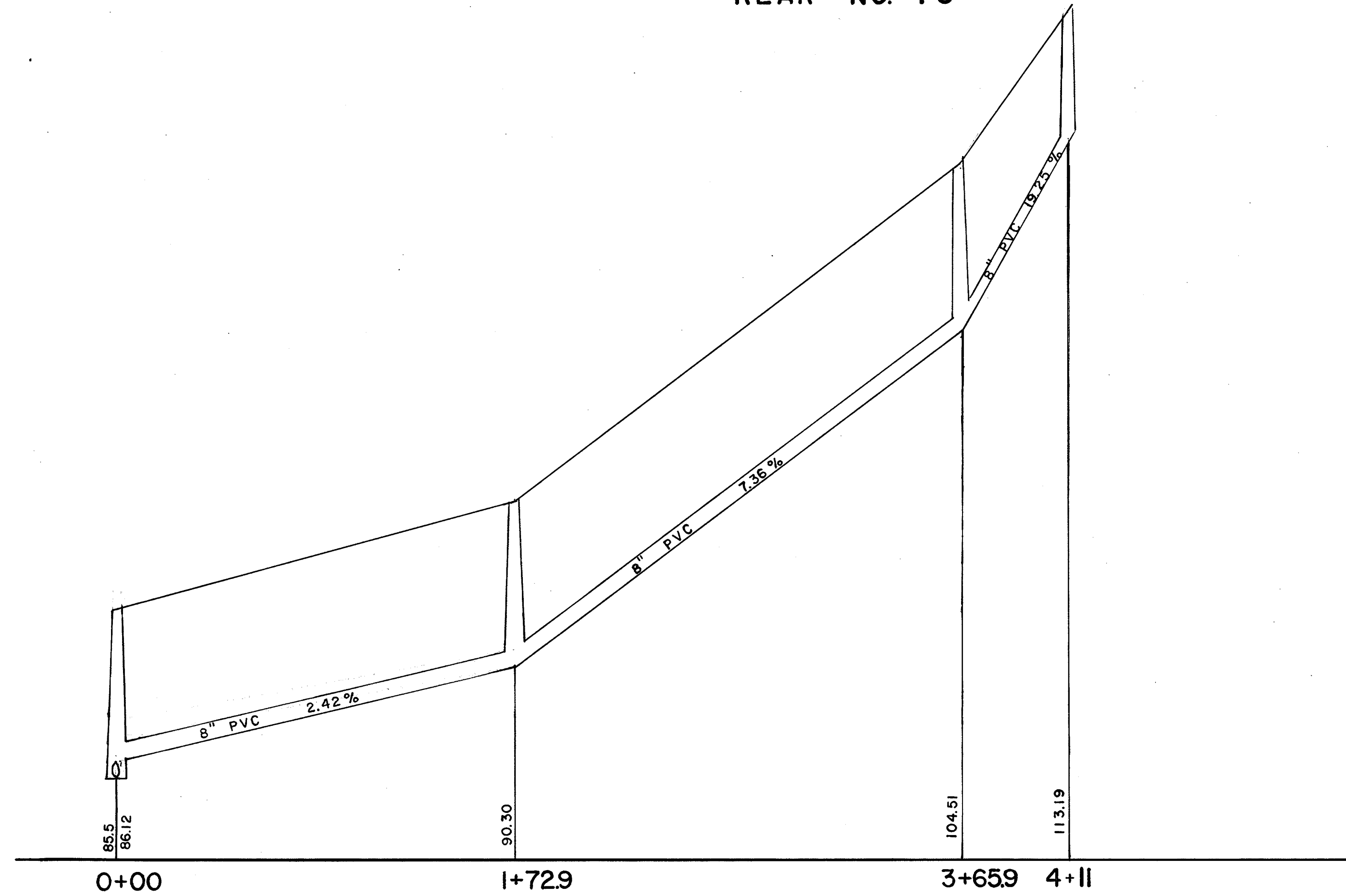
| OWNER  | Lot No. | House No. | Frontage | Frontage Assessed | Amount Assessed | REMARKS |
|--|---------|-----------|----------|-------------------|-----------------|---------|
| WEST SIDE                                    |         |           |          |                   |                 |         |
| William J. & Elizabeth Garland H & Ux        |         | Regr 75   | 198.80   |                   | 945.60          |         |
| EAST SIDE                                    |         |           |          |                   |                 |         |
| Edward P. Reilly & Lorraine E. Reilly H & Ux |         | Regr 75   | 112.00   |                   | 945.60          |         |
| Joseph Danko & Ruth M. Danko H & Ux          |         | Regr 75   | 20.00    |                   | 945.60          |         |
| Anna M. Gaeta                                | 7       | 75        | 142.00   |                   | 945.60          |         |

TOTAL \$3782.40



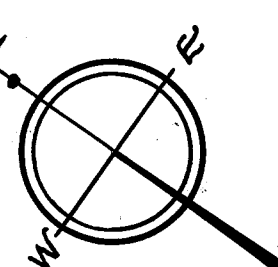
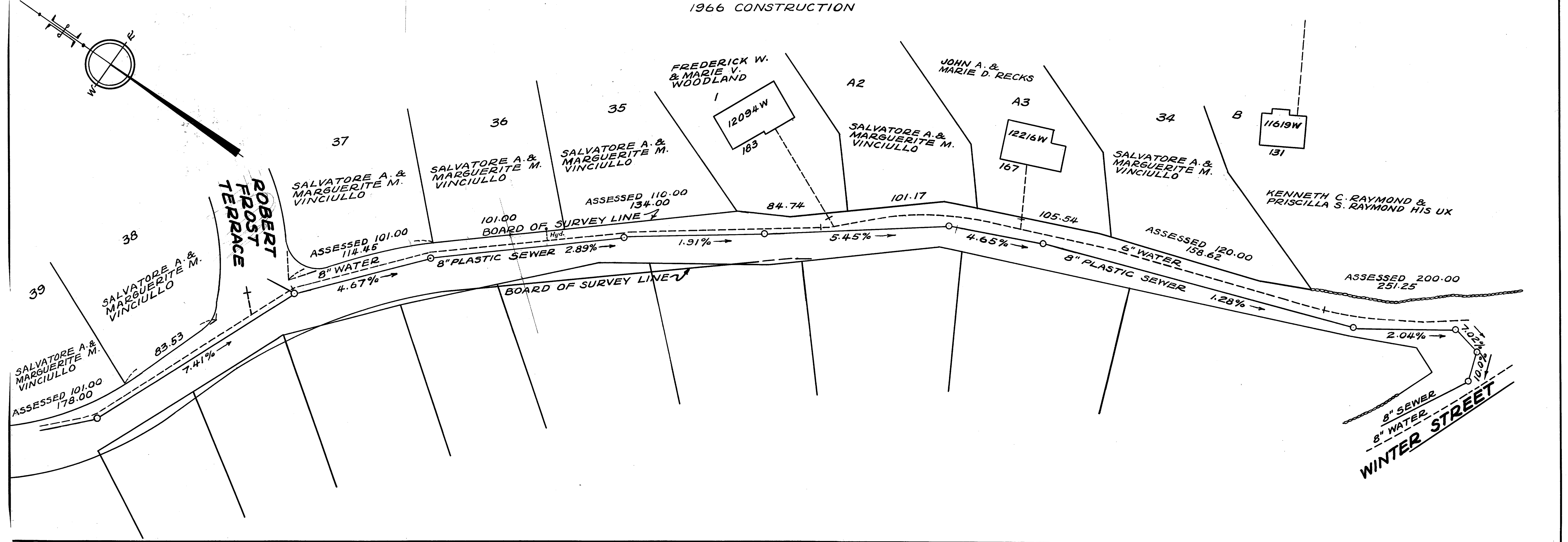
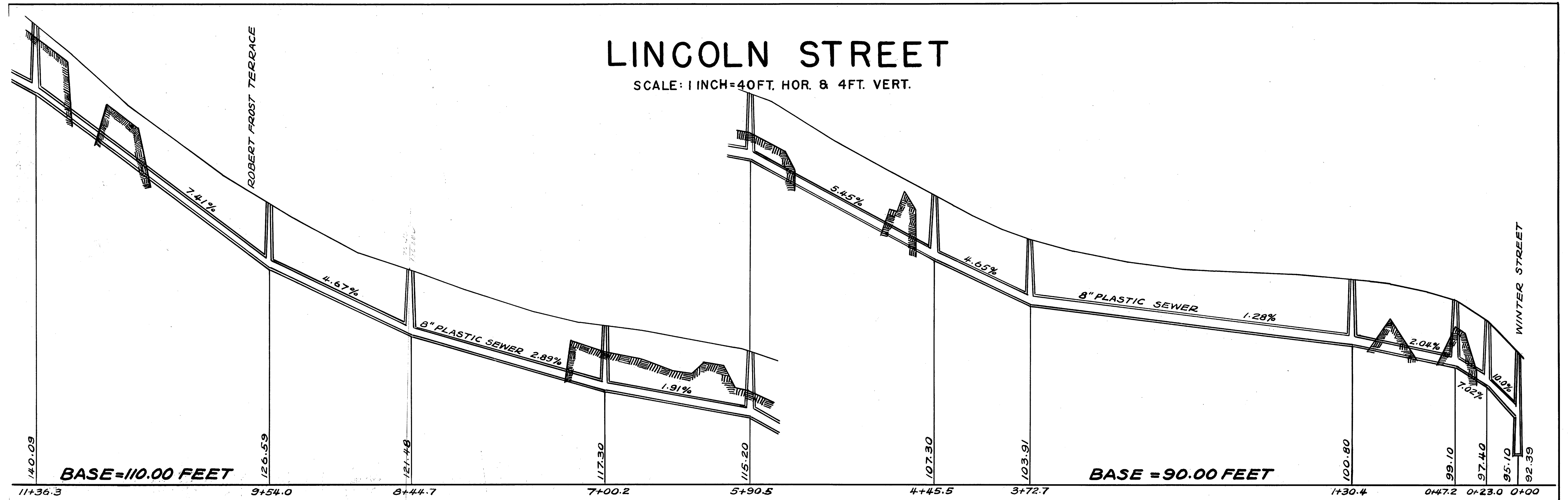
# LINCOLN STREET

SCALE: 1 INCH = 40 FT. HOR. & 4 FT. VERT.  
REAR NO. 75



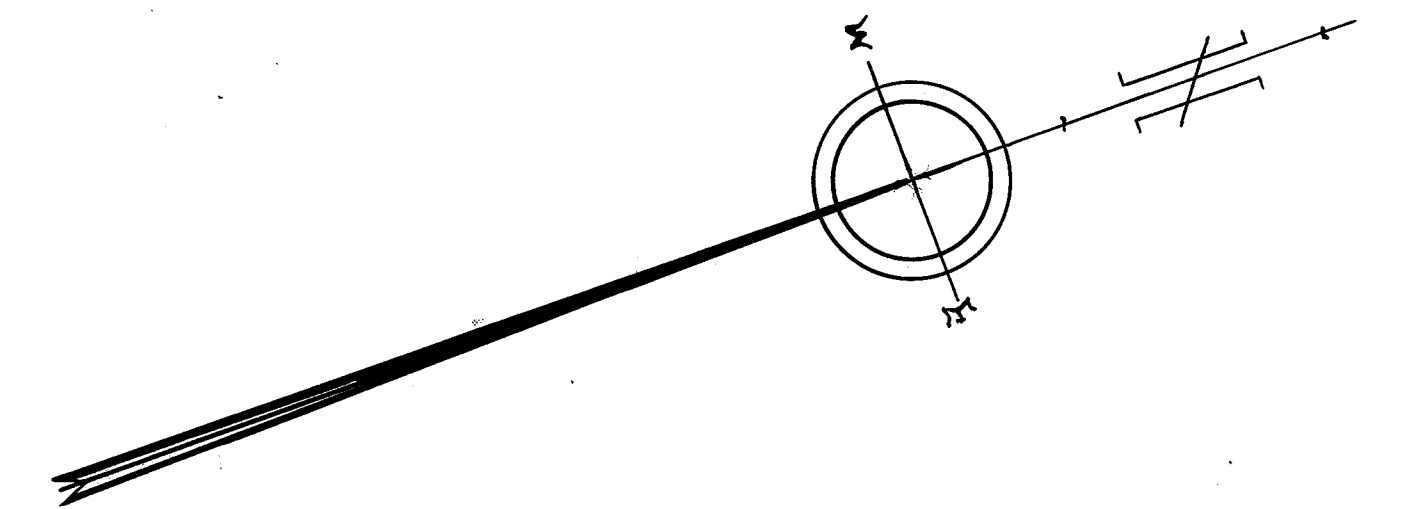
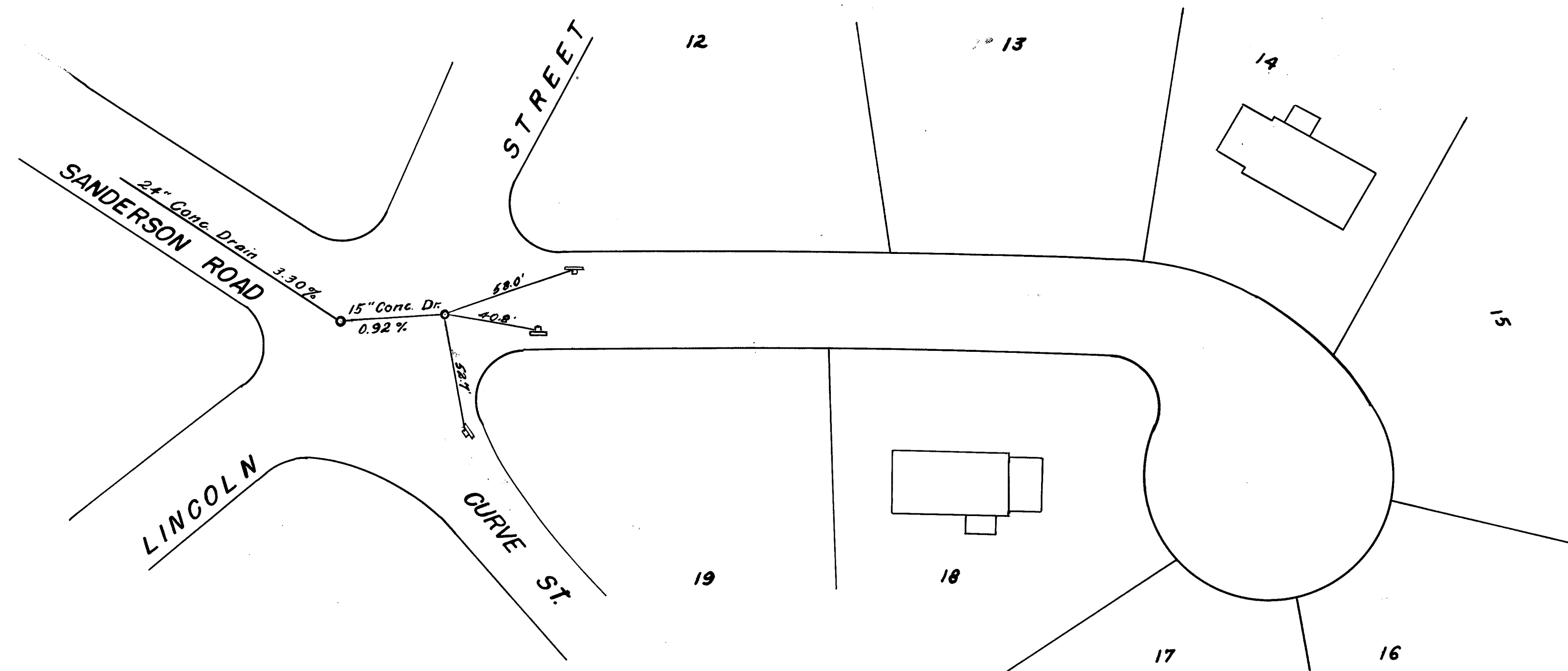
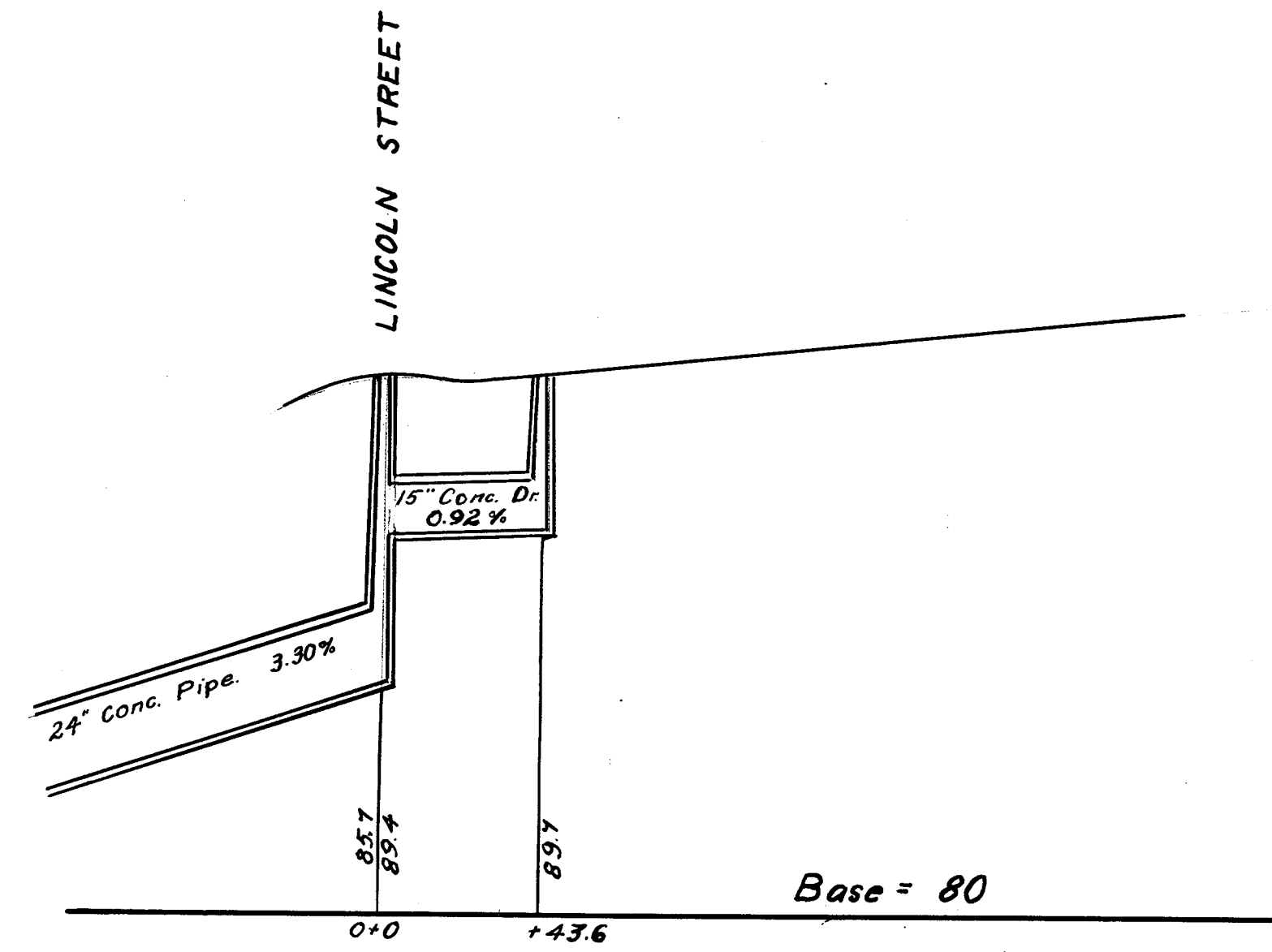
# LINCOLN STREET

SCALE: 1 INCH=40 FT. HOR. & 4 FT. VERT.



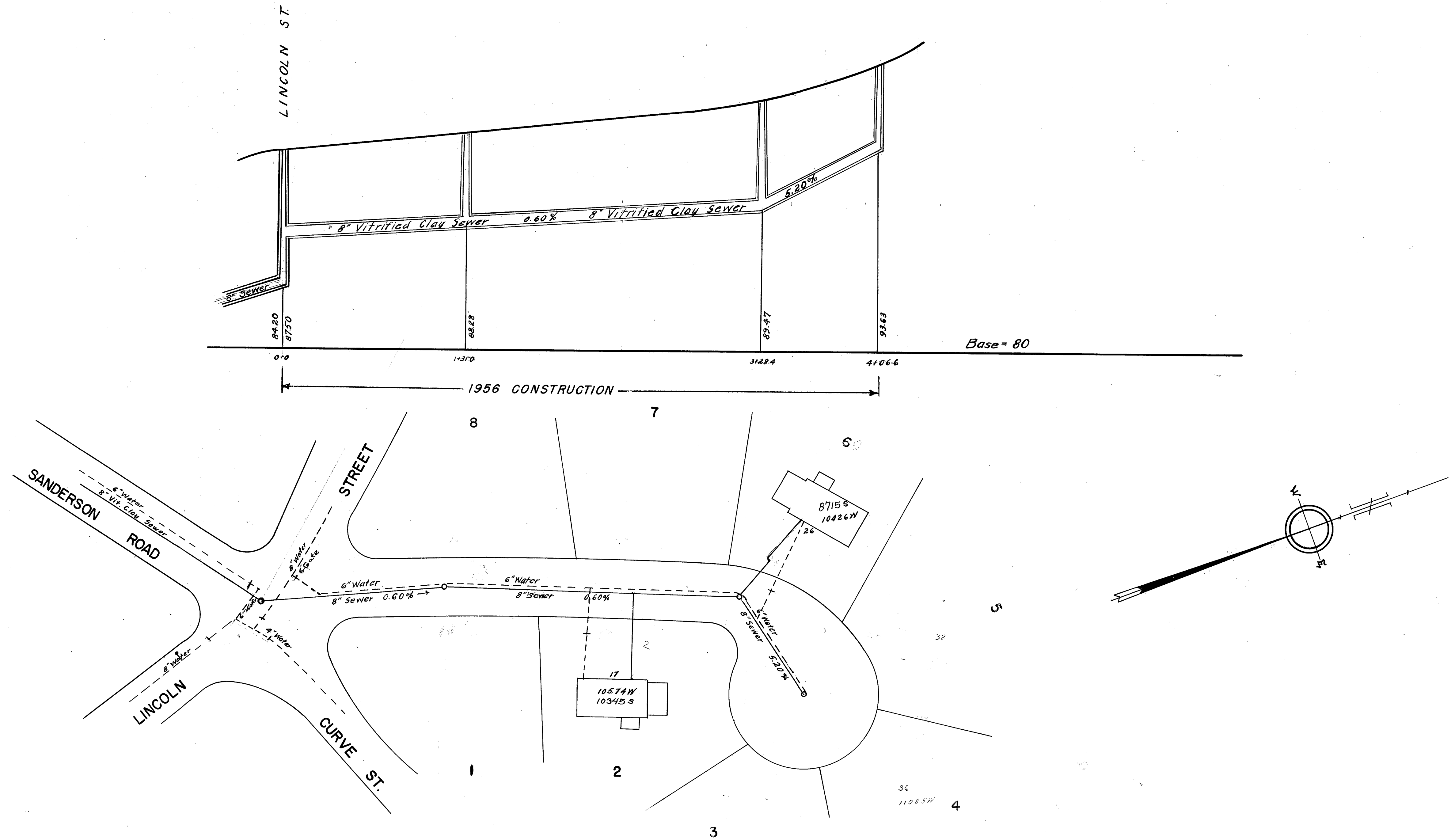
# LINCOLN TERRACE DRAIN

SCALES: 40 FT. HOR. & 4 FT. VERT. PER INCH



# LINCOLN TERRACE

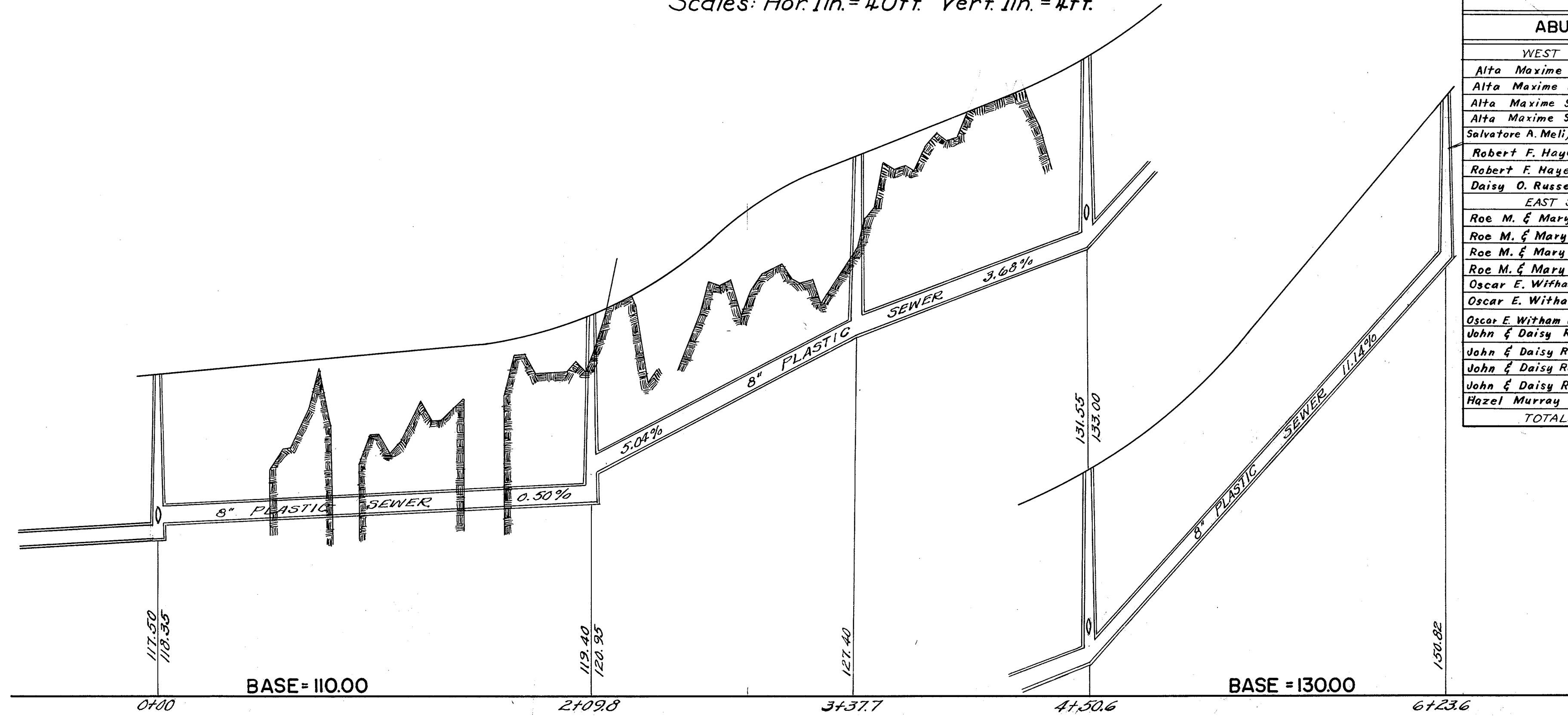
SCALES: 40 FT. HOR. & 4 FT. VERT. PER. INCH



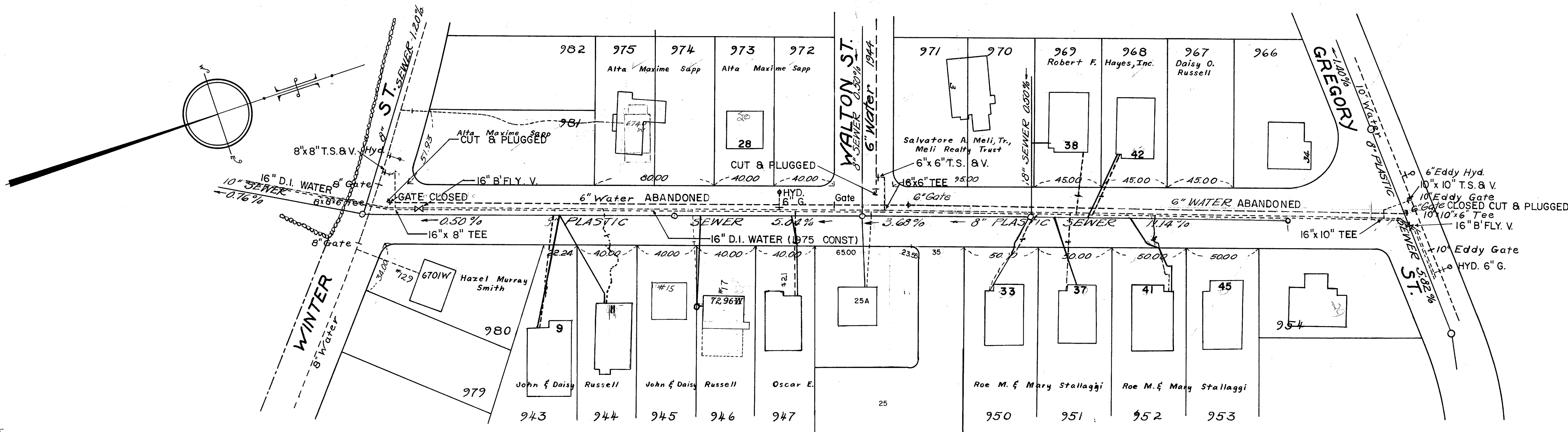
# MALVERN ST.

Scales: Hor. 1 in. = 40 ft. Vert. 1 in. = 4 ft.

TABLE OF ASSESSMENTS FOR 1961 CONSTRUCTION  
CONSTRUCTION ORDER 20143 DATE OF APPROVAL JULY 13, 1961  
ASSESSMENT ORDER 20746 DATE OF APPROVAL FEB. 25, 1963  
FINAL COST \$9,000.00  
AMOUNT ASSESSED \$3832.68  
ASSESSED AT \$4.00 PER LINEAR FT. OF FRONTAGE



| ABUTTER                                   | Lot No. | Area  | Frontage      | Frontage Assessed | Amount         | REMARKS                     |
|---|---------|-------|---------------|-------------------|----------------|-----------------------------|
| <b>WEST SIDE</b>                          |         |       |               |                   |                |                             |
| Alta Maxime Sapp                          | 981     |       | 51.93         | 51.93             | 207.72         | Short side 1/2 to lot line  |
| Alta Maxime Sapp                          | 973-4   | 11    | 80.00         | 80.00             | 320.00         |                             |
| Alta Maxime Sapp                          | 973     |       | 40.00         | 40.00             | 160.00         |                             |
| Alta Maxime Sapp                          | 972     |       | 40.00         | 40.00             | 160.00         | Short side 1/2 to lot line  |
| Salvatore A. Meli, Tr., Meli Realty Trust | 977-0   | 3 1/2 | 95.00         | 95.00             | 380.00         | Short side 1/2 to lot line  |
| Robert F. Hayes, Inc.                     | 969     |       | 45.00         | 45.00             | 180.00         |                             |
| Robert F. Hayes, Inc.                     | 968     |       | 45.00         | 45.00             | 180.00         |                             |
| Daisy O. Russell                          | 967     |       | 45.00         | 45.00             | 180.00         |                             |
| <b>EAST SIDE</b>                          |         |       |               |                   |                |                             |
| Roe M. & Mary Stallaggi                   | 953     |       | 50.00         | 50.00             | 200.00         |                             |
| Roe M. & Mary Stallaggi                   | 952     |       | 50.00         | 50.00             | 200.00         |                             |
| Roe M. & Mary Stallaggi                   | 951     |       | 50.00         | 50.00             | 200.00         |                             |
| Roe M. & Mary Stallaggi                   | 950     |       | 50.00         | 50.00             | 200.00         |                             |
| Oscar E. Witham & Esther his ux           | 949     |       | 50.00         | 50.00             | 200.00         |                             |
| Oscar E. Witham & Esther his ux           | 948     |       | 50.00         | 50.00             | 200.00         |                             |
| Oscar E. Witham & Esther his ux           | 947     |       | 40.00         | 40.00             | 160.00         |                             |
| John & Daisy Russell                      | 946     |       | 40.00         | 40.00             | 160.00         |                             |
| John & Daisy Russell                      | 945     |       | 40.00         | 40.00             | 160.00         |                             |
| John & Daisy Russell                      | 944     |       | 40.00         | 40.00             | 160.00         |                             |
| John & Daisy Russell                      | 943     |       | 22.24         | 22.24             | 88.96          |                             |
| Hazel Murray Smith                        | 980     |       | 34.00         | 34.00             | 136.00         | Short side 1/2 to lot line. |
| <b>TOTALS</b>                             |         |       | <b>958.17</b> | <b>958.17</b>     | <b>3832.68</b> |                             |

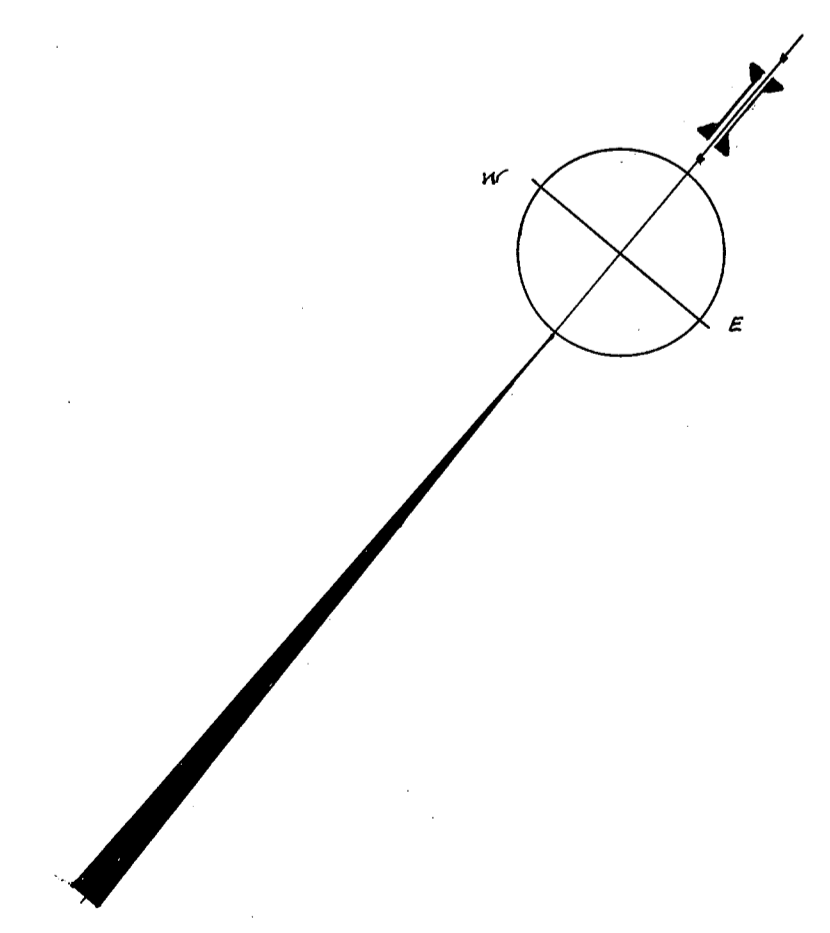
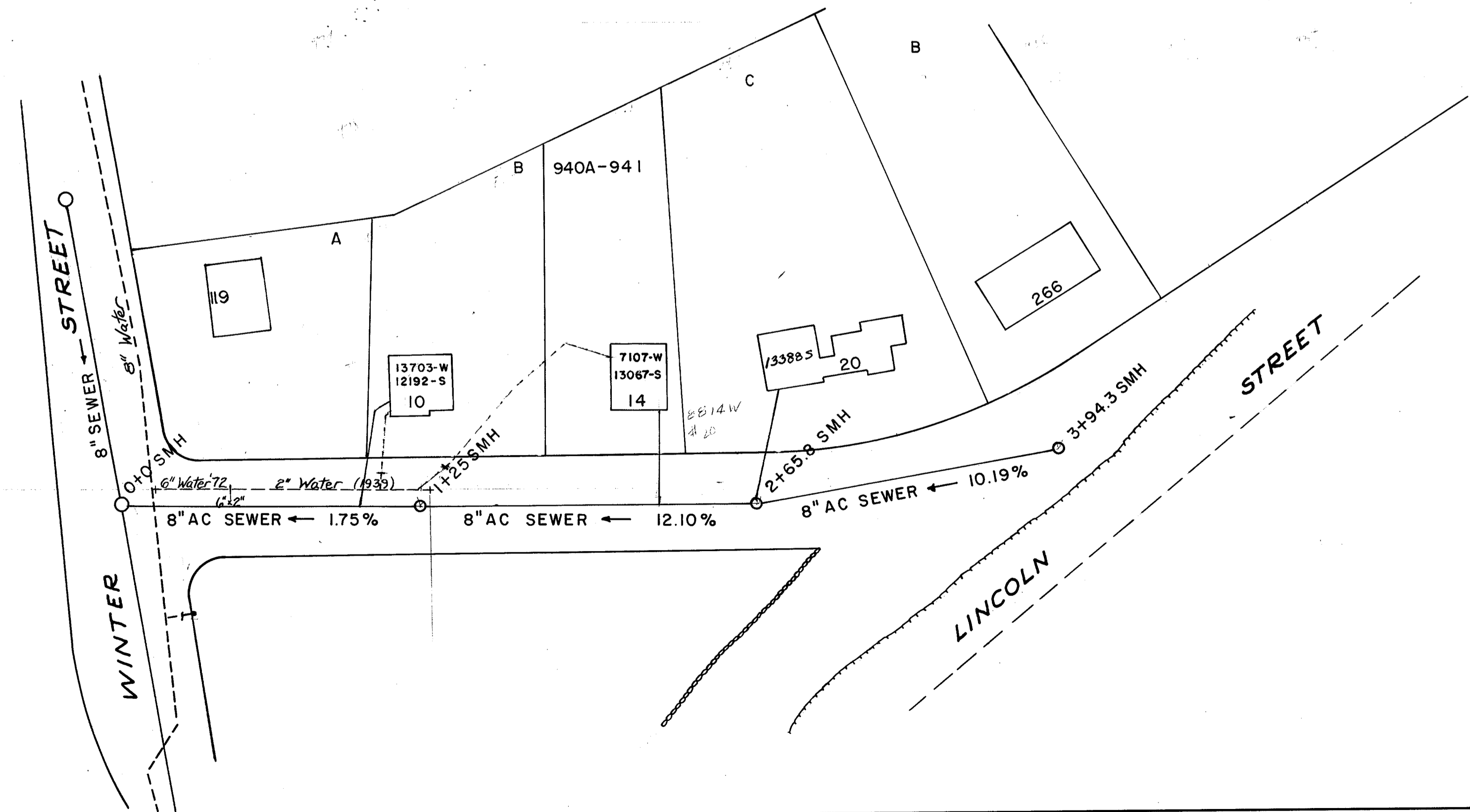
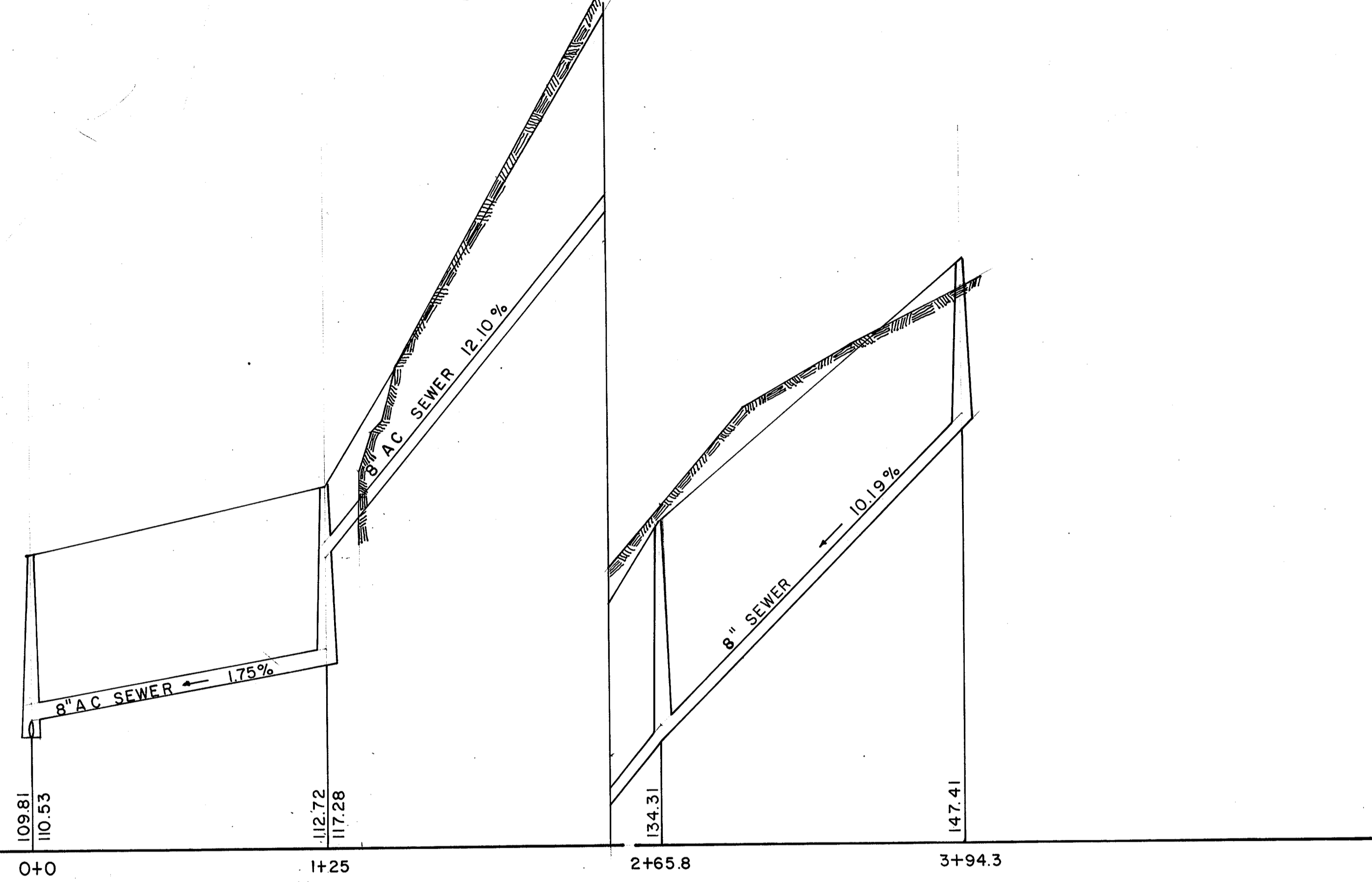


# POND END SCHOOL LANE

Scales: 1 inch = 40 feet Hor. & 4 feet Vert.

TABLE OF ASSESSMENTS FOR 1975 CONSTRUCTION  
CONSTRUCTION ORDER 23933 DATE OF APPROVAL AUG. 5, 1975  
ASSESSMENT ORDER 23981 DATE OF APPROVAL JAN. 27, 1976  
TOTAL COST \$11,881.20  
AMOUNT ASSESSED \$2,571.12  
ASSESSED AT \$8.00 PER LINEAR FOOT OF FRONTAGE

| NAMES                          | LOT NO. | FRONTAGE | FRONTAGE ASSESSED | AMOUNT ASSESSED | REMARKS              |           |
|--------------------------------|---------|----------|-------------------|-----------------|----------------------|-----------|
| WEST SIDE                      |         |          |                   |                 |                      |           |
| David L. & Kathleen L. DeLaney | B 10    | 75.31    | 75.31             | \$602.48        |                      |           |
| Robert E. & Ernel J. Webb      | 940A 14 | 59.20    | 59.20             | 473.60          |                      |           |
| Basil E. & Mary E. Neville     | C 20    | 130.80   | 101.88            | 815.04          | Area - Average Depth |           |
| Wilfred C. & Sharon L. McNally | B 266   | 85.00    | 85.00             | 680.00          |                      |           |
| TOTALS                         |         |          |                   | 350.31          | 321.39               | \$2571.12 |



208  
128  
358



TABLE OF ASSESSMENT FOR 1961 CONSTRUCTION

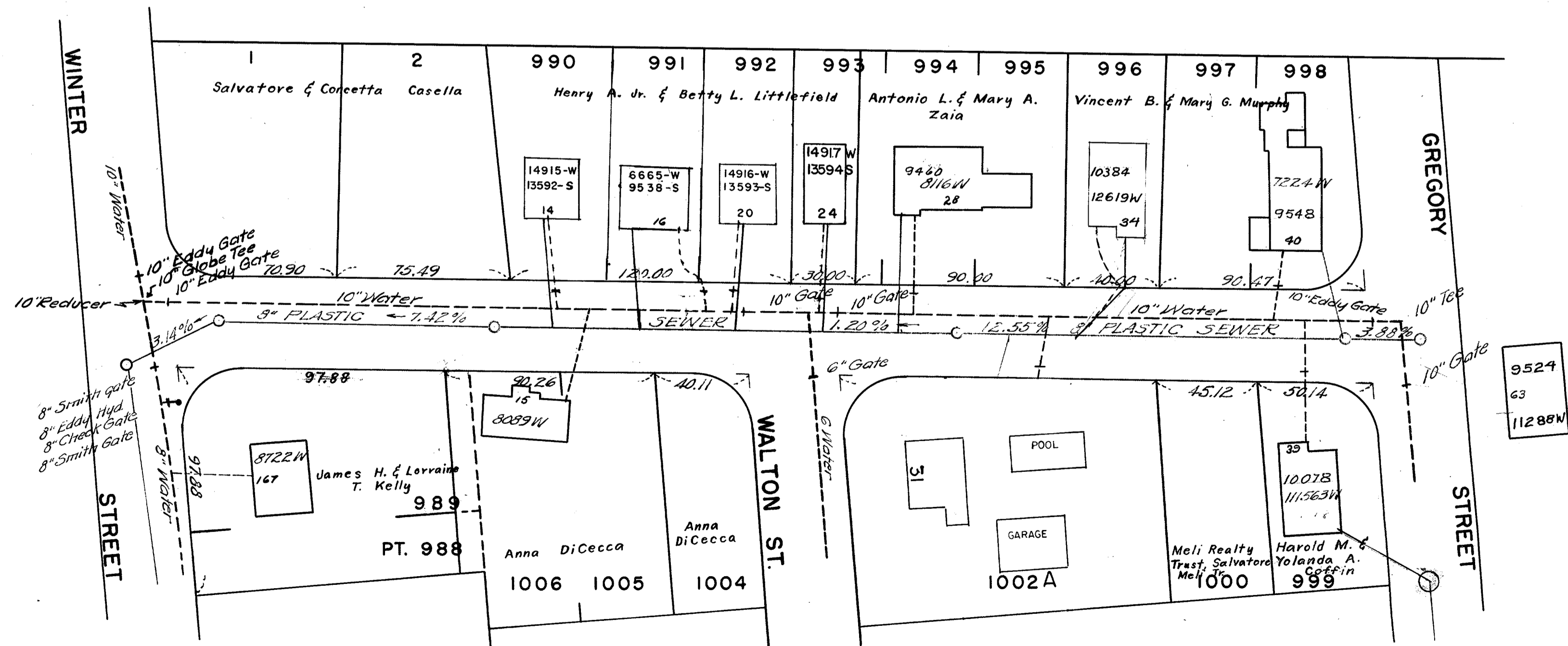
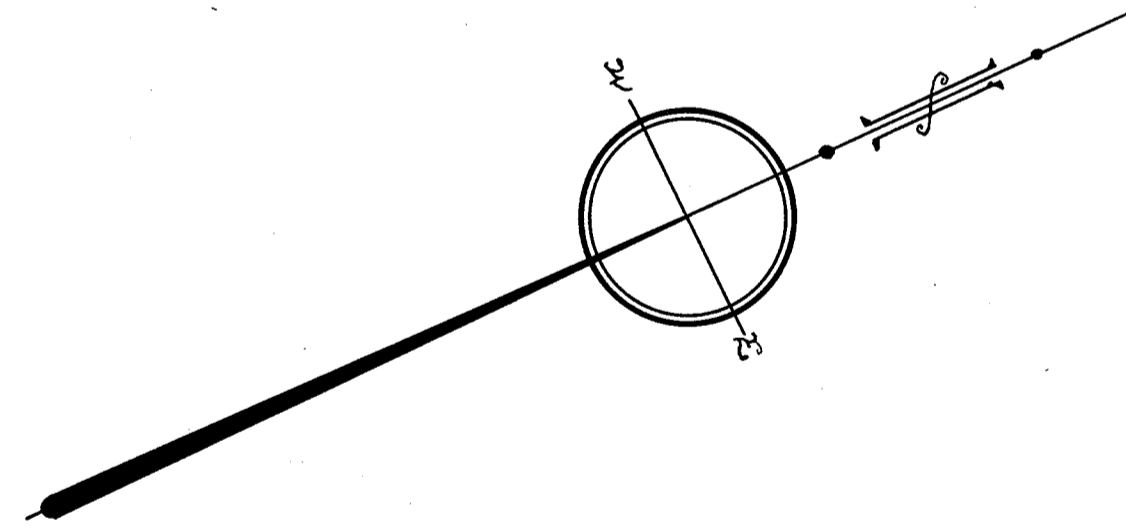
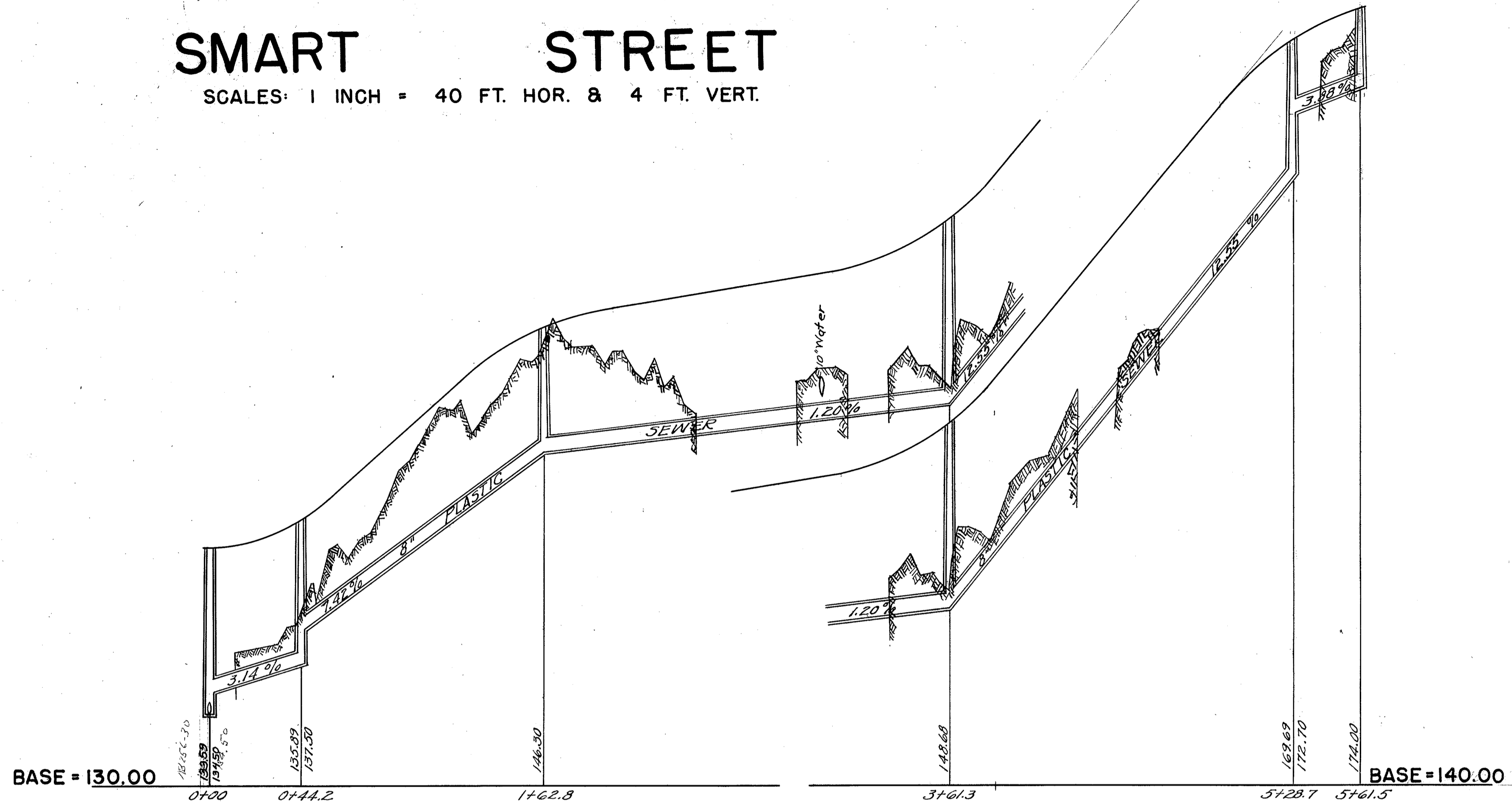
CONSTRUCTION ORDER 20140 DATE OF APPROVAL JUNE 13, 1961  
ASSESSMENT ORDER 20748 DATE OF APPROVAL FEB. 25, 1963  
TOTAL COST \$7512.99  
AMOUNT ASSESSED \$3,902.92

ASSESSMENT \$ 4.00 PER LINEAR FOOT OF FRONTAGE

| OWNER                                  | Lot No.            | House No. | FRONTAGE      | FRONTAGE ASSESSED | AMOUNT         | REMARKS                     |
|--|--------------------|-----------|---------------|-------------------|----------------|-----------------------------|
| <b>WEST SIDE</b>                       |                    |           |               |                   |                |                             |
| Salvatore & Concetta Casella           | 1                  |           | 70.90         | 70.90             | 283.60         | Short Side I.T. to Lot Line |
| Salvatore & Concetta Casella           | 2                  |           | 75.49         | 75.49             | 301.96         |                             |
| Henry A. Jr. & Betty L. Littlefield    | 990, 991, 992, 993 | 16        | 150.00        | 150.00            | 600.00         |                             |
| Antonio L. & Mary A. Zaia              | 994, 995           | 28        | 90.00         | 90.00             | 360.00         |                             |
| Vincent B. & Mary G. Murphy            | 996                |           | 40.00         | 40.00             | 160.00         |                             |
| Vincent B. & Mary G. Murphy            | 997, 998           | 40        | 90.47         | 90.47             | 361.88         | Short Side Lot Line to I.T. |
| <b>EAST SIDE</b>                       |                    |           |               |                   |                |                             |
| Harold M. & Yolanda A. Coffin          | 999                | 39        | 50.14         | 50.14             | 200.56         | Short Side I.T. to Lot Line |
| Meli Realty Trust, Salvatore Meli, Tr. | 1000               |           | 45.12         | 45.12             | 180.48         |                             |
| Stephen & Margerite Fournier           | 1001, 1002         | 27        | 90.24         | 90.24             | 360.96         |                             |
| Stephen & Margerite Fournier           | 1003               |           | 45.12         | 45.12             | 180.48         | Short Side Lot Line to I.T. |
| Anna DiCecca                           | 1004               |           | 40.11         | 40.11             | 160.44         | Short Side I.T. to Lot Line |
| Anna DiCecca                           | 1005, 1006         | 15        | 90.26         | 90.26             | 361.04         |                             |
| James H. & Lorraine T. Kelly           | 988, 989           | 17        | 97.88         | 97.88             | 391.52         | Short Side Lot Line to I.T. |
| <b>Totals</b>                          |                    |           | <b>975.73</b> | <b>975.73</b>     | <b>3902.92</b> |                             |

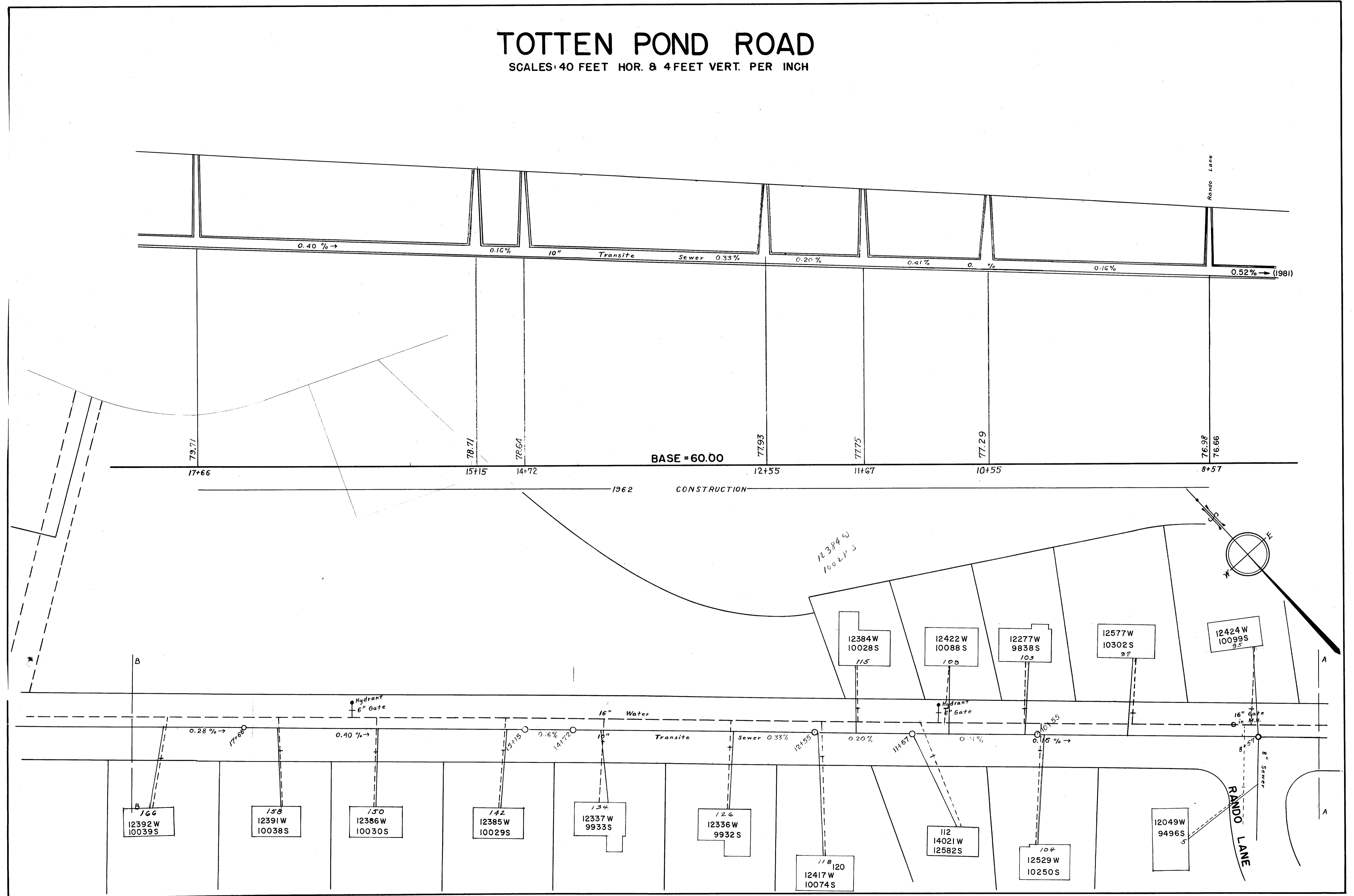
# SMART STREET

SCALES: 1 INCH = 40 FT. HOR. & 4 FT. VERT.



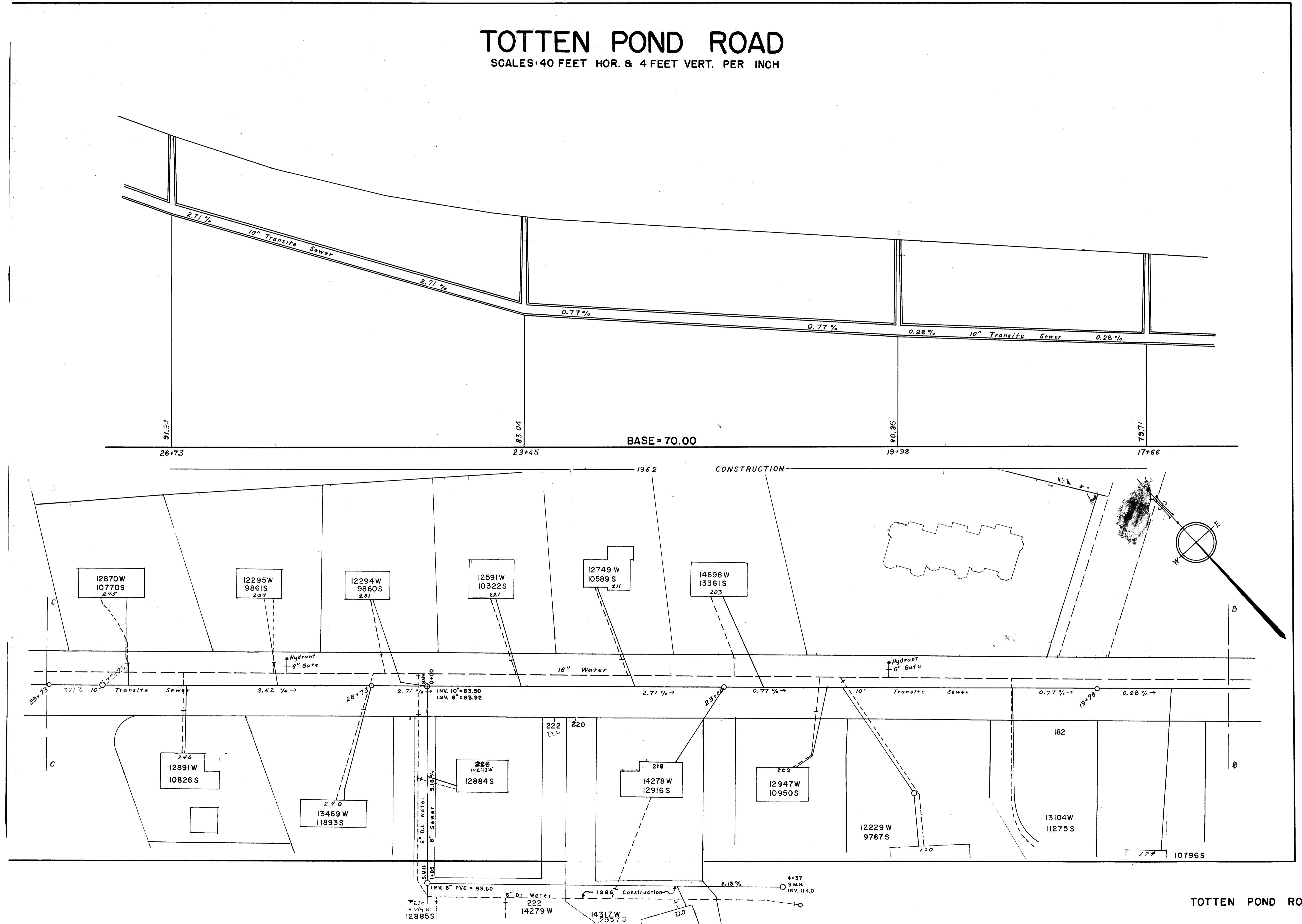
# TOTTEN POND ROAD

SCALE: 40 FEET HOR. & 4 FEET VERT. PER INCH



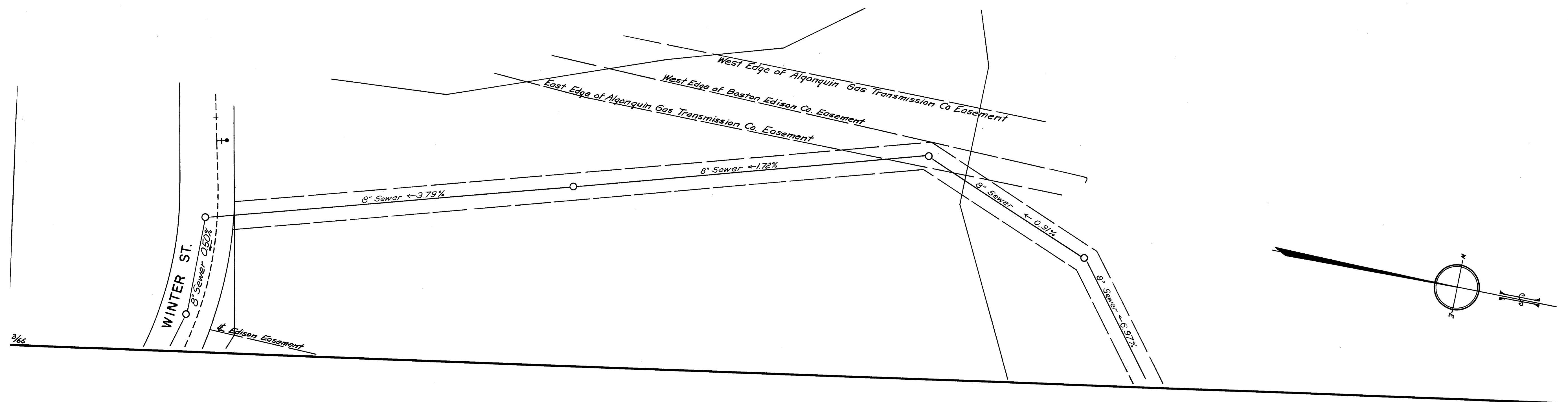
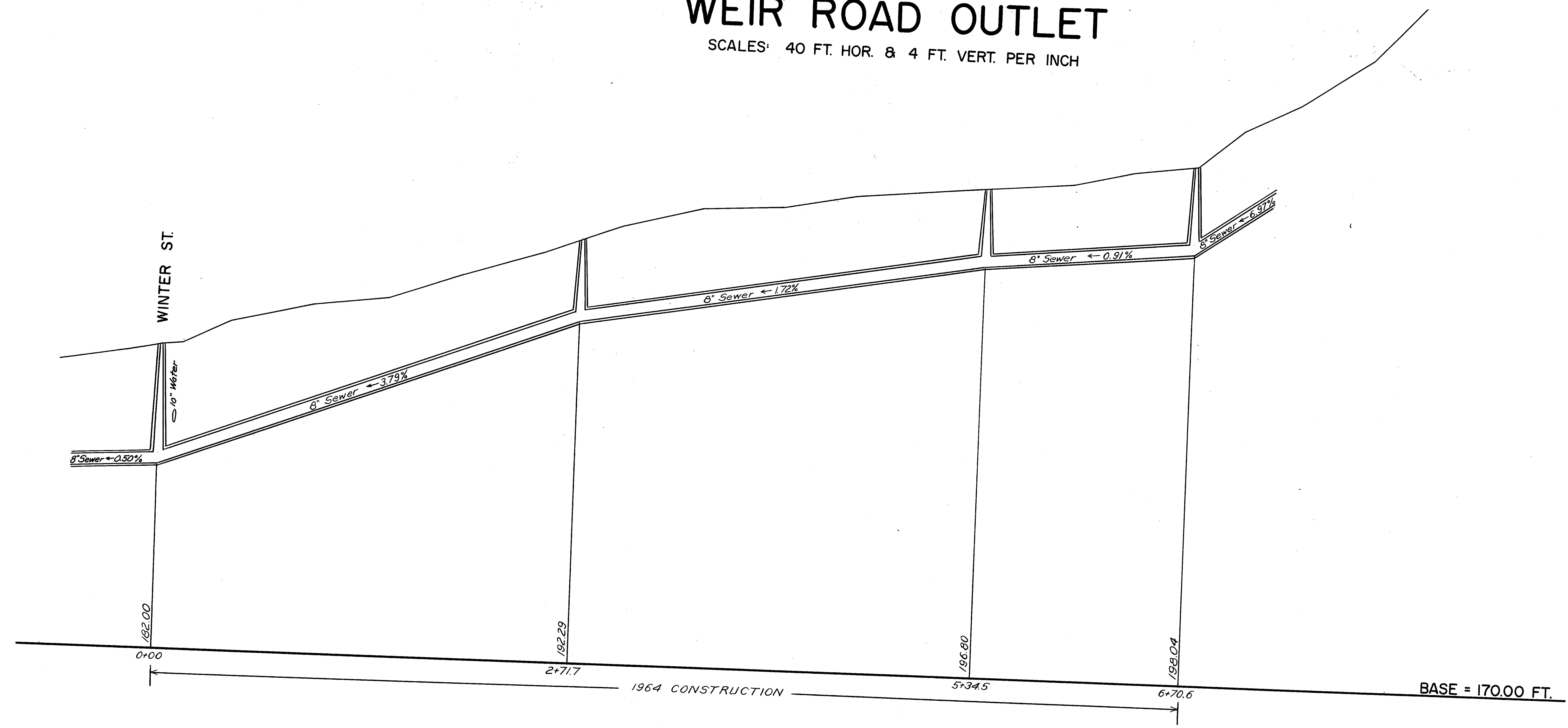
# TOTTEN POND ROAD

SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH



# WEIR ROAD OUTLET

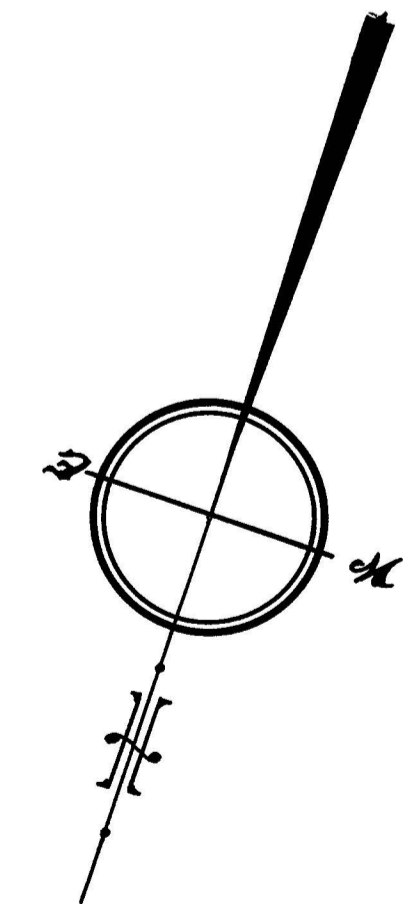
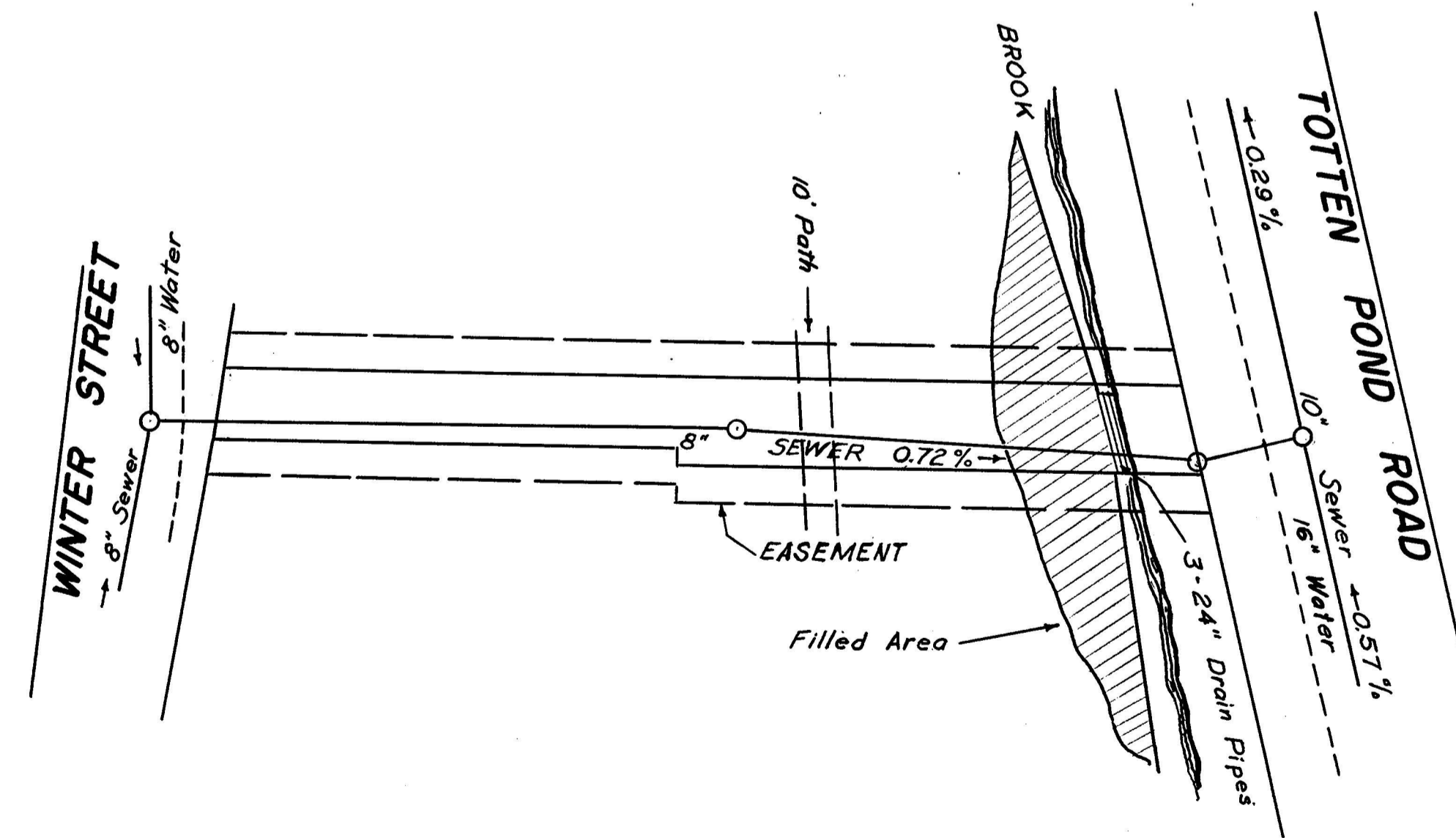
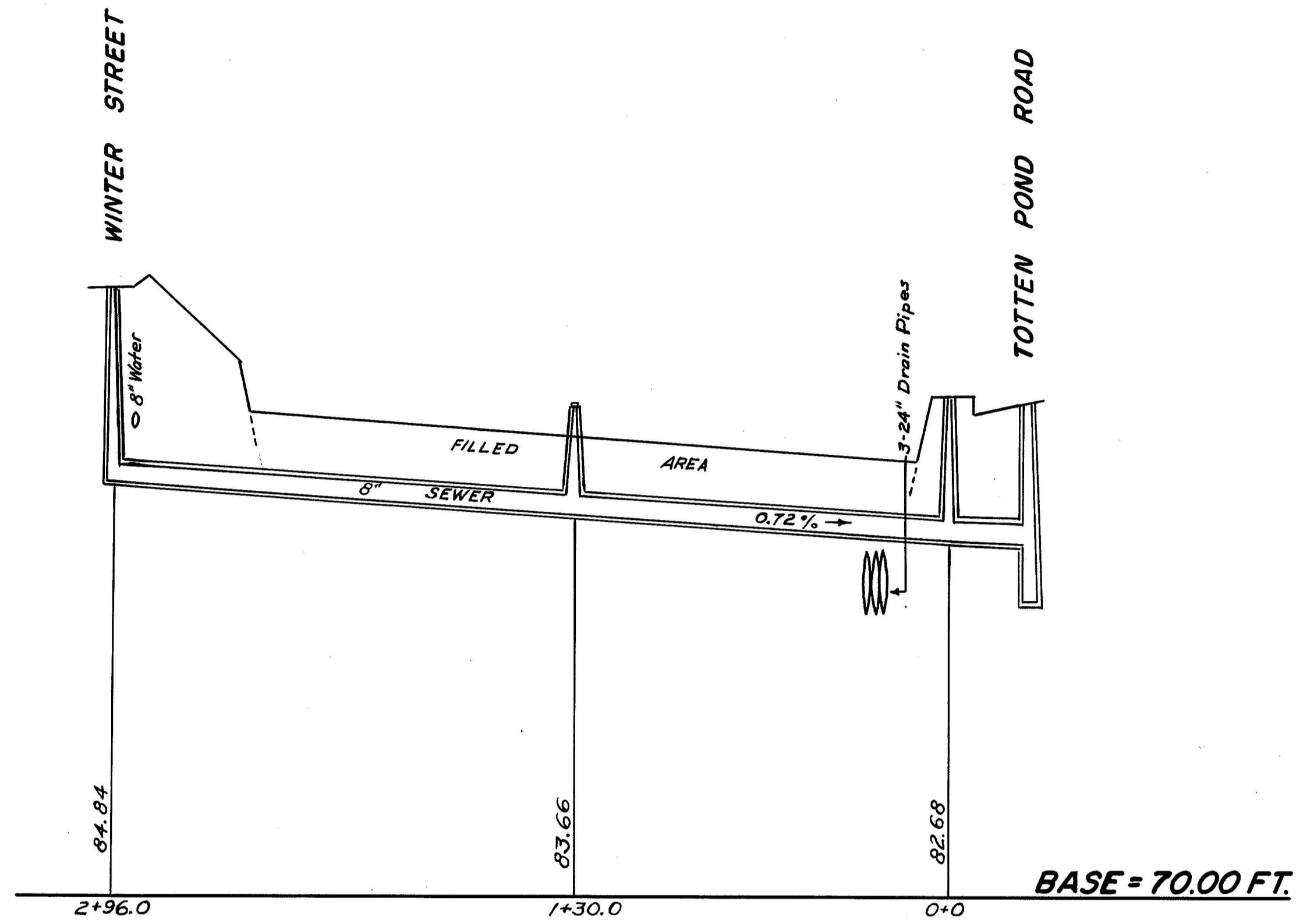
SCALES: 40 FT. HOR. & 4 FT. VERT. PER INCH



3/66

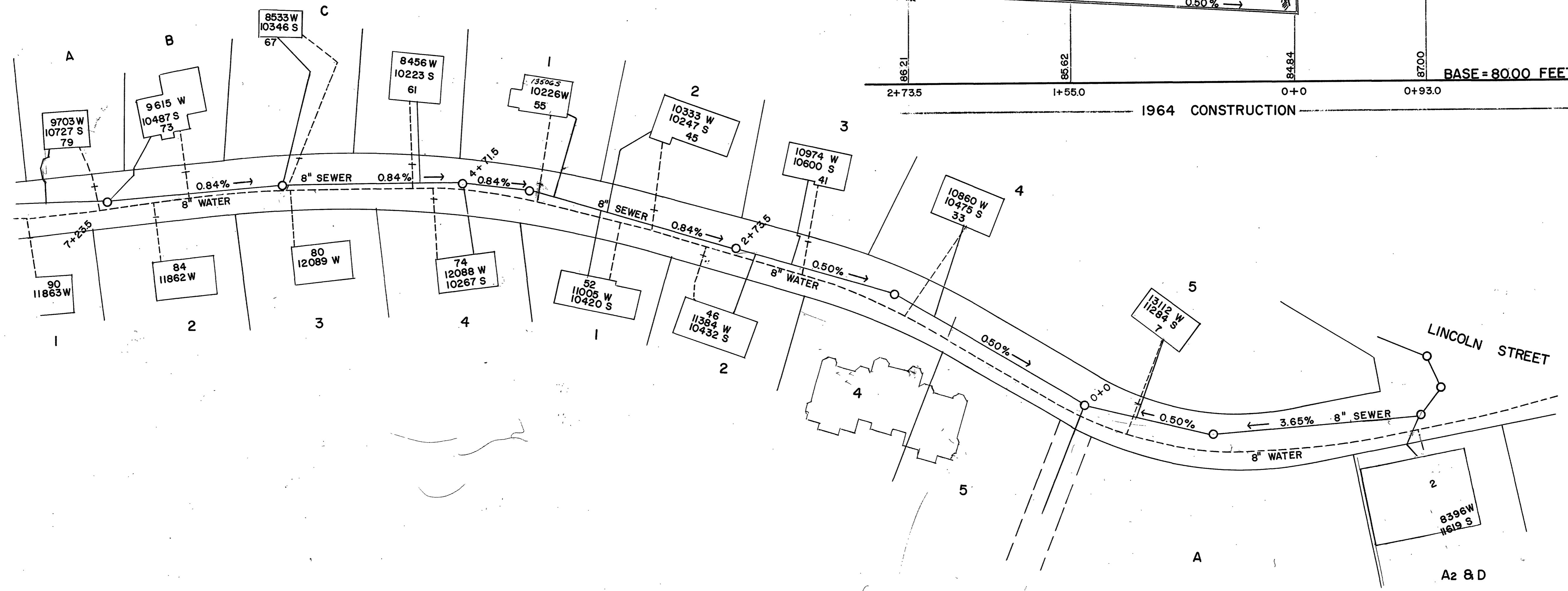
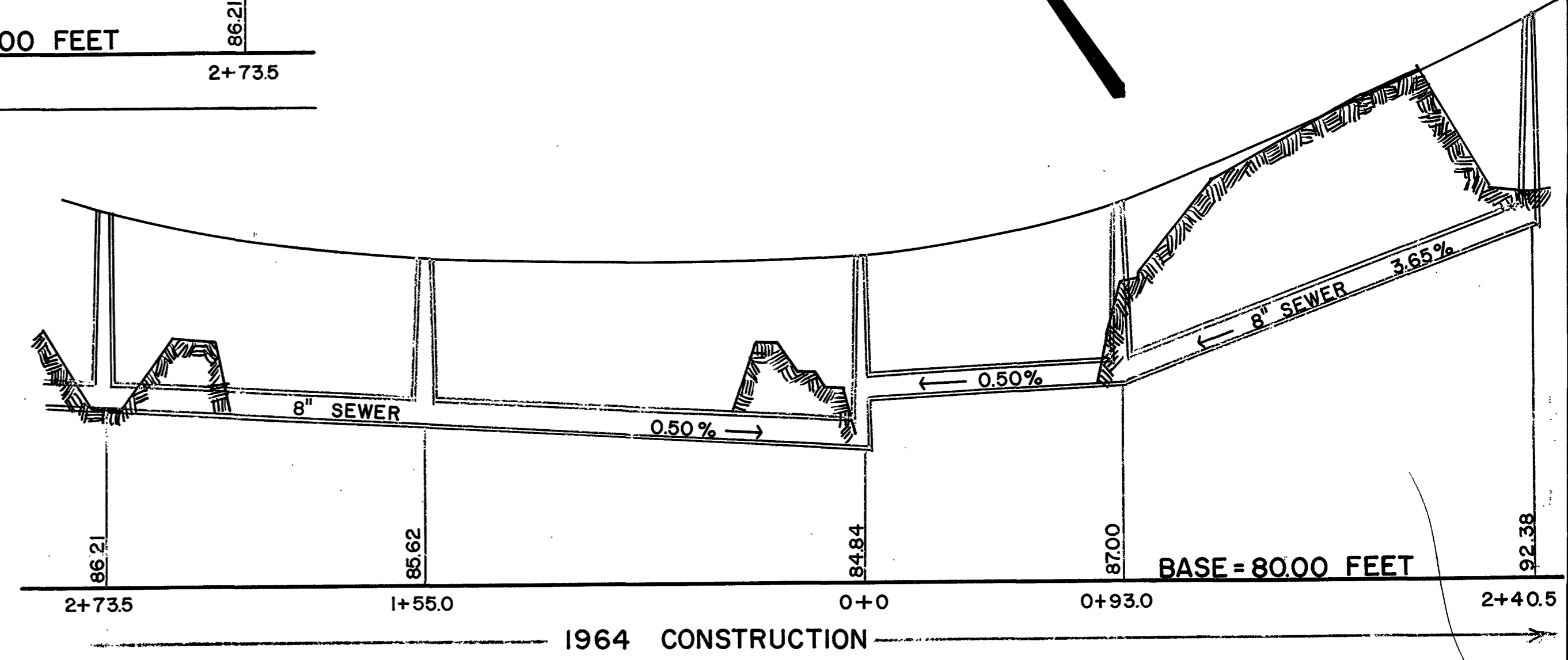
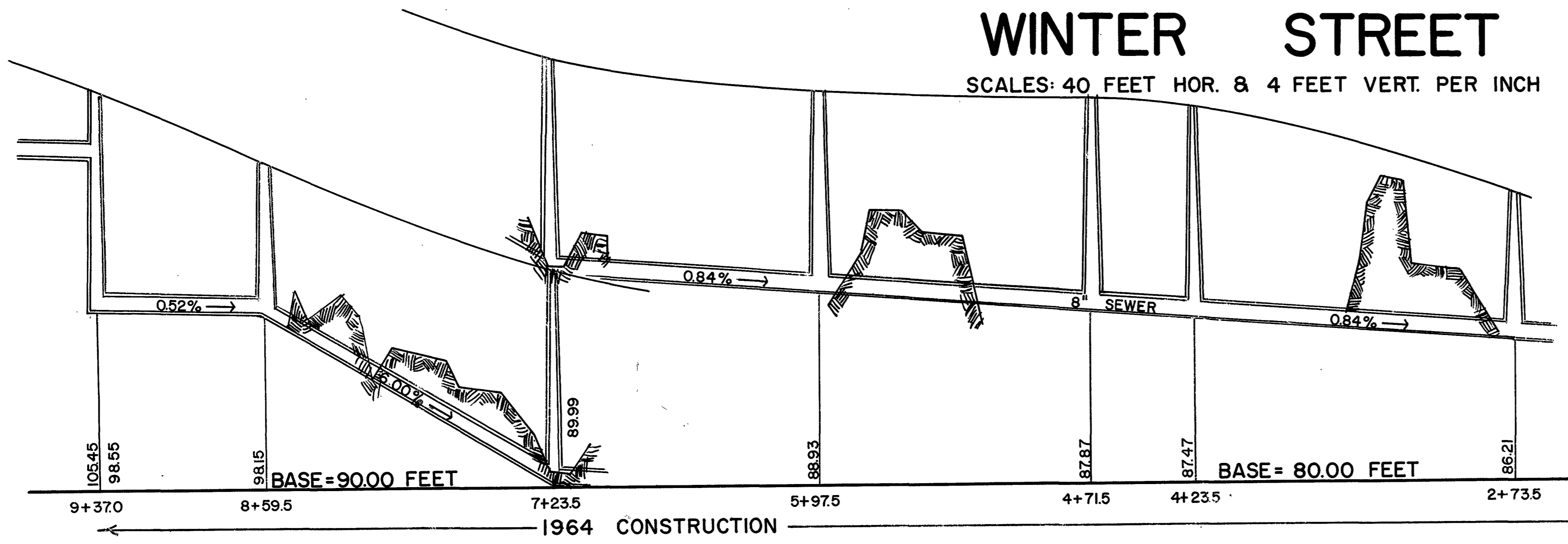
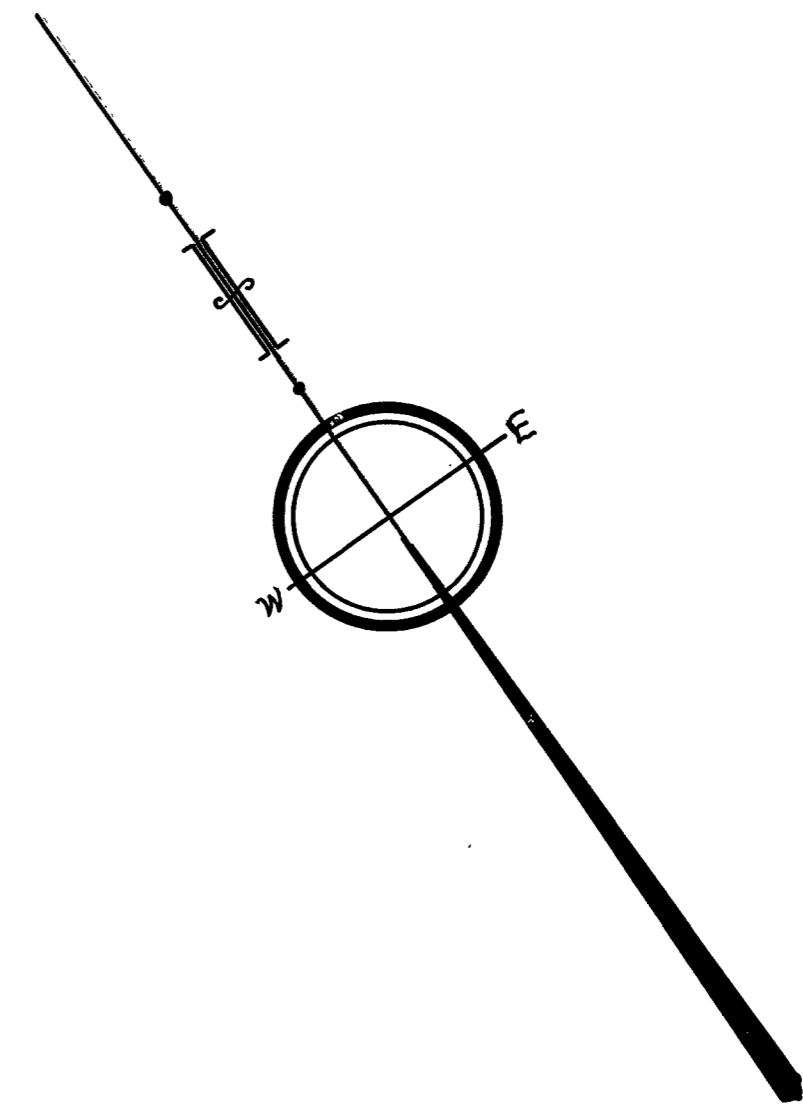
# WINTER STREET SEWER OUTLET

SCALES: 40 FT. HOR. & 4 FT. VERT. PER INCH



# WINTER STREET

SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH

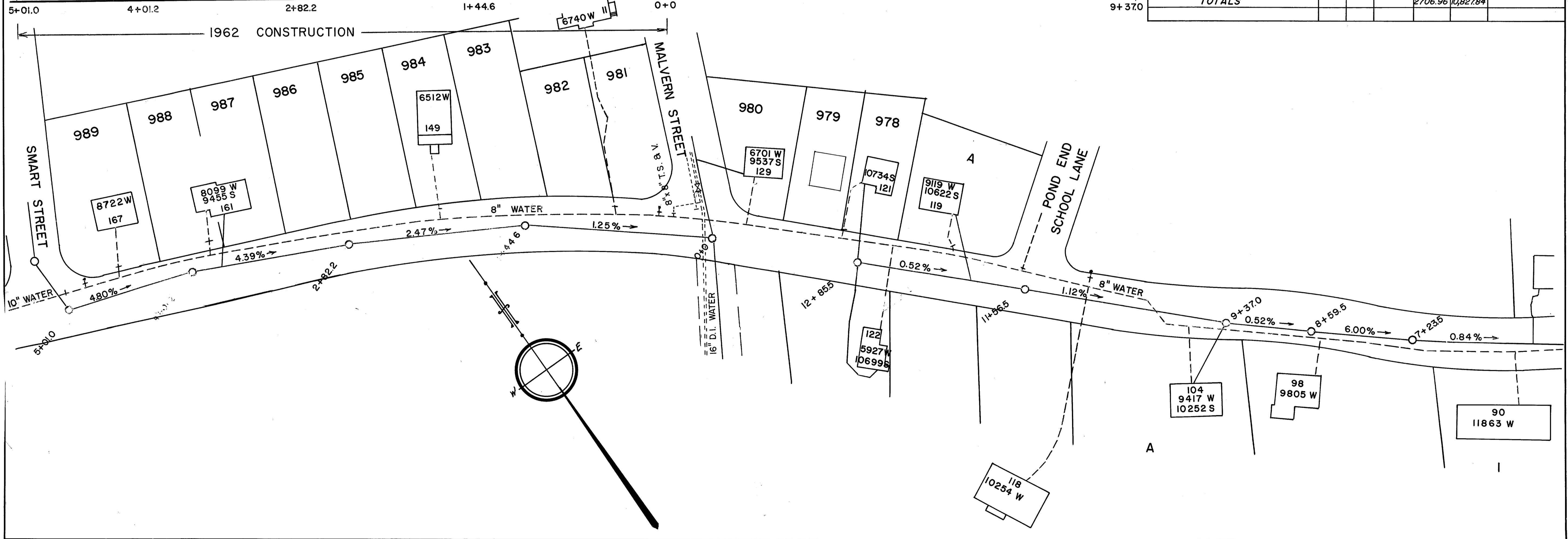
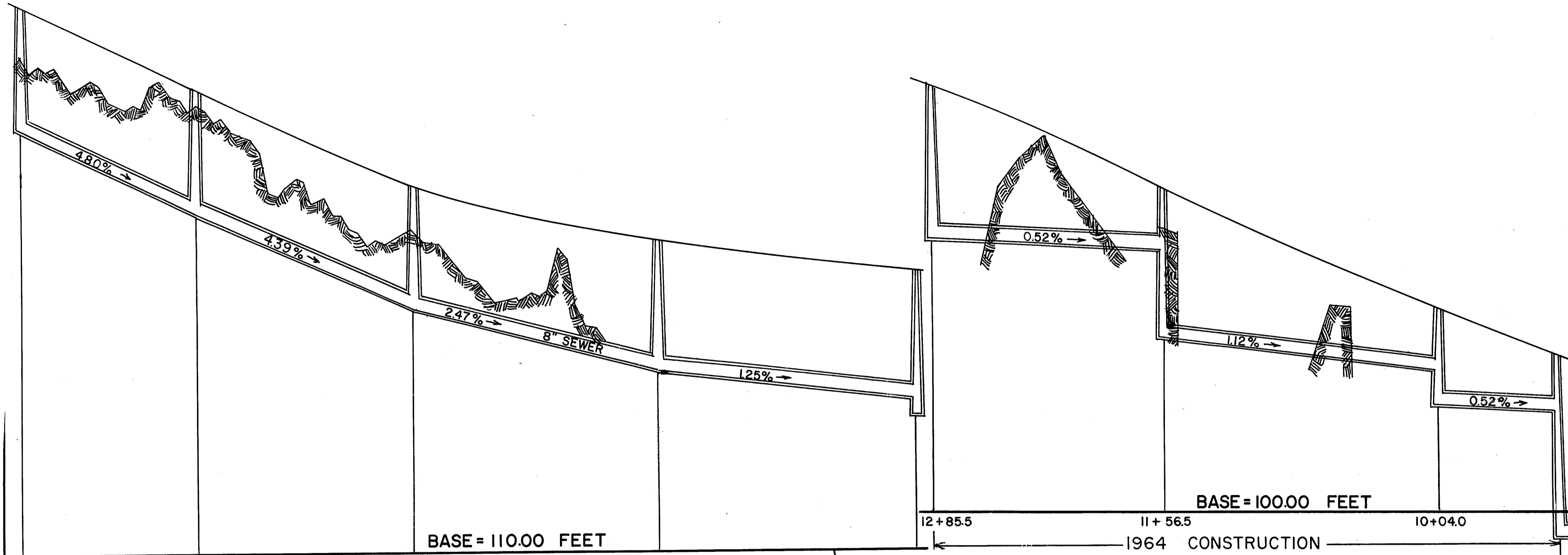


# WINTER STREET

SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH

TABLE OF ASSESSMENTS FOR 1964 CONSTRUCTION  
 CONSTRUCTION ORDER 21200 DATE OF APPROVAL AUG. 11, 1964  
 ASSESSMENT ORDER 21913 DATE OF APPROVAL FEB. 14, 1967  
 TOTAL COST \$ 36,298.46  
 AMOUNT ASSESSED \$ 10,827.84  
 ASSESSMENTS \$ 4.00 PER LINEAR FOOT OF FRONTAGE

| ABUTTER                                | LOT NO.                       | HOUSE NO. | FRONTAGE | FRONTAGE ASSESSED | AMOUNT    | REMARKS                     |
|--|-------------------------------|-----------|----------|-------------------|-----------|-----------------------------|
| <b>SOUTH SIDE</b>                      |                               |           |          |                   |           |                             |
| Wesley D. & Ethel W. Dicks             | A <sub>2</sub> B <sub>D</sub> | 2         | 106.00   | 106.00            | 424.00    |                             |
| John J. Walker                         |                               | 16        | 200.00   | 200.00            | 800.00    |                             |
| William F. & Emily M. Ryan             | 5                             |           | 110.00   | 110.00            | 440.00    |                             |
| William F. & Emily M. Ryan             | 4                             |           | 109.00   | 109.00            | 436.00    |                             |
| Rose Marie Testa                       | 2                             | 46        | 100.00   | 100.00            | 400.00    |                             |
| Thomas F. & Edna M. Bannon             | 1                             | 52        | 112.00   | 112.00            | 448.00    |                             |
| Angelo J. & Anna Mula                  | 4                             | 74        | 100.65   | 100.65            | 402.60    |                             |
| Joseph & Joan P. Composto              | 3                             | 80        | 100.50   | 100.50            | 402.00    |                             |
| Helen Pappas                           | 2                             | 84        | 100.00   | 100.00            | 400.00    |                             |
| Anthony & Michelina D'Amore            | 1                             | 90        | 109.90   | 109.90            | 439.60    |                             |
| Henri Albert & Lucie E. Robert         |                               | 98        | 148.00   | 148.00            | 592.00    |                             |
| Antonio J. & Rosalie M. Giardina       | A                             | 104       | 110.00   | 110.00            | 440.00    |                             |
| Arthur E. & Ina M. Chandonait          | A&B                           | 118       | 145.00   | 145.00            | 580.00    |                             |
| James A. & Shirley M. Casella          |                               | 122       | 87.00    | 87.00             | 348.00    |                             |
| <b>NORTH SIDE</b>                      |                               |           |          |                   |           |                             |
| Carmello & Matilda L. Casella          | 978                           | 121       | 45.00    | 45.00             | 180.00    |                             |
| Edna F. Lee <sup>AKA</sup> F. Edna Lee | A                             | 119       | 82.98    | 82.98             | 331.98    | SHORT SIDE LOT LINE TO I.Y. |
| Herbert W. 2nd & Gail I. Gallagher     | A                             | 79        | 70.25    | 70.25             | 281.00    |                             |
| Henry C. & Audrey F. Lang              | B                             | 73        | 70.25    | 70.25             | 281.00    |                             |
| William G. & M. Lois Christie          | C                             | 67        | 90.89    | 90.89             | 363.56    |                             |
| William J. & Eleanor B. Upham          |                               | 61        | 75.00    | 75.00             | 300.00    |                             |
| Herbert R. & Winifred M. Swyers        | 1                             | 55        | 100.05   | 100.05            | 400.20    |                             |
| William C. & Mary A. Nestor            | 2                             | 45        | 105.80   | 105.80            | 423.20    |                             |
| Louis & Mary Marcolina                 | 3                             | 41        | 94.93    | 94.93             | 379.72    |                             |
| Frank W. & Florence M. Coughy          | 4                             | 33        | 117.76   | 117.76            | 471.04    |                             |
| Reuben H. & Margaret E. Coughy         | 5                             |           | 276.00   | 216.00            | 864.00    | AREA # 100                  |
| <b>TOTALS</b>                          |                               |           |          | 2706.96           | 10,827.84 |                             |

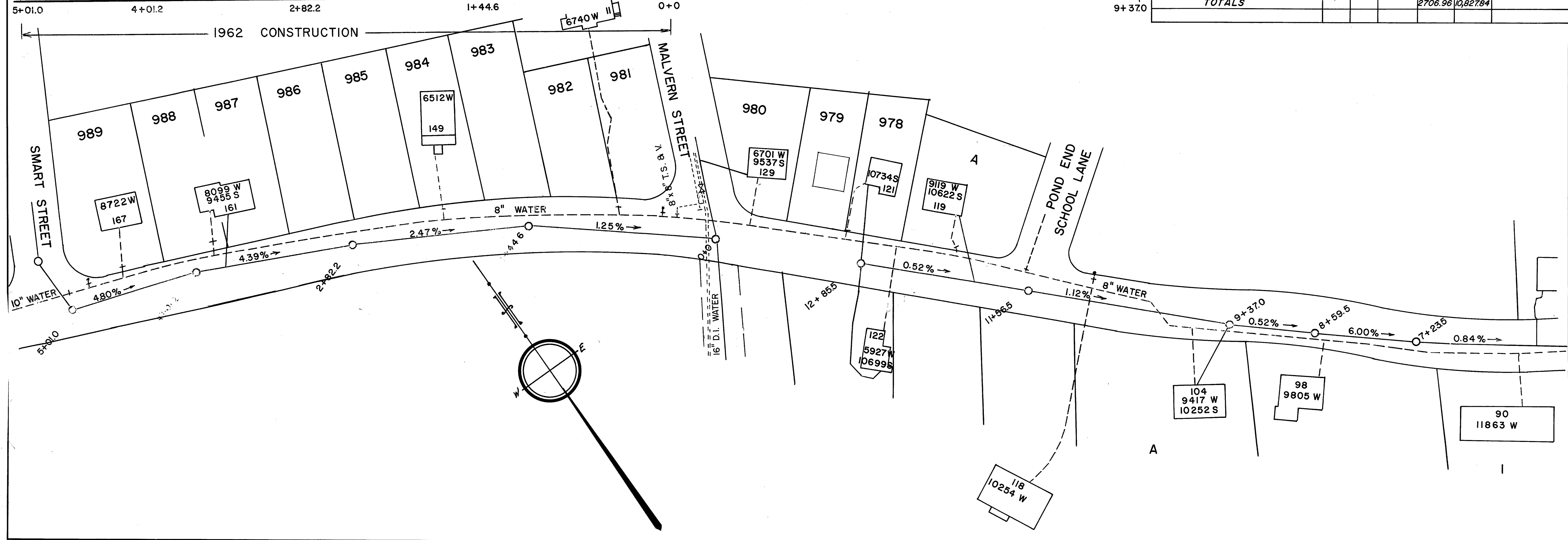
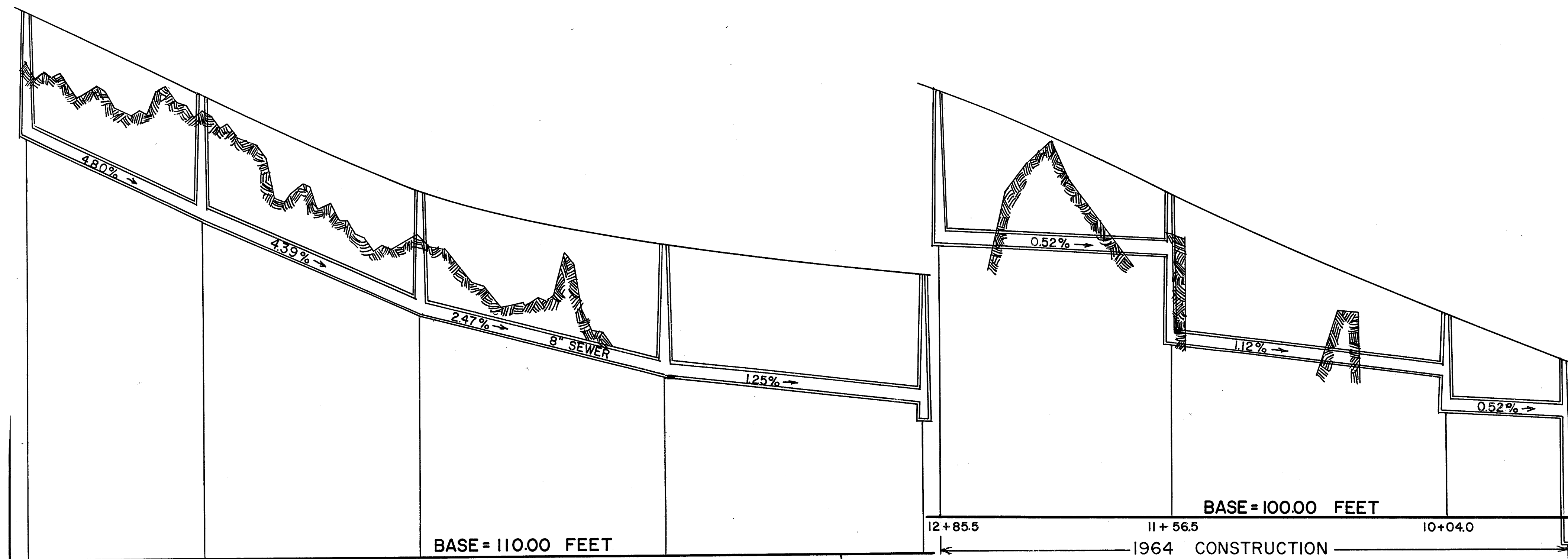


# WINTER STREET

SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH

**TABLE OF ASSESSMENTS FOR 1964 CONSTRUCTION**  
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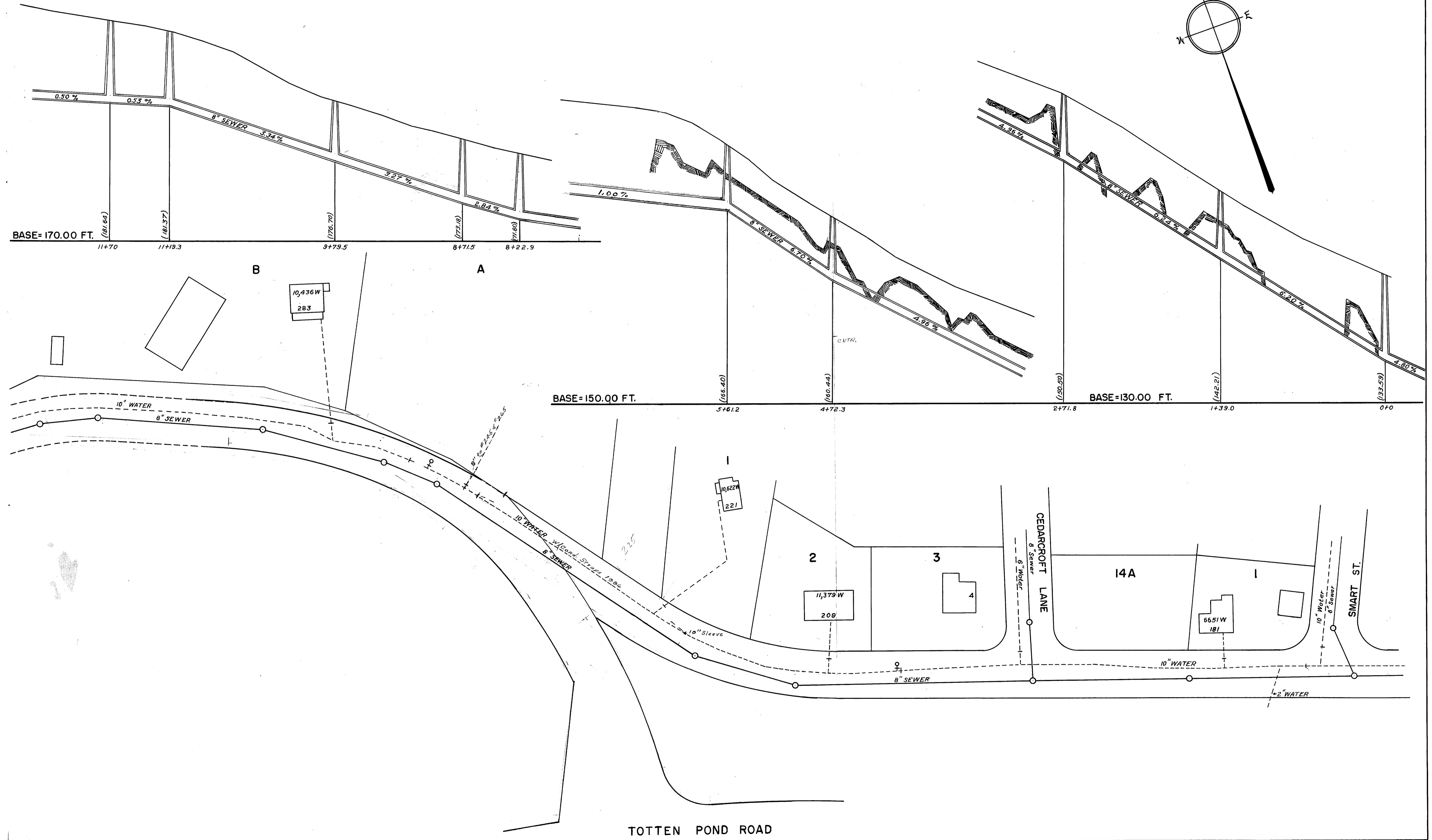
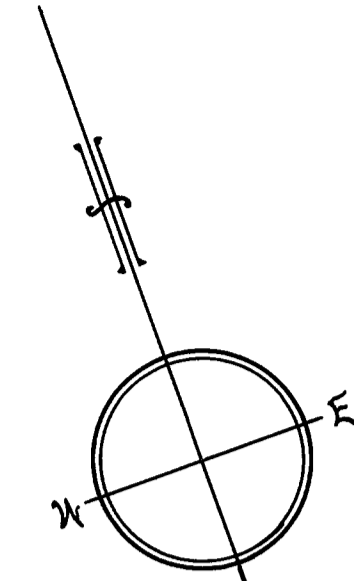
| ABUTTER                            | LOT NO. | HOUSE NO. | FRONTAGE | FRONTAGE ASSESSED | AMOUNT    | REMARKS                   |
|------------------------------------|---------|-----------|----------|-------------------|-----------|---------------------------|
| <b>SOUTH SIDE</b>                  |         |           |          |                   |           |                           |
| Wesley D. & Ethel W. Dicks         | A, B, D | 2         | 106.00   | 106.00            | 424.00    |                           |
| John J. Walker                     |         | 16        | 200.00   | 200.00            | 800.00    |                           |
| William F. & Emily M. Ryan         | 5       |           | 110.00   | 110.00            | 440.00    |                           |
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| Rose Marie Testa                   | 2       | 46        | 100.00   | 100.00            | 400.00    |                           |
| Thomas F. & Edna M. Bannon         | 1       | 52        | 112.00   | 112.00            | 448.00    |                           |
| Angelo J. & Anna Mula              | 4       | 74        | 100.65   | 100.65            | 402.60    |                           |
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| James A. & Shirley M. Casella      |         | 122       | 87.00    | 87.00             | 348.00    |                           |
| <b>NORTH SIDE</b>                  |         |           |          |                   |           |                           |
| Carmello & Matilda L. Casella      | 978     | 121       | 45.00    | 45.00             | 180.00    |                           |
| Edna F. Lee & F. Edna Lee          | A       | 119       | 82.98    | 82.98             | 331.98    | SHORT SIDE LOT LINE TO LY |
| Herbert W. 2nd & Gail I. Gallagher | A       | 79        | 70.25    | 70.25             | 281.00    |                           |
| Henry C. & Audrey F. Lang          | B       | 73        | 70.25    | 70.25             | 281.00    |                           |
| William G. & M. Lois Christie      | C       | 67        | 90.89    | 90.89             | 363.56    |                           |
| William J. & Eleanor B. Upham      |         | 61        | 75.00    | 75.00             | 300.00    |                           |
| Herbert R. & Winifred M. Swyers    | 1       | 55        | 100.05   | 100.05            | 400.20    |                           |
| William C. & Mary A. Nestor        | 2       | 45        | 105.80   | 105.80            | 423.20    |                           |
| Louis & Mary Marcolina             | 3       | 41        | 94.93    | 94.93             | 379.72    |                           |
| Frank W. & Florence M. Coughy      | 4       | 33        | 117.76   | 117.76            | 471.04    |                           |
| Reuben H. & Margaret E. Coughy     | 5       |           | 276.00   | 216.00            | 864.00    | AREA 1/100                |
| <b>TOTALS</b>                      |         |           |          | 2706.96           | 10,827.84 |                           |





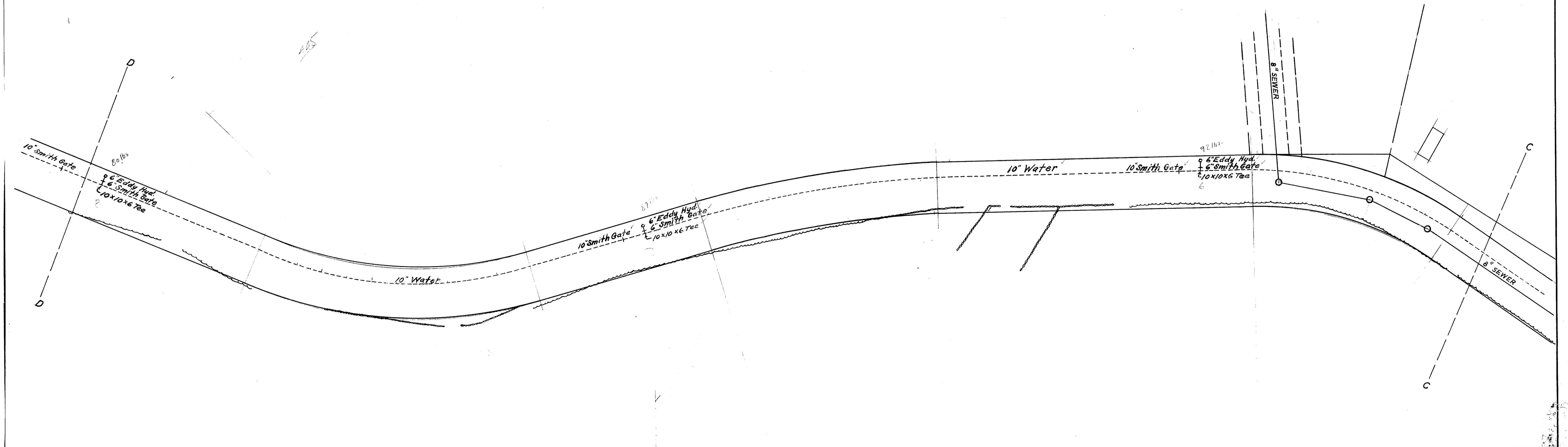
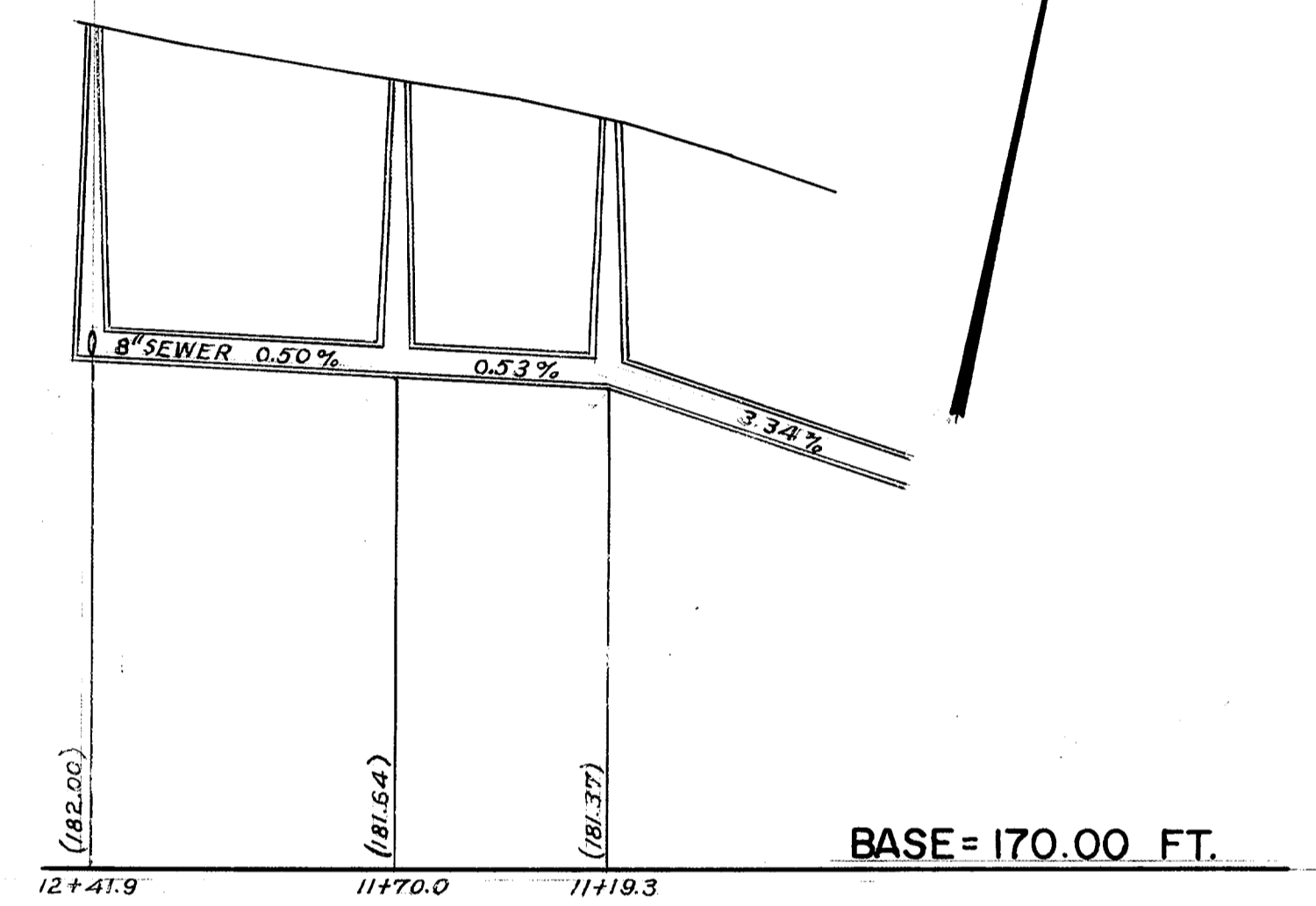
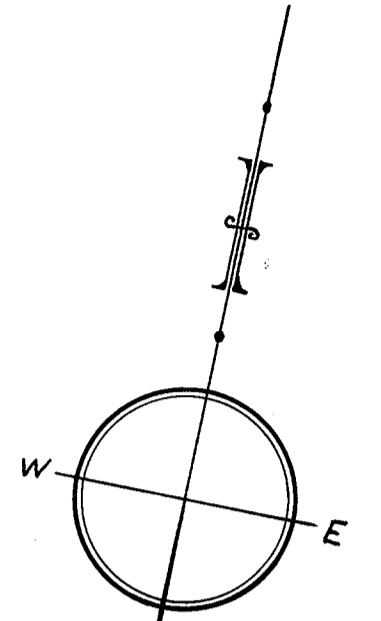
# WINTER STREET

SCALES: 1 INCH=40 FT. HOR. 8 4 FT. VERT.



# WINTER ST.

Scales: 40 ft. Hor. & 4 ft. Vert. per inch





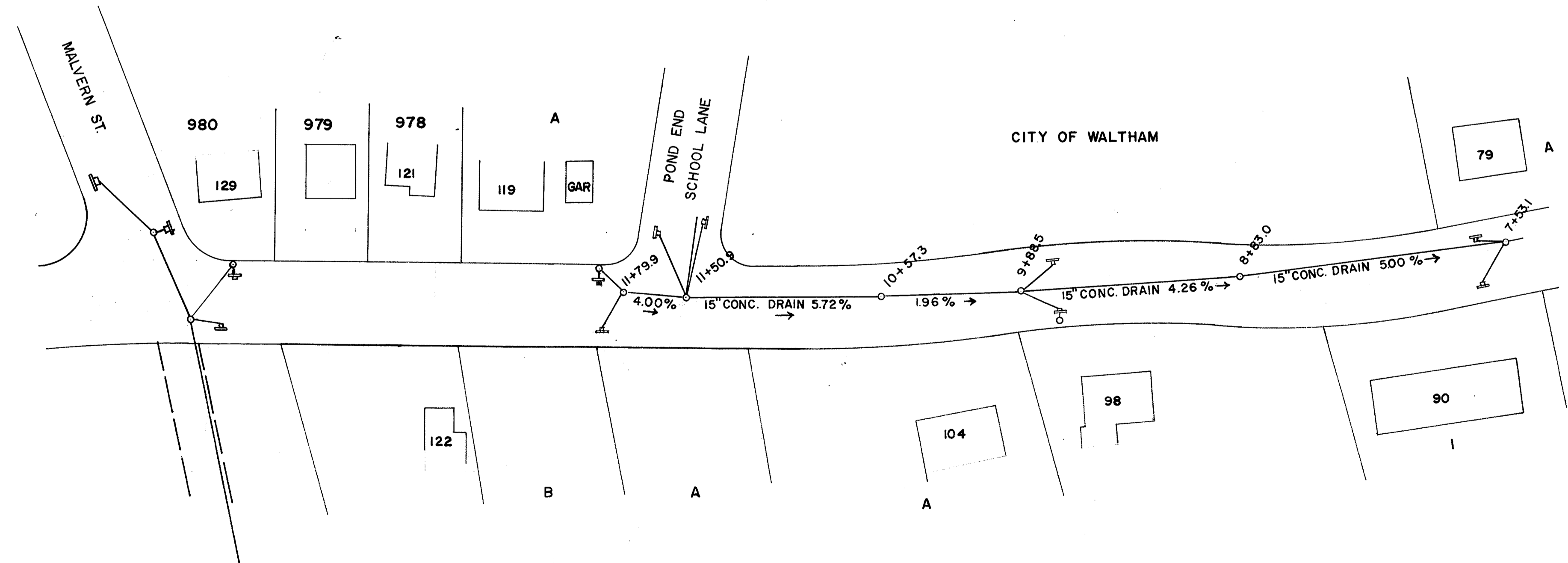
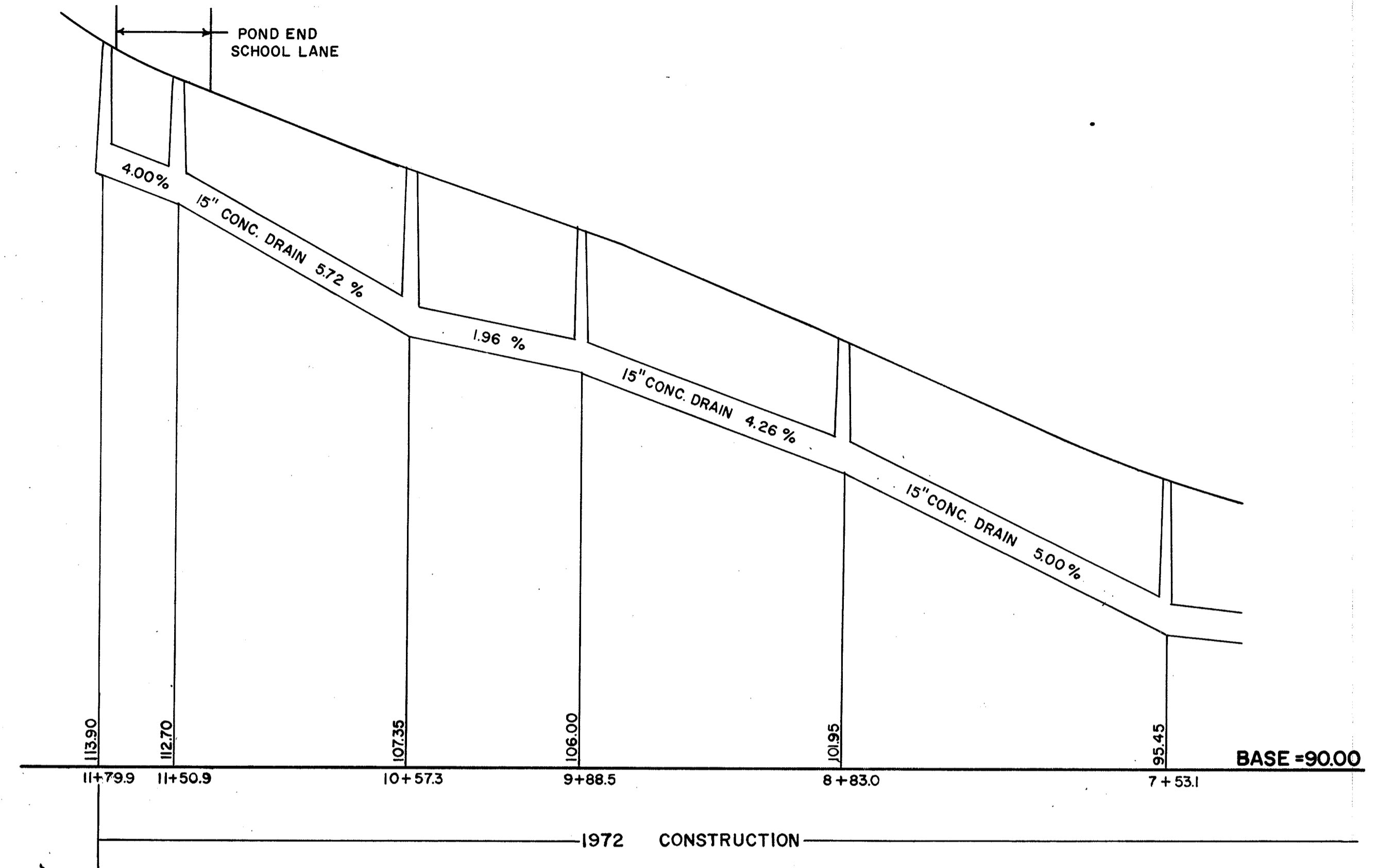
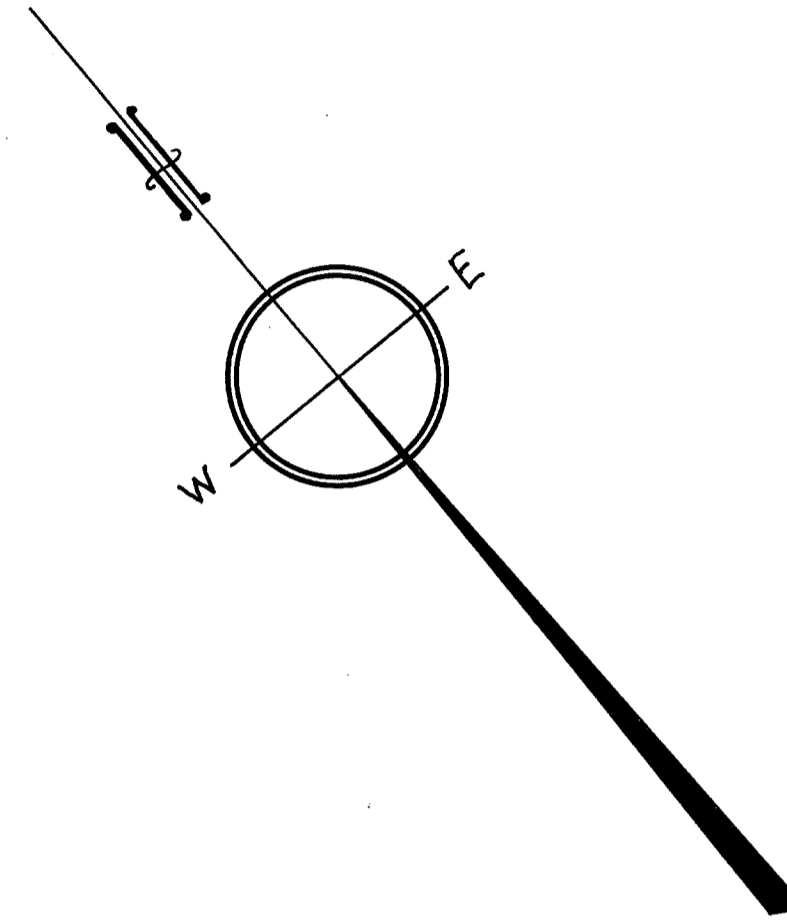


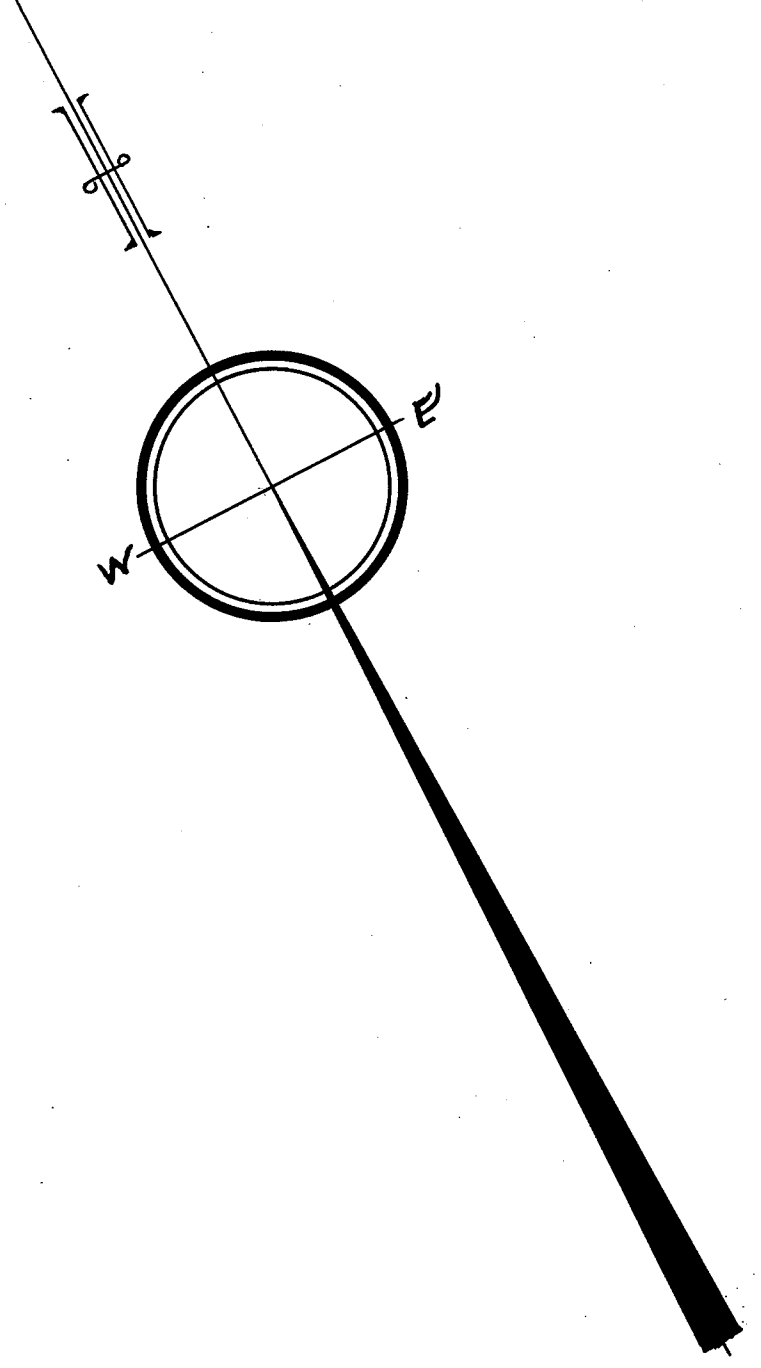




# WINTER STREET DRAIN

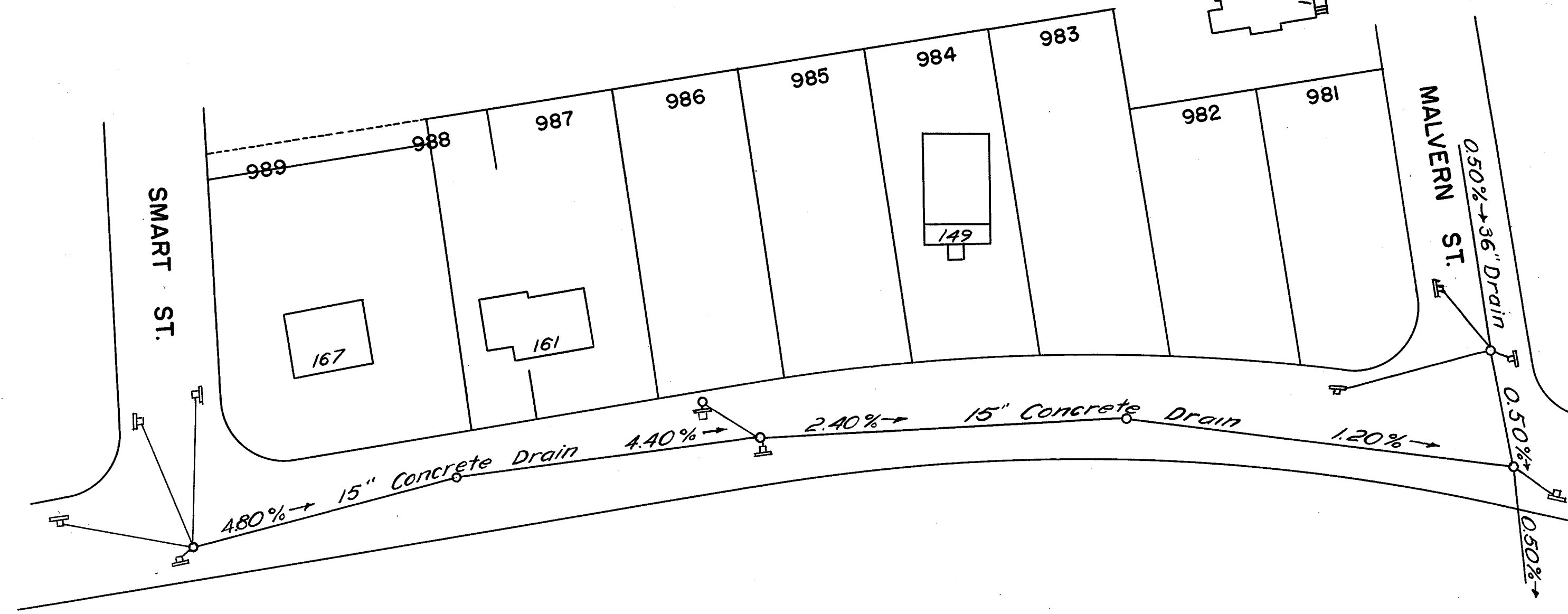
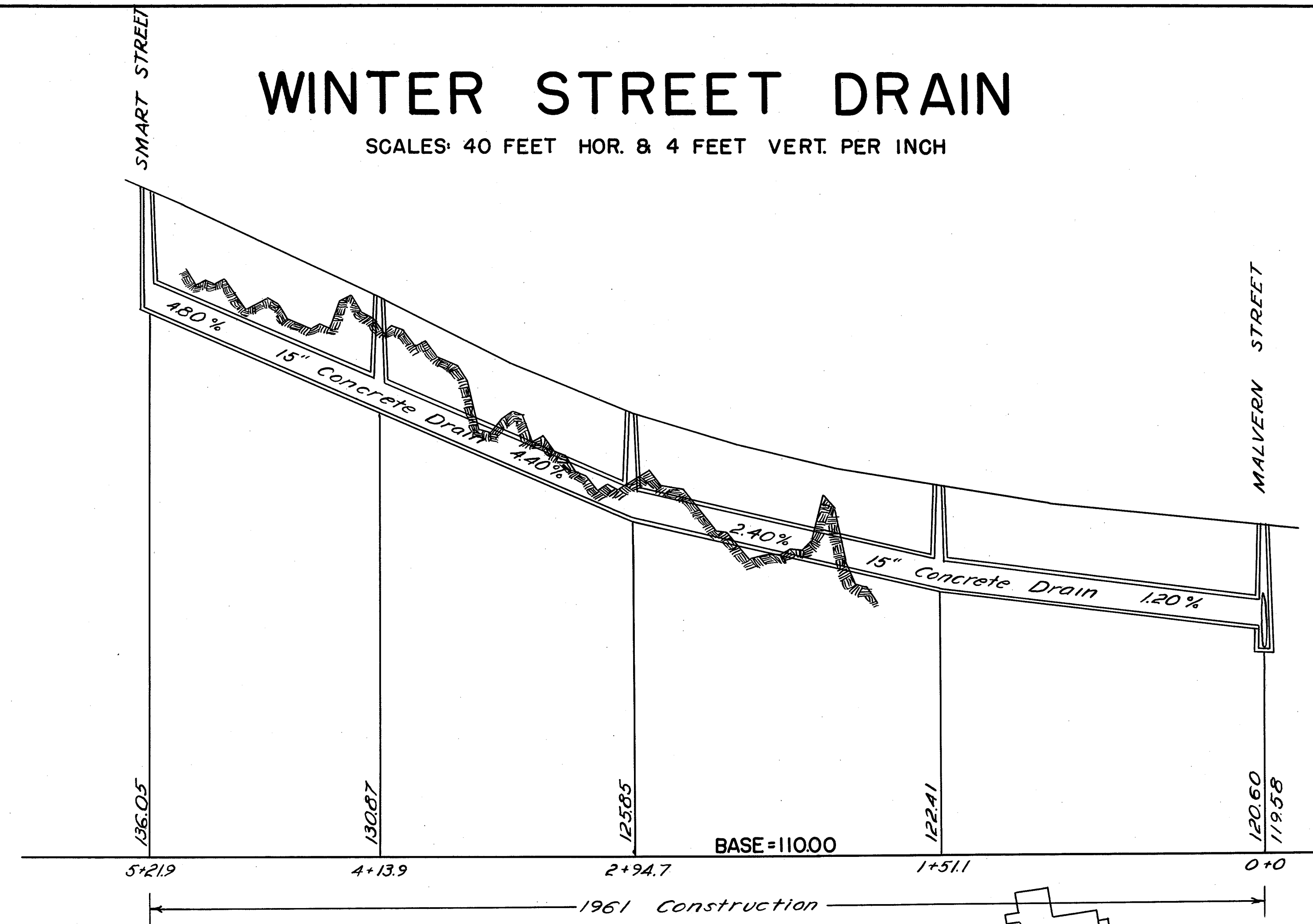
SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH





# WINTER STREET DRAIN

SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH

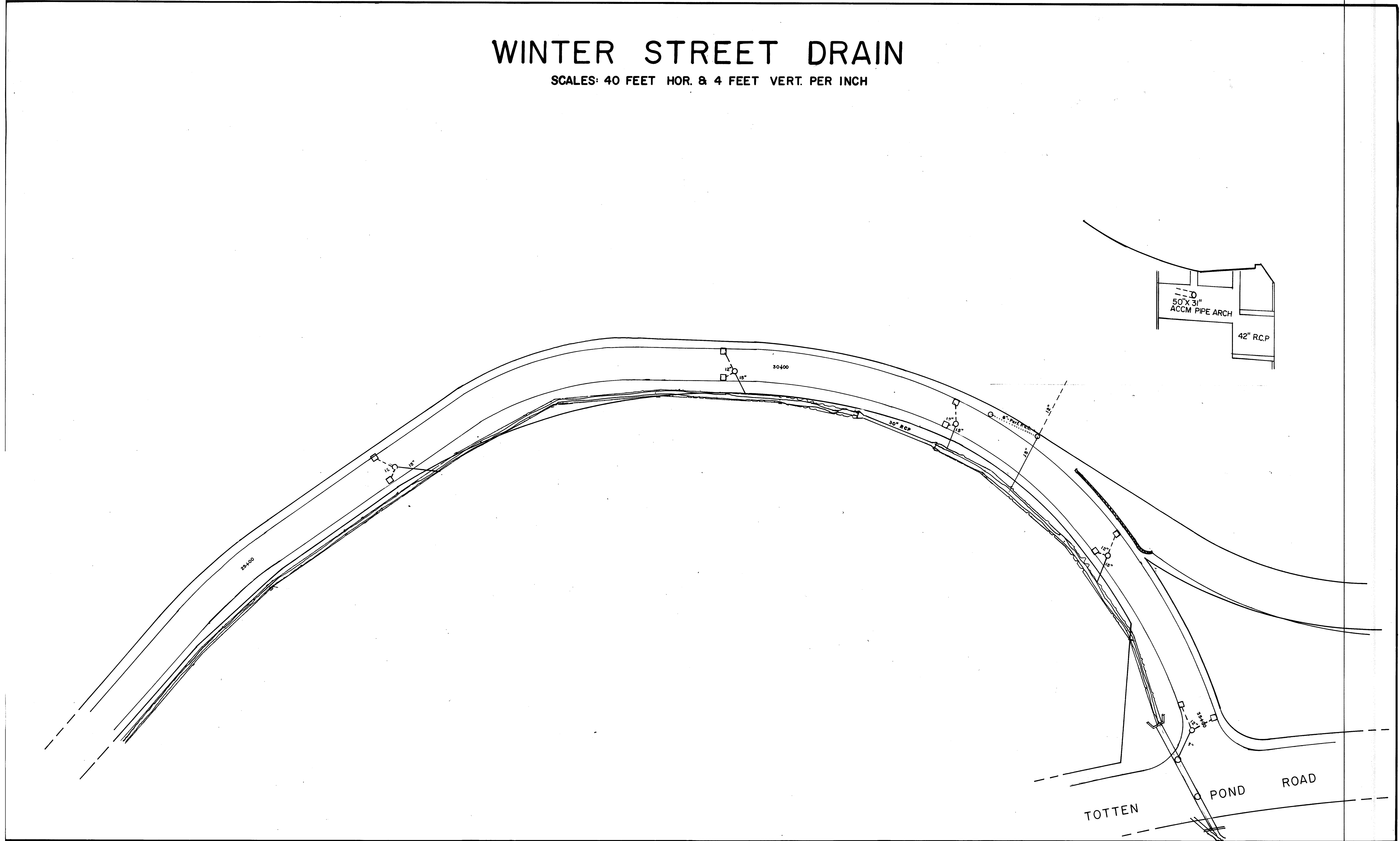




Winter Street (E)  
Drain  
Totten Pond - Half way

# WINTER STREET DRAIN

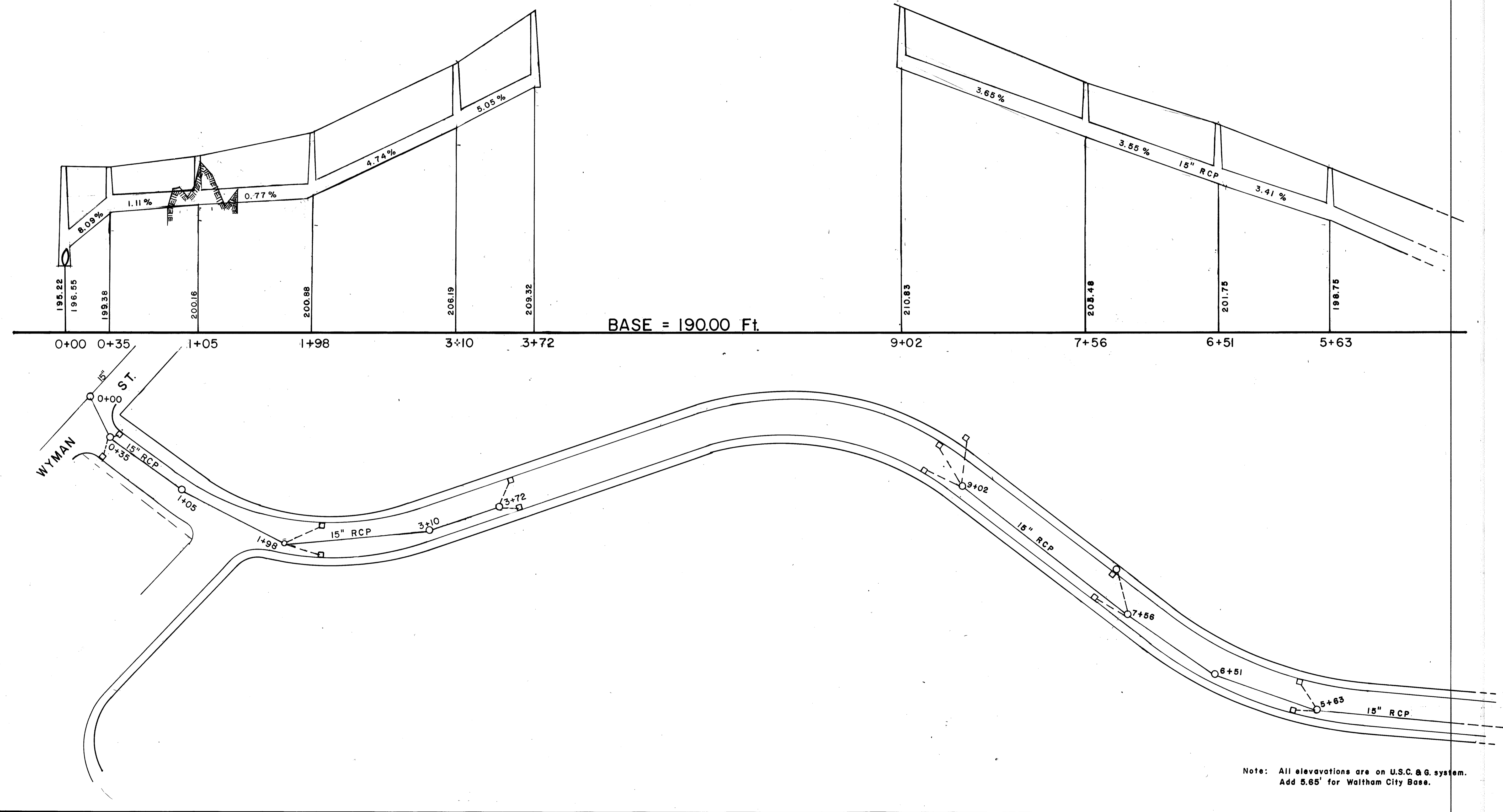
SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH



Winter Street (F)  
 Drain  
 Half way - Wyman St.

# WINTER STREET DRAIN

SCALES: 40 FEET HOR. & 4 FEET VERT. PER INCH

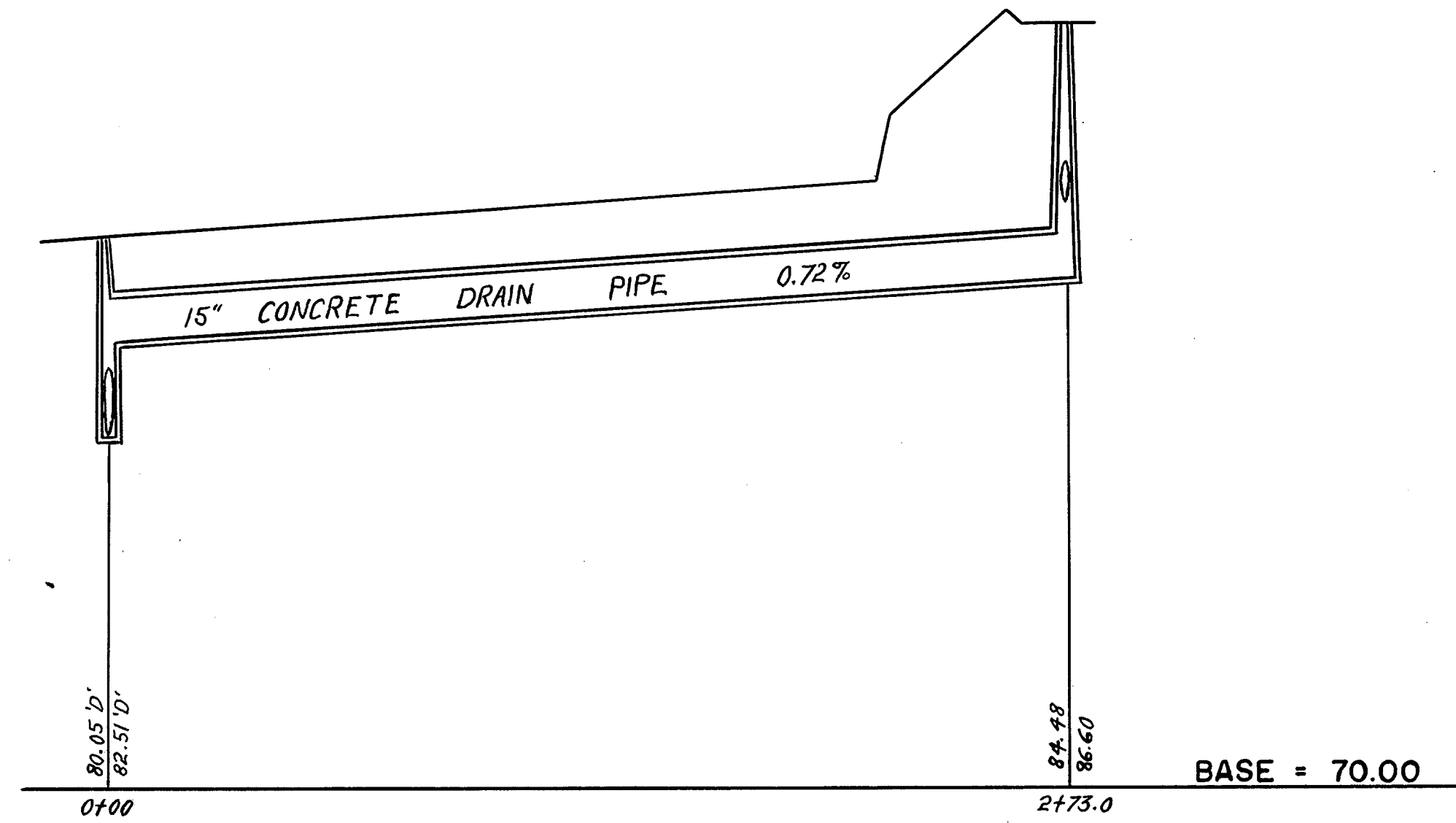


Note: All elevations are on U.S.C. & G. system.  
 Add 5.65' for Waltham City Base.

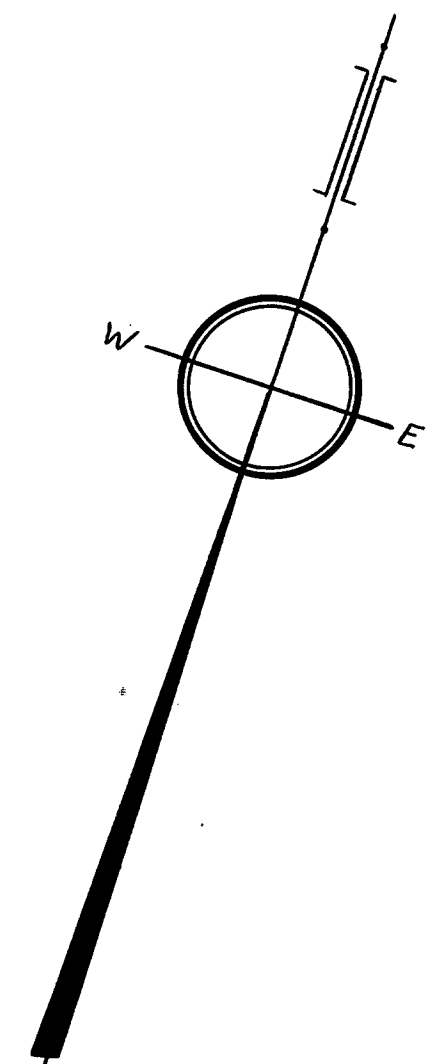
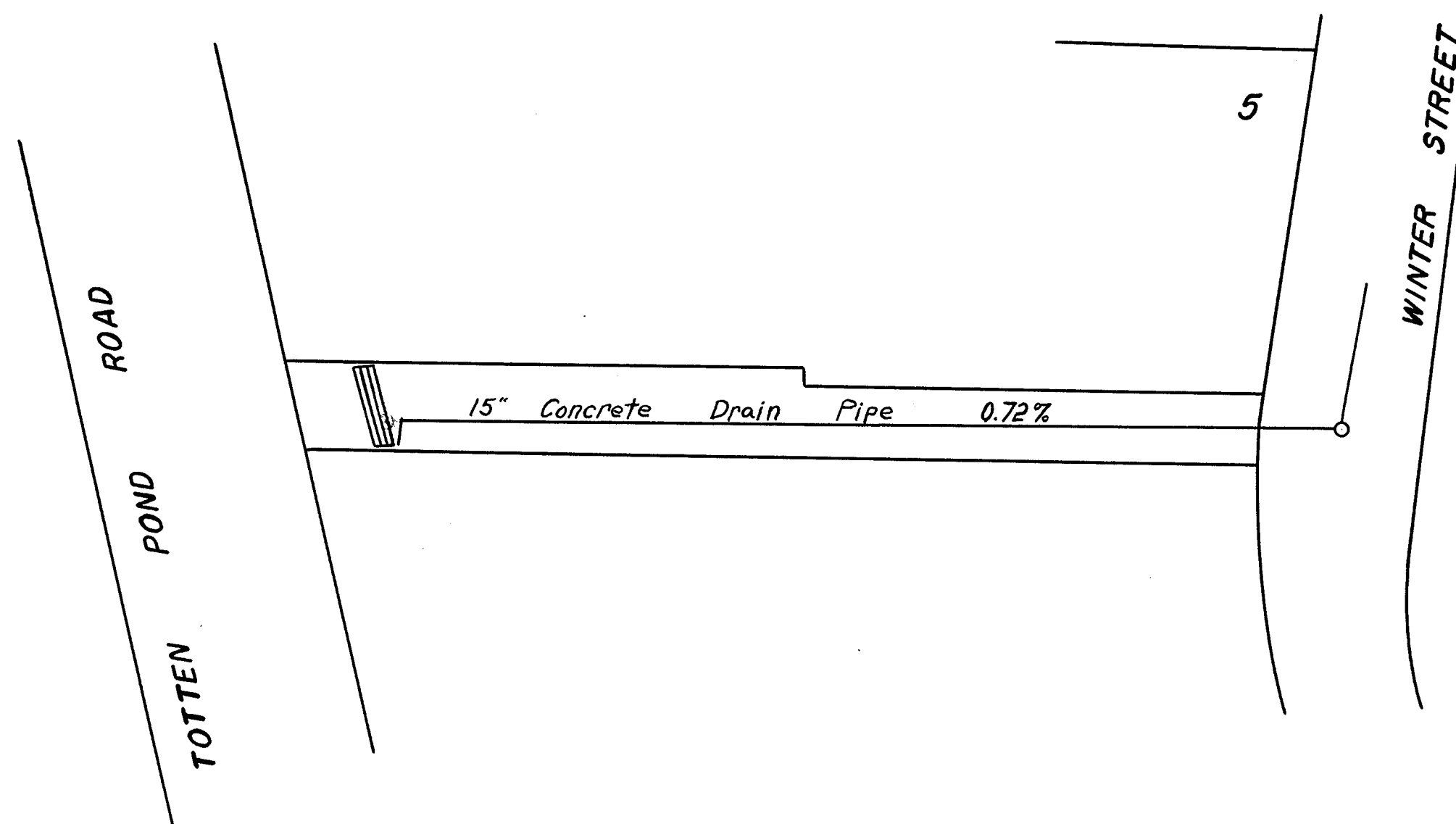
Winter Street (M)  
Drain / Outlet  
To Totten Pond Rd.

# WINTER STREET OUTLET

SCALES: 40 FT. HOR. & 4 FT. VERT. PER INCH

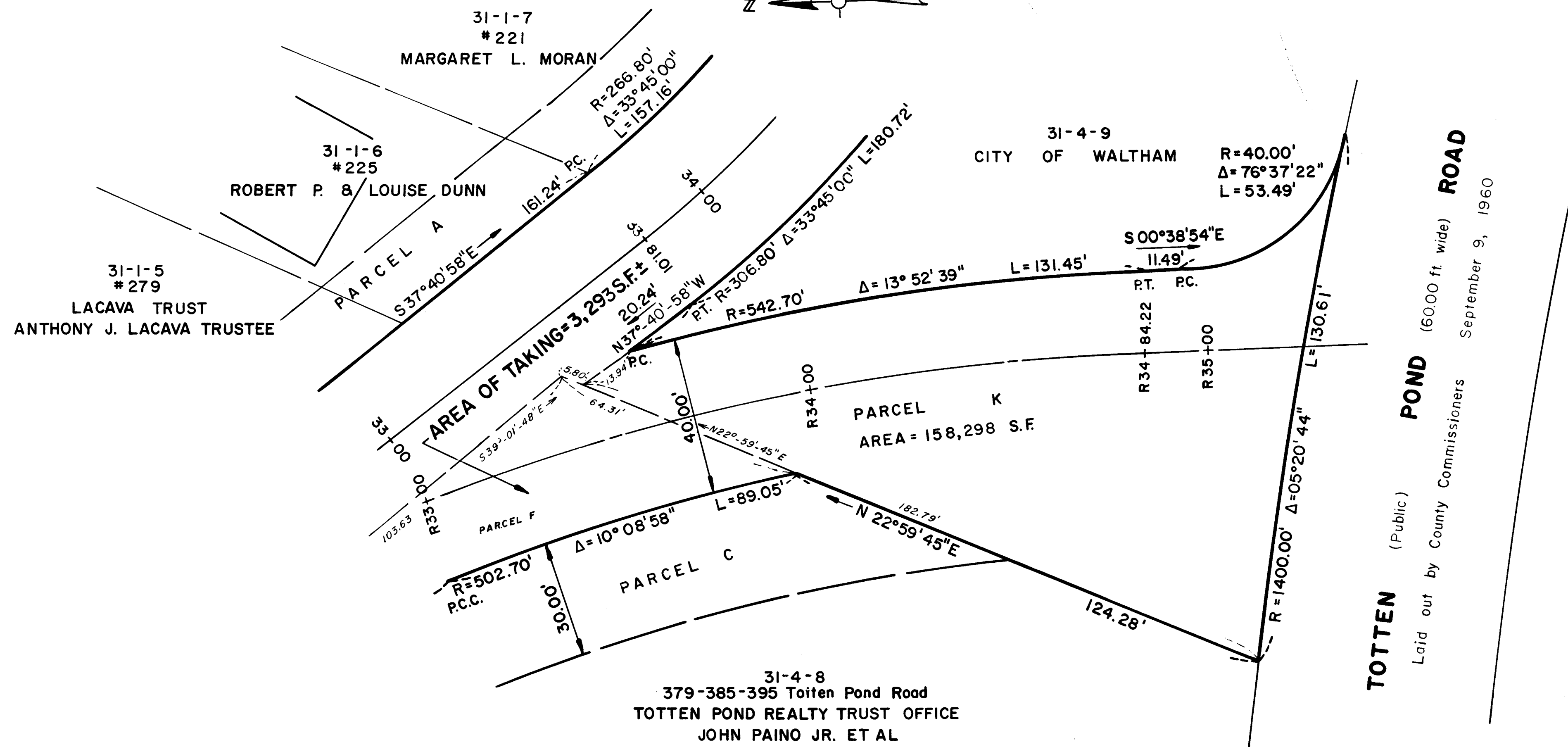
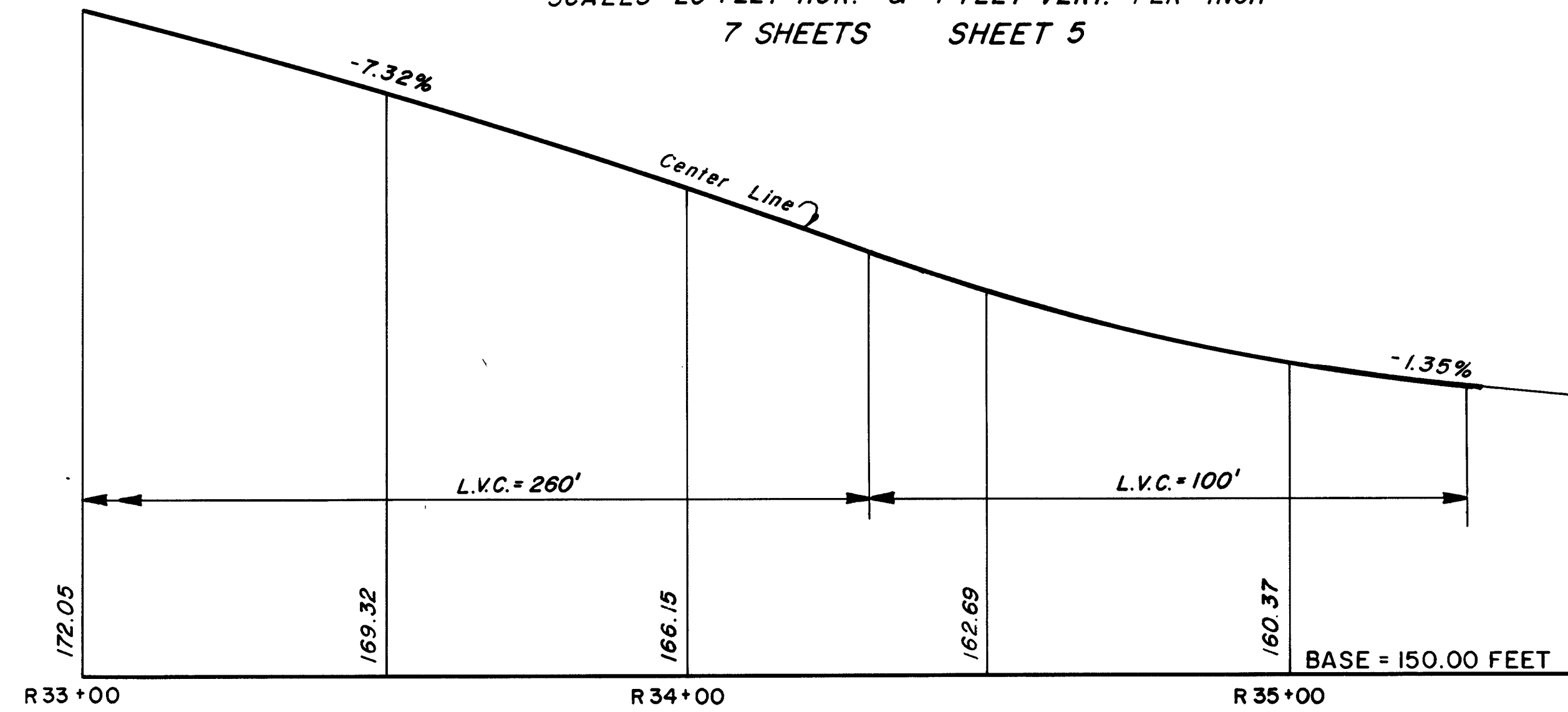


1964 CONSTRUCTION



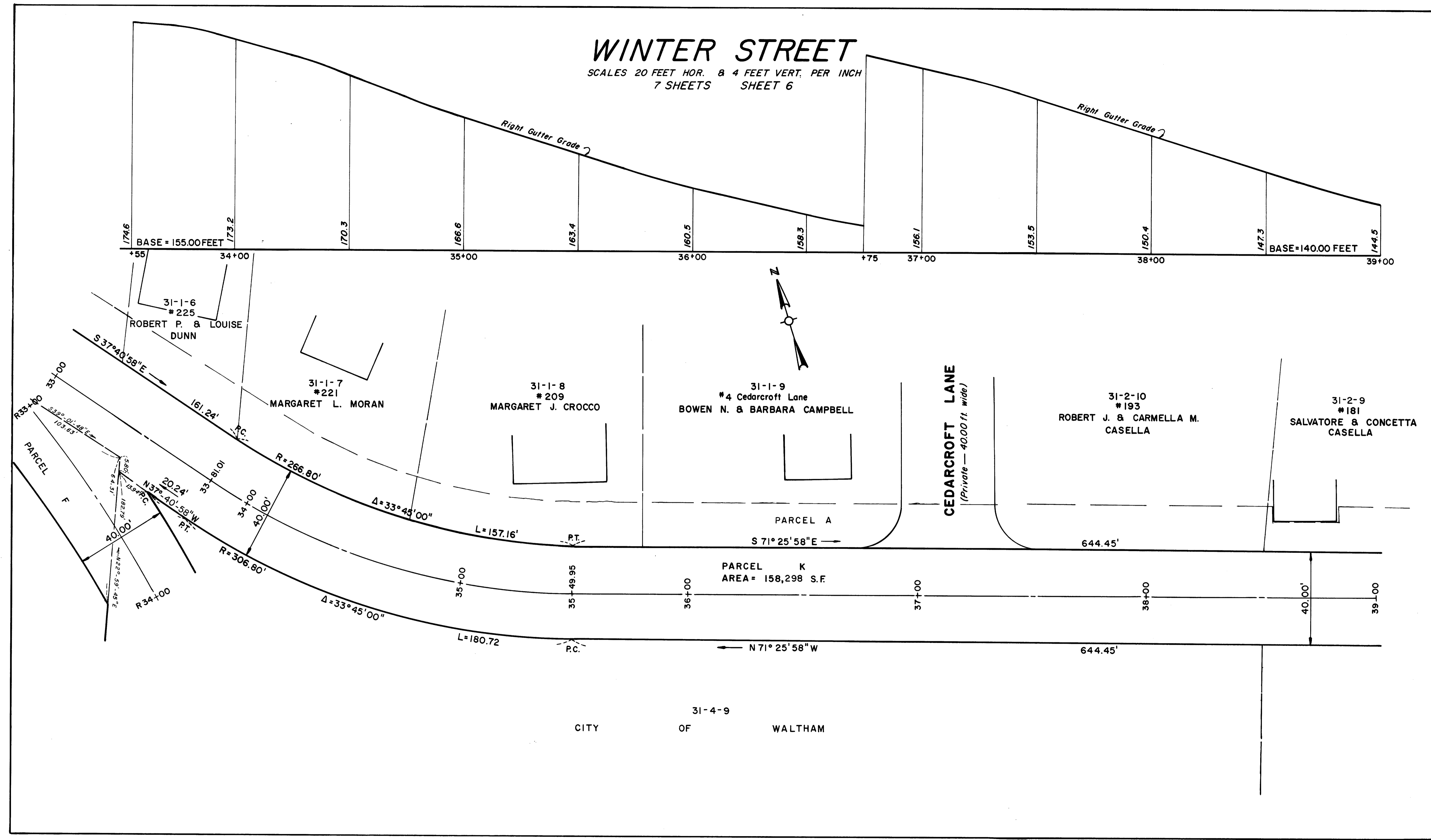
# WINTER STREET

SCALES 20 FEET HOR. & 4 FEET VERT. PER INCH  
7 SHEETS SHEET 5



# WINTER STREET

SCALES 20 FEET HOR. & 4 FEET VERT. PER INCH  
7 SHEETS SHEET 6



CITY OF WALTHAM