

THE CITY OF WALTHAM
MASSACHUSETTS

PURCHASING DEPARTMENT

Roof Replacement, Police Station – APRIL 2012

ADDENDUM NO. 1

April 11, 2011

CHANGES, CORRECTIONS AND CLARIFICATIONS

The attention of bidders submitting proposals for the above subject project is called to the following addendum to the specifications. The items set forth herein, whether of omission, addition, substitution or clarification are all to be included in and form a part of the proposal submitted.

THE NUMBER OF THIS ADDENDUM (NO. 1) MUST BE ENTERED ON PAGE 12 OF THE BID FORM DOCUMENT 004113

ITEM NO.: 1 **DELETE DRAWINGS SECTION**

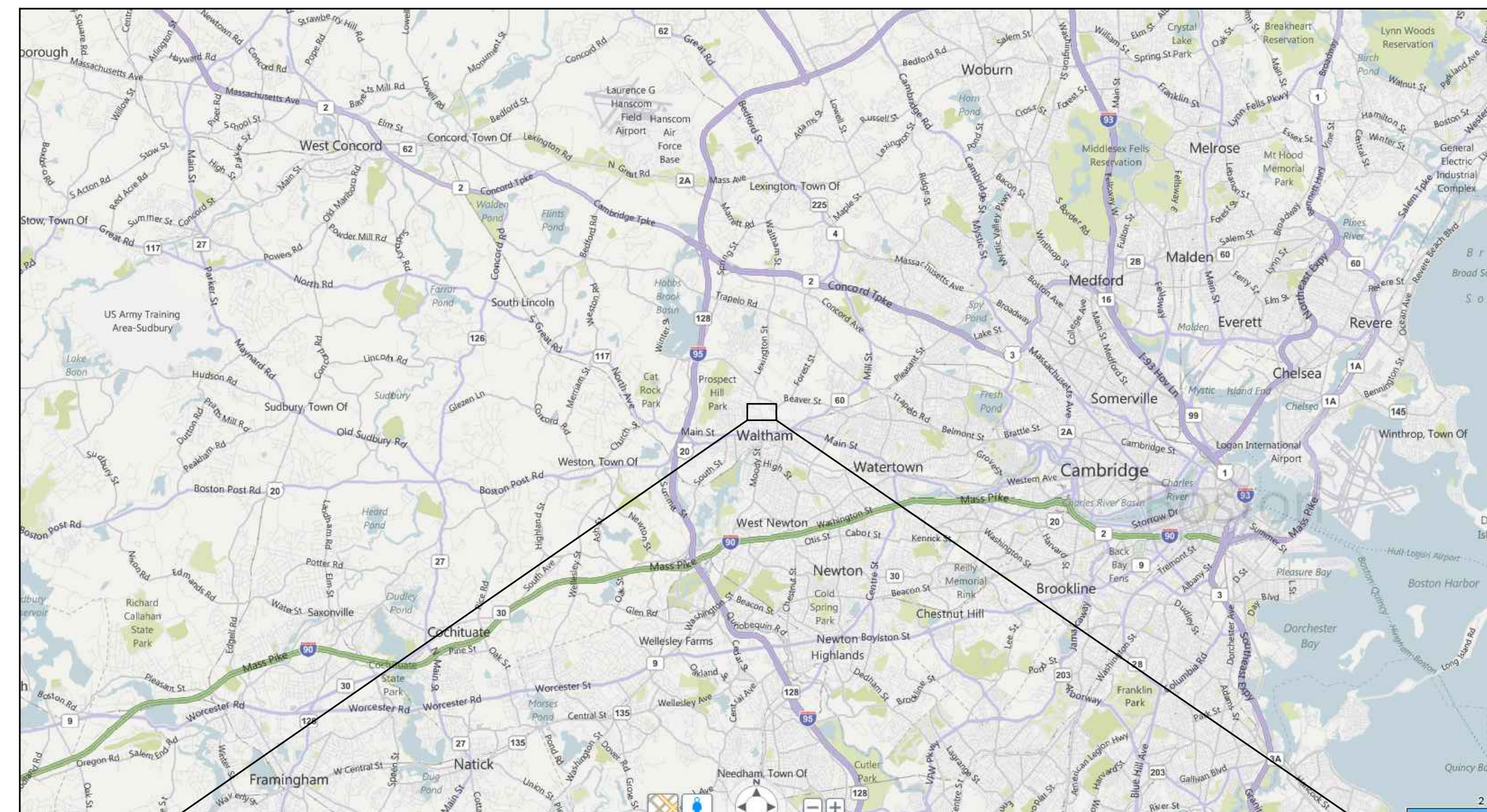
PLEASE DELETE THE CURRENT DRAWING SECTION PAGES 137 THROUGH 140 IN THE PRESENT BID PACKET AND REPLACE AS INSTRUCTED IN ITEM 2.

ITEM NO.: 2 **REPLACE DRAWINGS SECTION**

REPLACE THE CURRENT DRAWING SECTION PAGES 137 THROUGH 140 IN THE PRESENT BID PACKET WITH THE FOLLOWING UPDATED DRAWINGS.

END OF ADDENDUM 1

City of Waltham Waltham Police Station Roof Replacement 155 Lexington Street Waltham, Massachusetts 02453



VICINITY MAP



LOCUS MAP

LIST OF DRAWINGS

GENERAL

COVER SHEET

ARCHITECTURAL

- A-001 OVERALL ROOF PLAN - DEMOLITION
- A-002 ROOF PLAN
- A-003 ROOF DETAILS

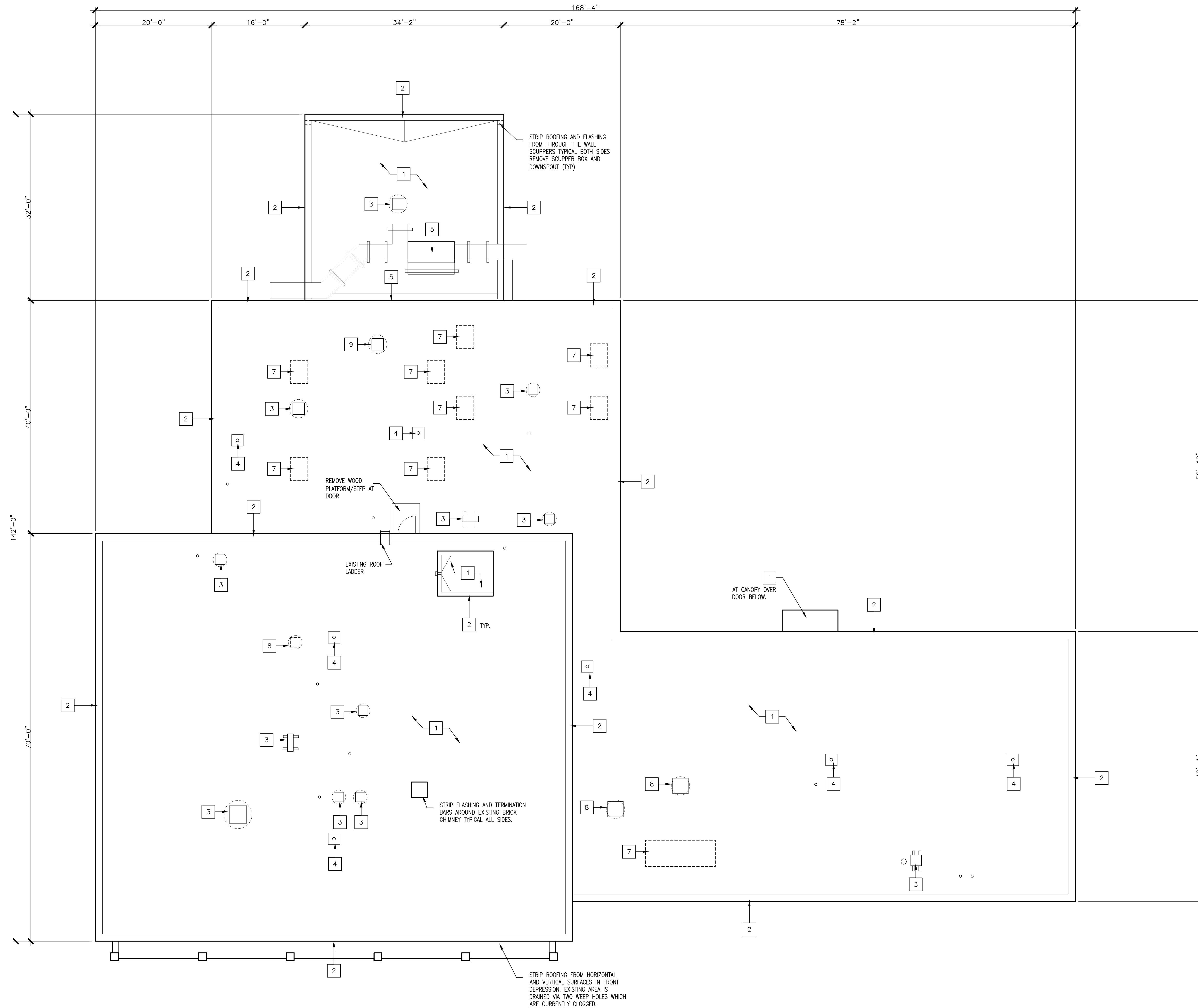
ISSUED FOR
CONSTRUCTION
SEPT 15, 2011



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DRAWING FILE: C:\Users\Edwards\AppData\Local\Temp\AutoCAD\1910874-401 (2) DWG PLOTTED: Sep 09 2011 10:23am Plt: Edmwe
 REVISION BY: CIVIL INDIANAPOLIS ARCH. INDIANAPOLIS STRU. INDIANAPOLIS FIRE INDIANAPOLIS MECH. INDIANAPOLIS ELEC. INDIANAPOLIS



- ### DEMOLITION KEY NOTES
- REMOVE EXISTING ROOFING MEMBRANE, ROOFING INSULATION, WOOD BLOCKING, CAVITS AND ASSOCIATED APPURTENANCES TO STEEL DECK. (TYP)
 - REMOVE EXISTING METAL DRIP EDGE AND FASCIA. (TYP)
 - TEMPORARILY REMOVE AND REINSTALL EXISTING ROOF TOP MECHANICAL EQUIPMENT AS REQUIRED FOR THE INSTALLATION OF THE ROOF. SCHEDULE THE DISCONNECTION OF THE UNIT WITH THE OWNER
 - REMOVE AND REPLACE EXISTING ROOF DRAIN BODY AND STRAINERS
 - TEMPORARILY REMOVE AND REINSTALL EXISTING FIRING RANGE EXHAUST SYSTEM EQUIPMENT AND ASSOCIATED DUCT WORK AS REQUIRED FOR THE INSTALLATION OF THE ROOF. SCHEDULE THE DISCONNECTION OF THE UNIT WITH THE OWNER
 - REMOVE EXPANSION JOINT COVER, SPONGE TUBE AND ASSOCIATED WOOD BLOCKING.
 - REMOVE EXISTING SKYLIGHT, WOOD BLOCKING AND INFILL OPENING WITH STEEL DECK TO MATCH EXISTING. REFER TO DETAIL 12 ON SHEET A-003
 - REMOVE EXISTING HVAC VENTILATOR, WOOD BLOCKING AND INFILL OPENING WITH STEEL DECK TO MATCH EXISTING. REFER TO DETAIL 12 ON SHEET A-003. CONTRACTOR SHALL DISCONNECT ROOFTOP UNIT FROM EXISTING POWER SUPPLY FOR REMOVAL OF UNIT. REMOVE ALL CONDUITS AND WIRING, INCLUDING ALL PULL AND JUNCTION BOXES, BACK TO PANELBOARDS. MODIFY EXISTING PANEL DIRECTORIES TO INDICATE CIRCUIT BREAKERS FEEDING REMOVED ROOFTOP UNITS AS "SPARE".
 - REMOVE EXISTING HVAC VENTILATOR, AND REPLACE IN KIND TO MINIMIZE DOWN TIME. COORDINATE THE DISCONNECTION AND REMOVAL OF UNIT WITH THE OWNER.

- ### DEMOLITION GENERAL NOTES
- THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL AREAS OF THE WORK FOR EXISTING CONDITIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK. ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR ADDITIONAL COSTS WILL BE PERMITTED DUE TO LACK OF KNOWLEDGE OF UNCONCEALED EXISTING CONDITIONS BY THE CONTRACTOR.
 - THE DRAWINGS DO NOT SHOW EVERY DETAIL OR CONDITION. CONTRACTOR SHALL PROVIDE ALL DEMOLITION WORK REQUIRED TO MEET THE NEW DESIGN BASED ON ALL INFORMATION PROVIDED AND INFORMATION OBTAINED DURING SITE WALK-THRU. DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - ALL INDICATED EXISTING DIMENSIONS ARE PLUS OR MINUS (+/-) AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DEMOLITION OPERATIONS.
 - "REMOVE AND SALVAGE" MEANS THAT THE CONTRACTOR SHALL CAREFULLY DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER.
 - "REMOVE AND RESET" MEANS THAT CONTRACTOR SHALL DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
 - "EXISTING TO REMAIN" DEFINES EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE PERMANENTLY REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.
 - CONTRACTOR SHALL PROTECT ALL ADJACENT CONSTRUCTION THAT IS TO REMAIN, AND SHALL REPAIR AND PATCH ANY EXISTING CONSTRUCTION THAT IS DAMAGED DURING DEMOLITION OPERATIONS. REPAIRS SHALL MATCH EXISTING UNLESS AS OTHERWISE NOTED.
 - ANY MATERIALS OR ITEMS DAMAGED OR DISTURBED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPLACED TO MATCH EXISTING BY THE CONTRACTOR.
 - REMOVAL OF ANY WORK OR ITEM SHALL INCLUDE THE LEGAL DISPOSAL OF SAME UNLESS INDICATED OTHERWISE. ALL REMOVAL AND DISPOSAL WORK SHALL BE PERFORMED IN A SAFE AND LEGAL MANNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF ALL ITEMS AS REQUIRED FOR PROPER INSTALLATION OF THE ROOFING SYSTEM.
 - THE CONTRACTOR SHALL PROVIDE TEMPORARY ROOF PROTECTION AS REQUIRED DURING THE DEMOLITION AND INSTALLATION OF ADJACENT ROOF AREAS.
 - EXISTING ANTENNAS WILL REMAIN IN SERVICE. CONTRACTOR WILL NEED TO WORK AROUND THEM.
 - EXISTING SKYLIGHTS WILL BE REMOVED AND OPENINGS INFILLED WITH STEEL DECK AND ROOFING TO MATCH ADJACENT SURFACES. SEE DECK INFILL DETAIL ON A-003.
 - THE DISCONNECTION OF THE EXISTING MECHANICAL EXHAUST FANS TO REMOVE AND INSTALL THE ROOFING AND ASSOCIATED APPURTENANCES WILL NEED TO BE COORDINATED WITH THE OWNER.
 - CONTRACTOR SHALL NOTE THAT THE SITE HAS HIGH WIND GUSTS, AND THE FACILITY WILL REMAIN OPERATIONAL AT ALL TIMES. THEREFORE, DEMOLISHED (AND NEW) MATERIALS MUST BE HELD DOWN AND SECURED IN PLACE AT ALL TIMES.
 - CONTRACTOR IS TO WORK AROUND EXISTING CABLE LINES LOCATED ON THE ROOF.

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 9-15-2011**

**WALTHAM POLICE
 ROOF REPLACEMENT
 WALTHAM MA**

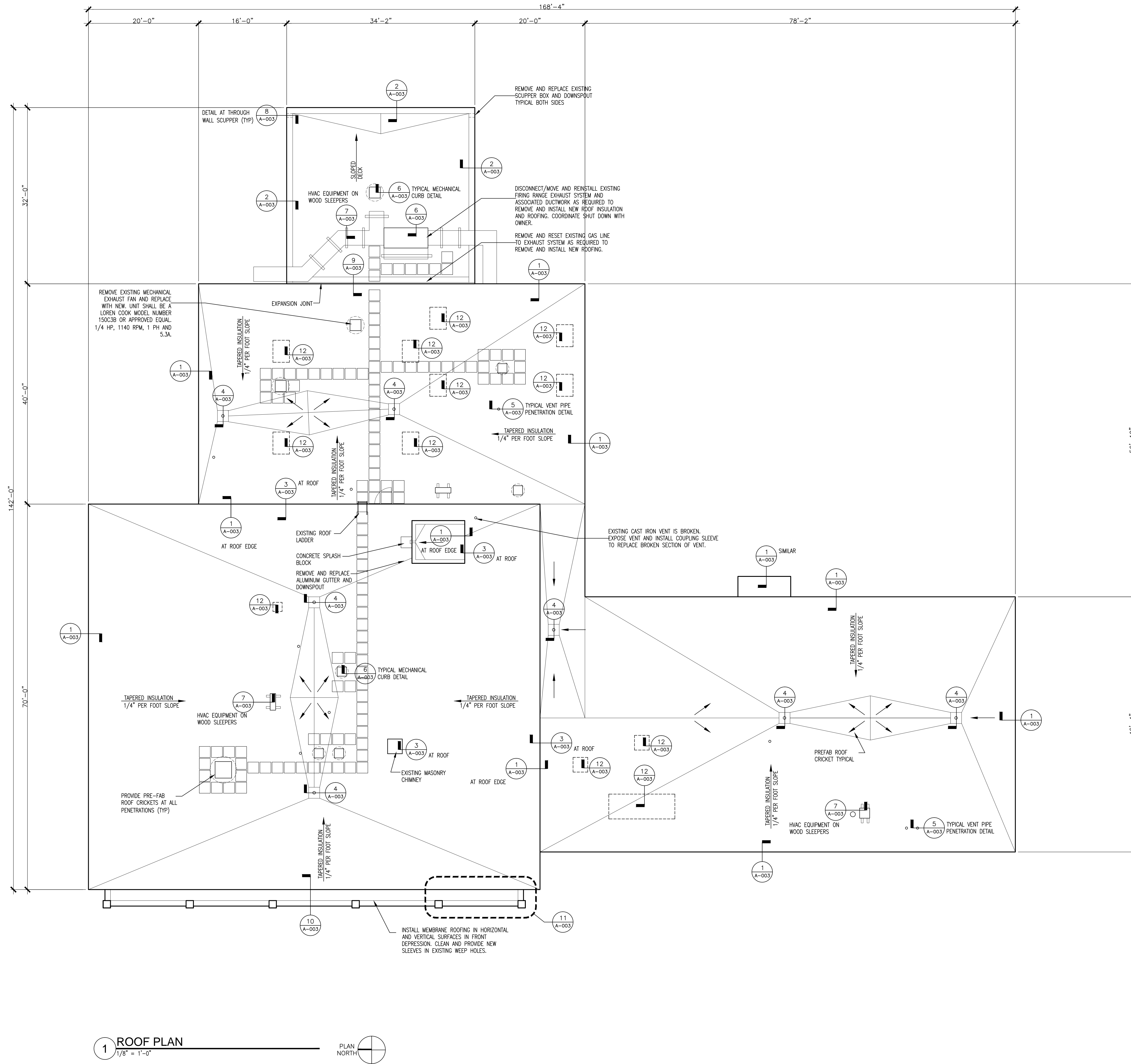
**OVERALL ROOF PLAN -
 DEMOLITION**

PROJECT NO.: 19169
 DESIGNED BY: FC
 DRAWN BY: FC
 CHK'D BY:
 DATE: SEPT 15, 2011
 SCALE: AS NOTED

SHEET NO.:
A-001
 SHEET 2 OF 4

1 ROOF PLAN - DEMOLITION
 1/8" = 1'-0"
 PLAN NORTH

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GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL AREAS OF THE WORK FOR EXISTING CONDITIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK. ALL EXISTING CONDITIONS INCLUDING DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR ADDITIONAL COSTS WILL BE PERMITTED DUE TO LACK OF KNOWLEDGE OF UNCONCEALED EXISTING CONDITIONS BY THE CONTRACTOR.
2. DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY UPON DISCOVERY.
3. AS PART OF THE SUBMITTALS PHASE, AND PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT DOCUMENTATION THAT THE PROPOSED ROOF SYSTEM HAS BEEN TESTED AND APPROVED (OR LISTED) BY FACTORY MUTUAL RESEARCH CORPORATION AND UNDERWRITERS LABORATORIES, INC. AND IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS. ROOF WORK SHALL NOT COMMENCE WITHOUT WRITTEN DOCUMENTATION OF THE ROOF SYSTEM'S COMPLIANCE.
4. UPON EXPOSURE OF THE STEEL DECK, THE CONTRACTOR SHALL REMOVE ANY GYPSUM FILLERS AS REQUIRED.
5. THE NEW ROOFING SYSTEM SHALL CONSIST OF A LOOSE LAID (TAPED) VAPOR BARRIER INSTALLED OVER THE EXISTING STEEL DECK, A BASE COAT OF RIGID INSULATION, RIGID TAPERED INSULATION WITH A COVER BOARD INSTALLED OVER THE INSULATION, AND ALL LAYERS MECHANICALLY FASTENED TO THE STRUCTURAL STEEL DECK. A SINGLE PLY PVC ROOF MEMBRANE SHALL BE MECHANICALLY FASTENED.
6. THE ROOFING SYSTEM OVER THE SALLY PORT AND THE ELEVATOR PENTHOUSE CONSIST OF A LOOSE LAID (TAPED) VAPOR BARRIER INSTALLED OVER THE EXISTING SLOPED STEEL DECK, TWO LAYERS OF RIGID INSULATION, WITH A COVER BOARD INSTALLED OVER THE VAPOR BARRIER, AND ALL LAYERS MECHANICALLY FASTENED TO THE STRUCTURAL STEEL DECK. A SINGLE PLY PVC ROOF MEMBRANE SHALL BE FULLY MECHANICALLY FASTENED.
7. PROVIDE PREFABRICATED ROOF CRICKETS AT ALL PENETRATIONS TO DIVERT WATER AROUND THE PENETRATION. CRICKETS SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT. LAYOUT AND SLOPES SHALL STRICTLY CONFORM TO THE APPROVED SHOP DRAWINGS PREPARED BY THE ROOF MANUFACTURER.
8. THE TAPERED INSULATION SYSTEM SHALL SLOPE A MINIMUM OF 1" AT DRAINS AND AN AVERAGE INSULATING VALUE OF R=30. THE INSULATION THICKNESS, LAYOUT AND SLOPES SHALL STRICTLY CONFORM TO THE APPROVED SHOP DRAWINGS PREPARED BY THE ROOF MANUFACTURER.
9. FASTENER LOCATIONS, LENGTH AND SPACING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S APPROVED SHOP DRAWINGS.
10. INSTALL CONTINUOUS WOOD NAILERS AT ROOF PERIMETER AND PERIMETERS OF ROOF PROJECTIONS AND PENETRATIONS AS REQUIRED OR AS INDICATED ON THE DRAWINGS. HEIGHT OF NAILERS SHALL BE AS REQUIRED TO MATCH THE ADJACENT INSULATION HEIGHT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REINSTALLATION OF ALL ITEMS AS REQUIRED FOR PROPER INSTALLATION OF THE ROOFING SYSTEM.
12. ALL METAL FLASHING AND DRIP EDGES SHALL BE PVC COATED TO BE COMPATIBLE WITH THE ROOFING SYSTEM.
13. THE DRIP EDGE SHALL BE CONSTRUCTED OF A TWO PIECE EDGE METAL TO MINIMIZE THE OIL CANNING OF A LARGER ONE PIECE ASSEMBLY.
14. THE CONTRACTOR SHALL PROVIDE TEMPORARY ROOF PROTECTION AS REQUIRED TO PROTECT ADJACENT SURFACES DURING THE RENOVATIONS.
15. ANY MATERIALS OR ITEMS DAMAGED OR DISTURBED BY THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR REPLACED TO MATCH EXISTING BY THE CONTRACTOR.
16. EXISTING ANTENNAS AND CABLES WILL REMAIN IN SERVICE. THE CONTRACTOR WILL NEED TO WORK AROUND THEM. SEE DETAIL 18 ON A-003 FOR CABLE TIE DOWNS.
17. INFILL THE VOIDS LEFT BEHIND BY THE REMOVAL OF THE SKYLIGHTS WITH STEEL DECK SEE DETAIL 12 ON A-003.
18. REMOVE THE EXISTING SECURITY BARS AND HAND THEM OVER TO THE POLICE DEPARTMENT. INFILL THE SHAFT UNDER THE REMOVED SKYLIGHTS WITH A GYPSUM BOARD 'CEILING'. THE CONSTRUCTION OF THE 'CEILING' SHALL CONSIST OF 3-5/8" STEEL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD. THE 'CEILING' SHALL BE LOCATED 12" BELOW THE EXISTING STEEL DECK. PAINT THE GYPSUM BOARD CEILING AND THE EXISTING VERTICAL SKYLIGHT SHAFTS.
19. THE DISCONNECTION OF THE EXISTING MECHANICAL UNITS AND THE FRING RANGE EXHAUST UNITS TO REMOVE AND INSTALL THE ROOFING AND ASSOCIATED APPURTENANCES WILL NEED TO BE COORDINATED WITH THE OWNER.
20. CONTRACTOR SHALL REPLACE THE EXISTING ROOF DRAIN BODIES AND ROOF DRAIN COVERS.
21. CONTRACTOR SHALL NOTE THAT THE SITE HAS HIGH WIND GUSTS. THEREFORE, NEW AND DEMOLISHED MATERIALS MUST BE HELD DOWN AND SECURED IN PLACE AT ALL TIMES.



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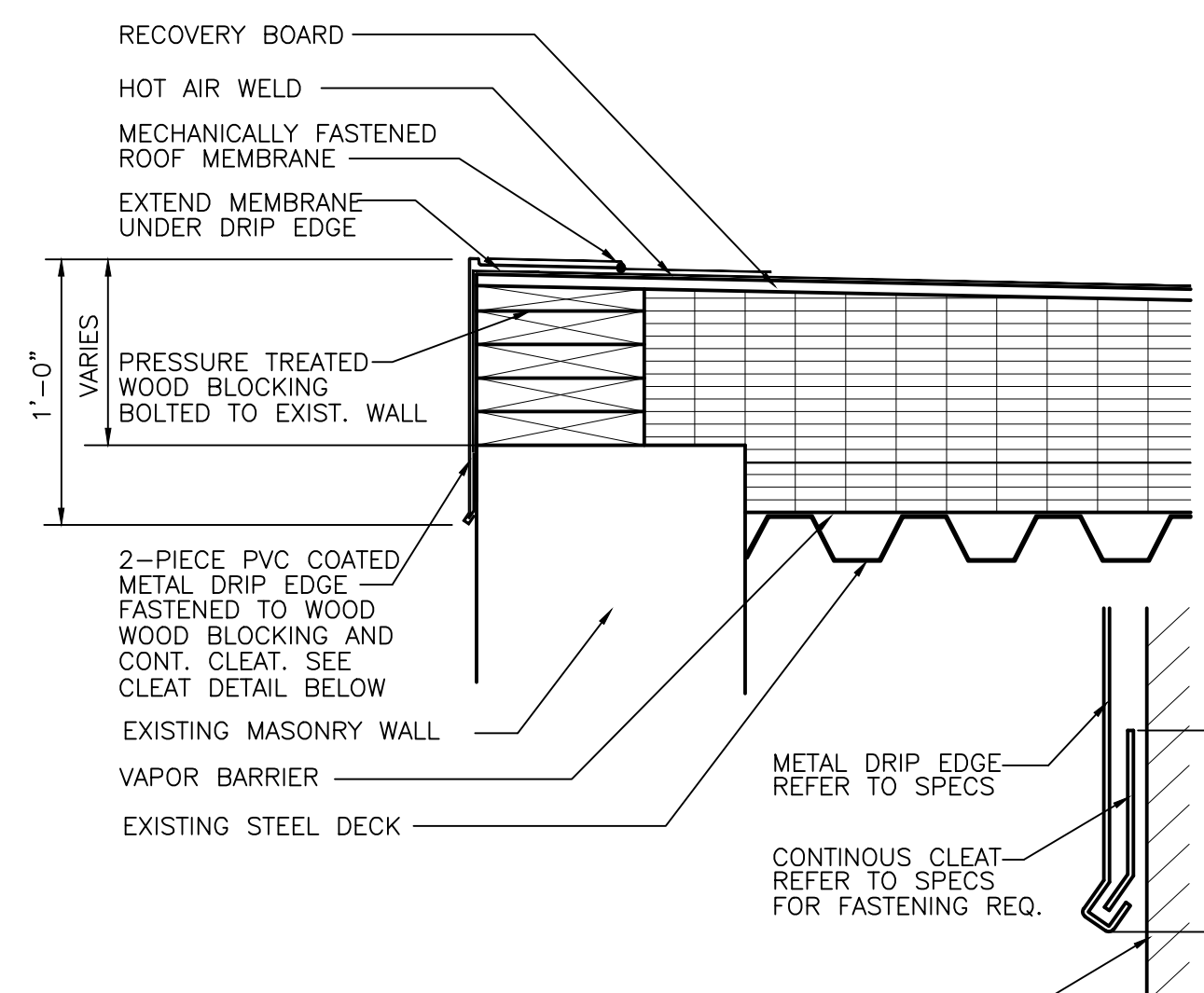
WALTHAM POLICE
ROOF REPLACEMENT
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ROOF PLAN

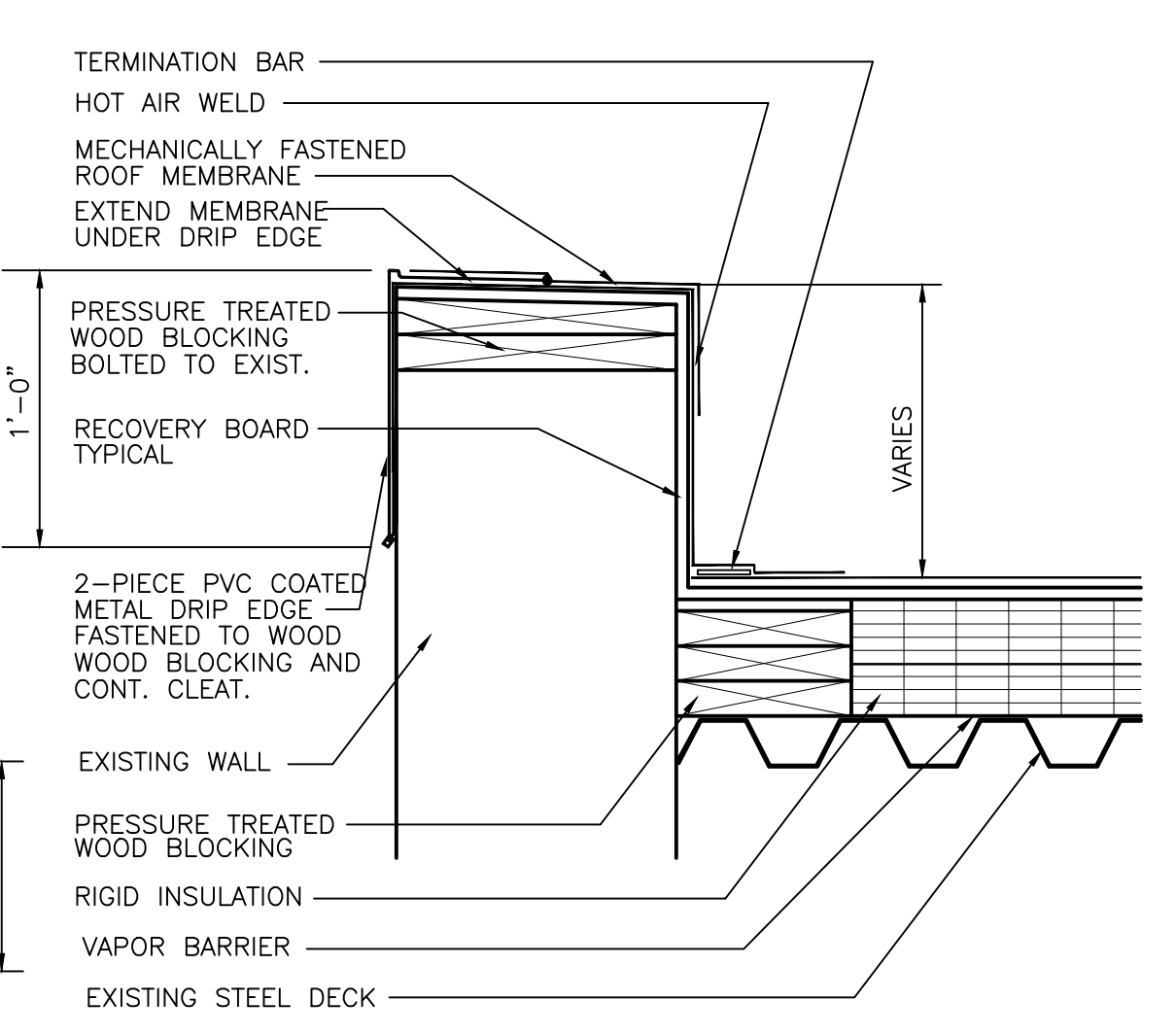
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 DATE: SEPT 15, 2011
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 SHEET NO.:

A-002

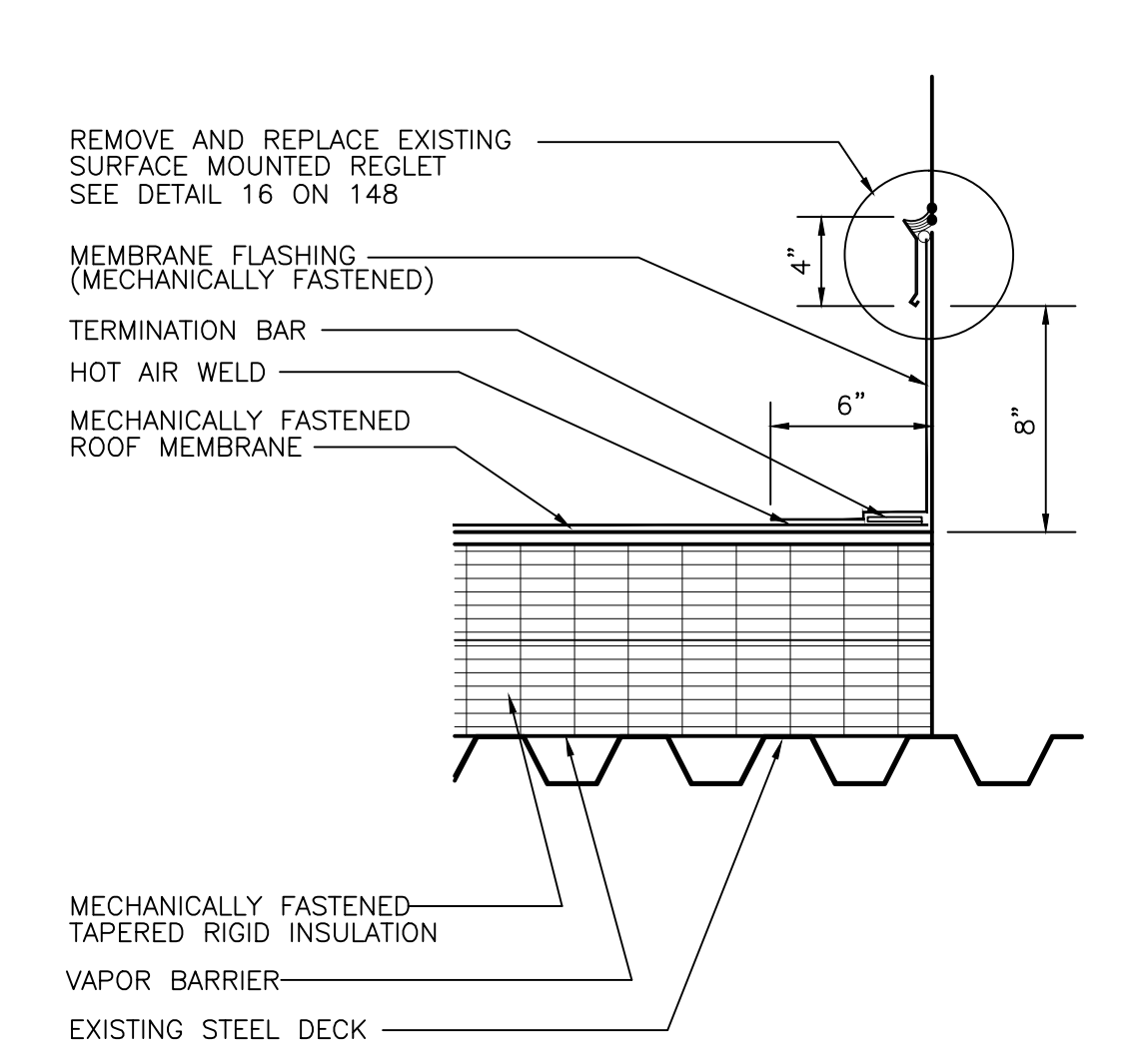
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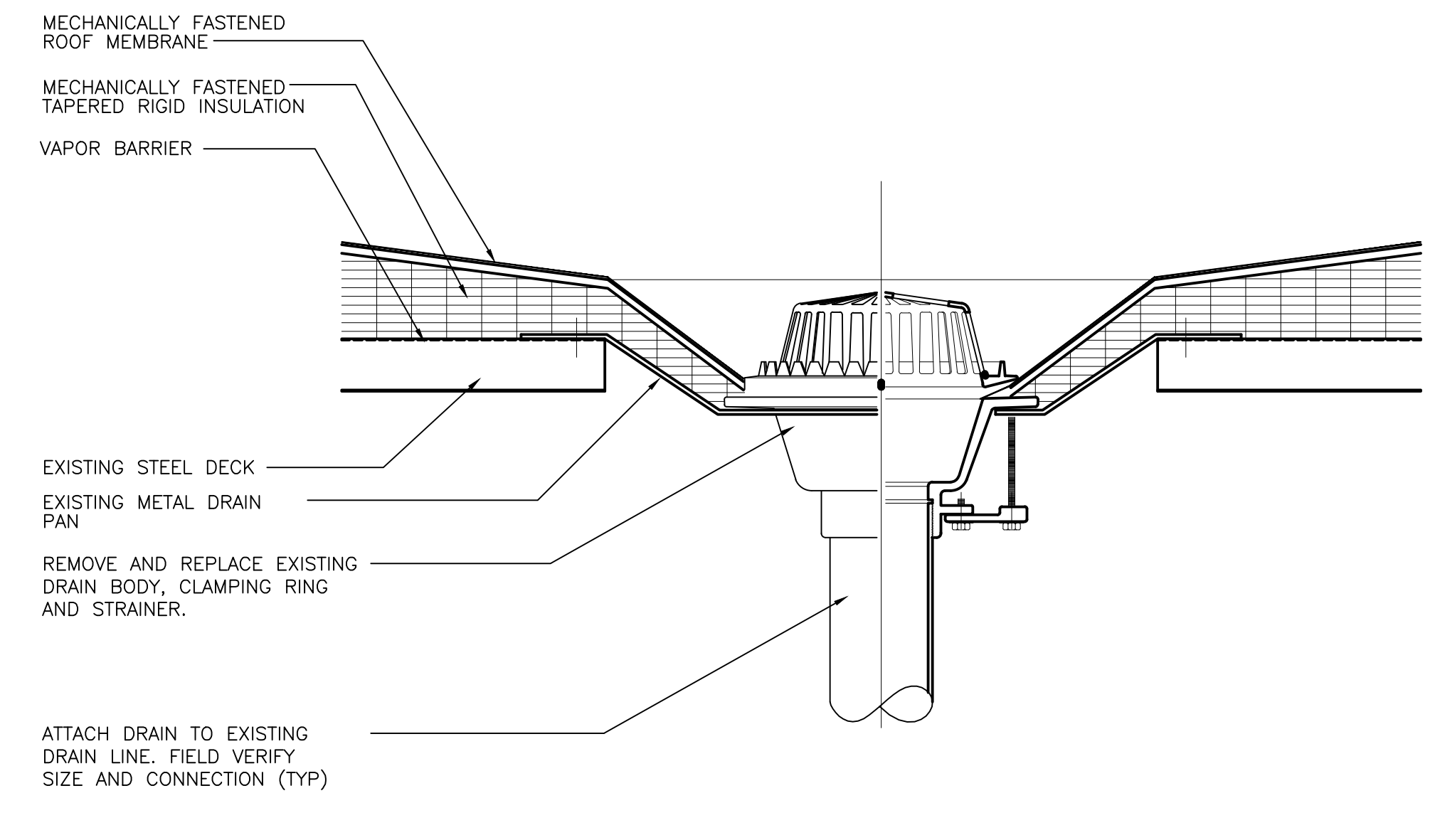
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003 **DETAIL AT DRIP EDGE**
SCALE: 1-1/2" = 1'-0"



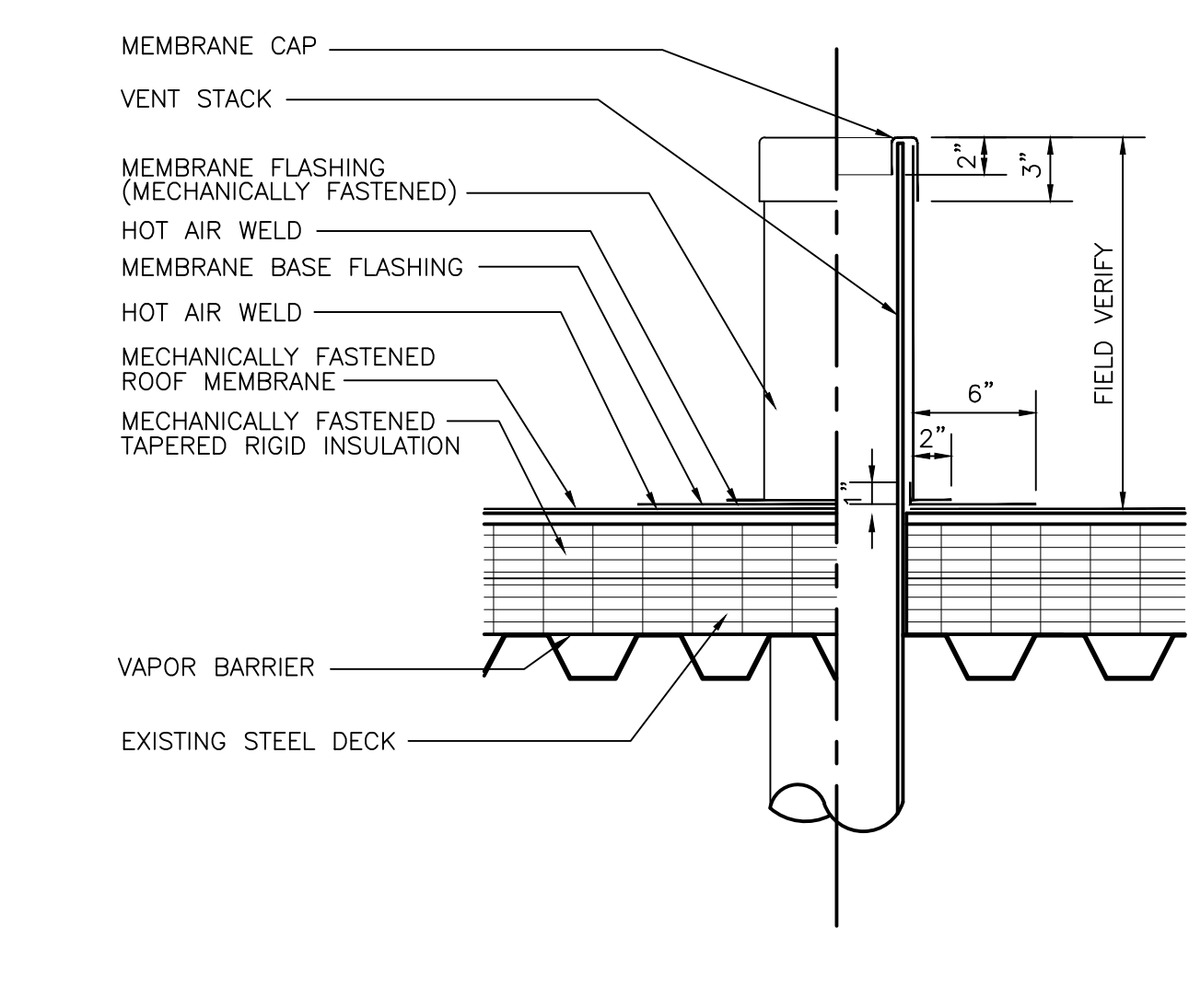
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003 **PARAPET EDGE DETAIL**
SCALE: 1-1/2" = 1'-0"



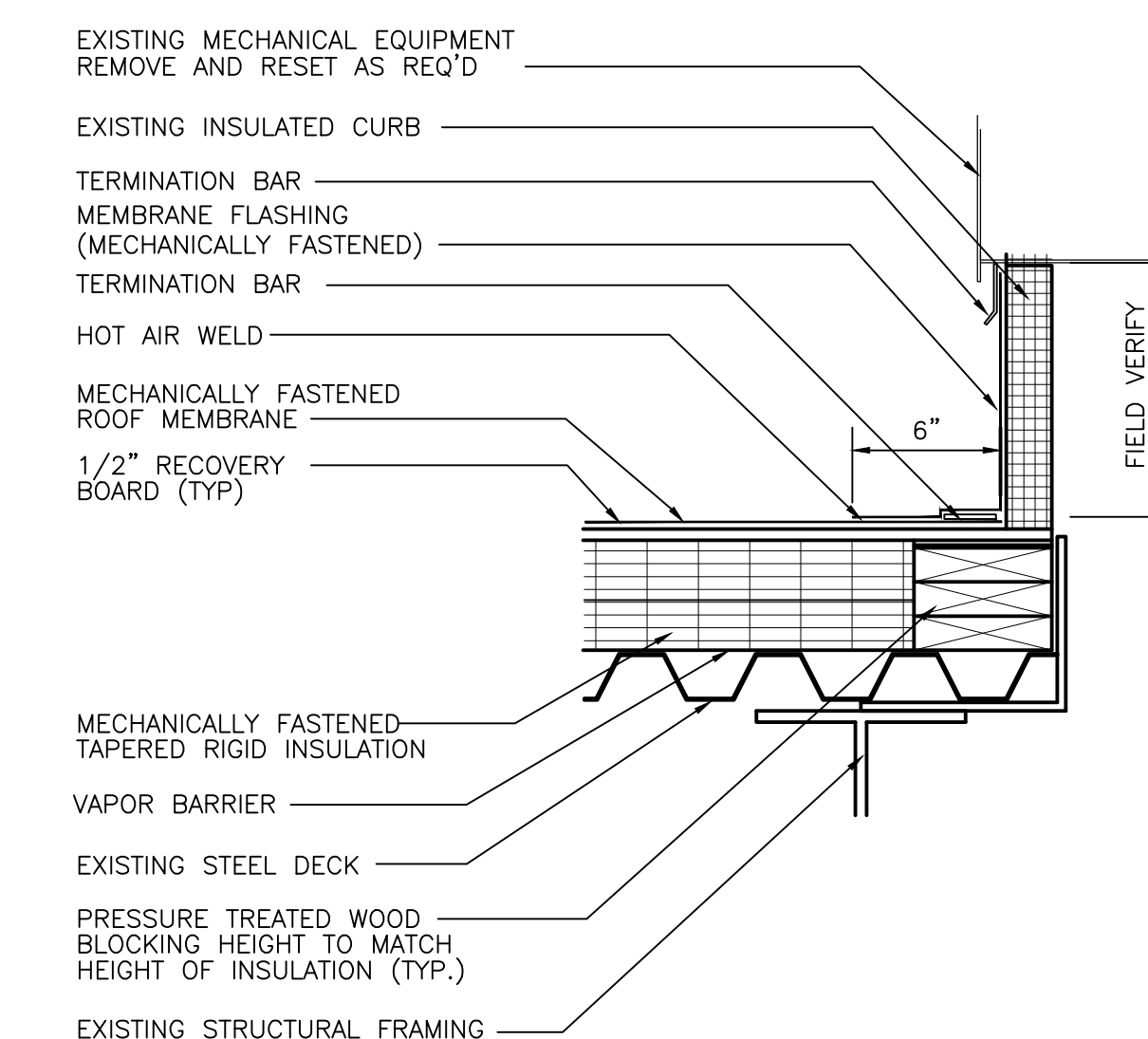
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003 **DETAIL AT TERMINATION STRIP**
SCALE: 1-1/2" = 1'-0"



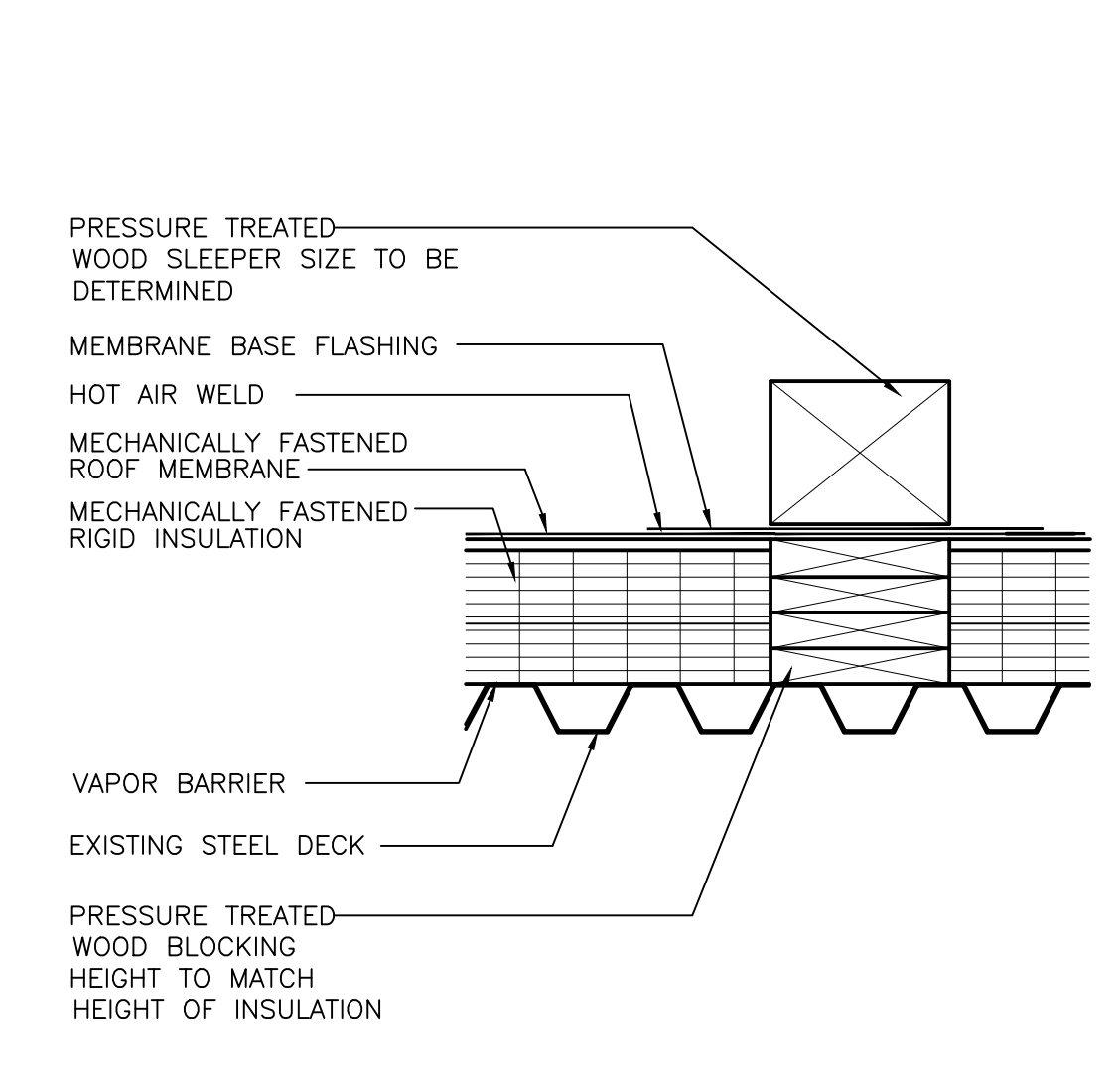
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003 **DRAIN DETAIL AT STEEL DECK**
SCALE: 1-1/2" = 1'-0"



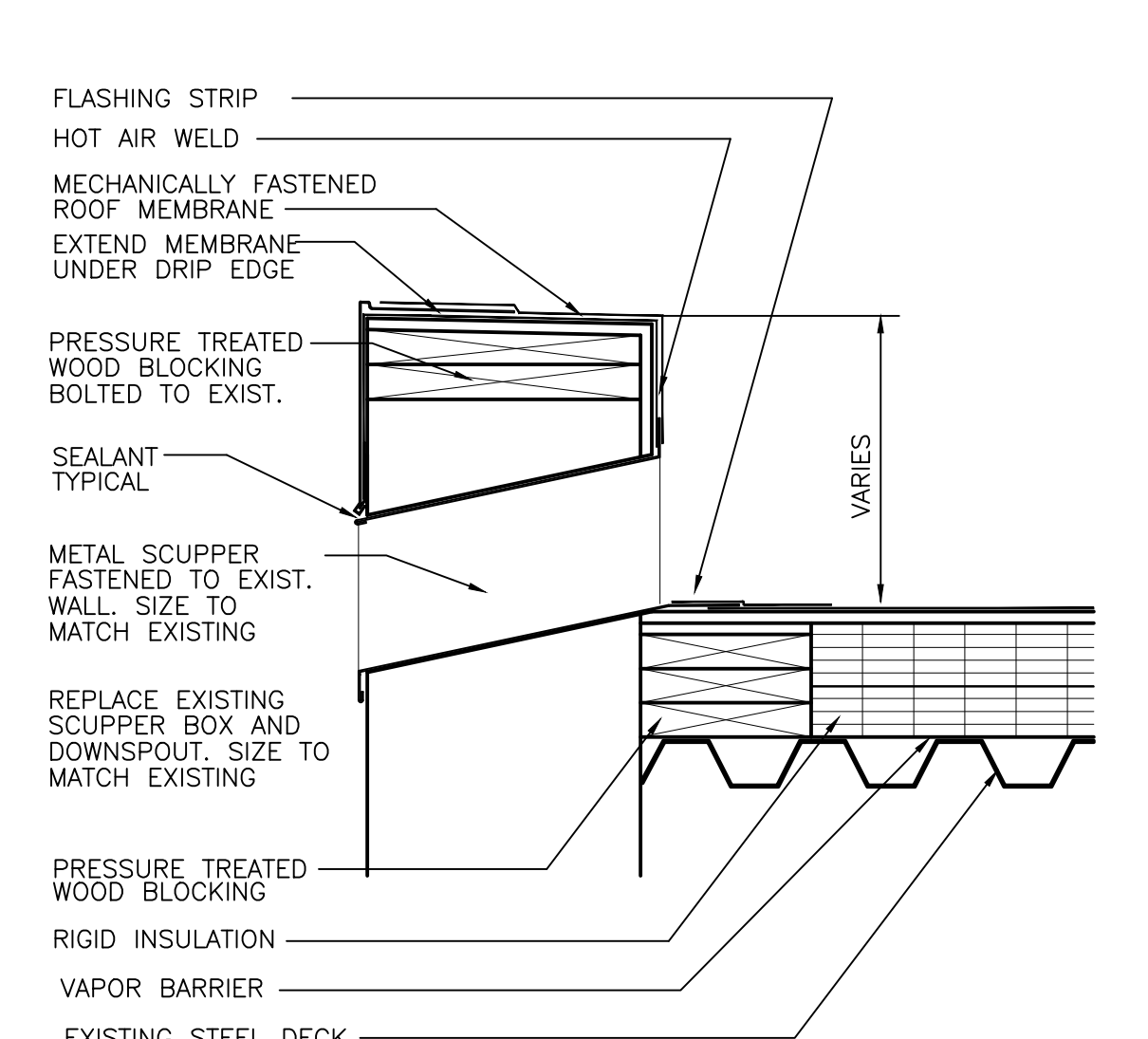
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003 **VENT STACK PENETRATION DETAIL**
SCALE: 1-1/2" = 1'-0"



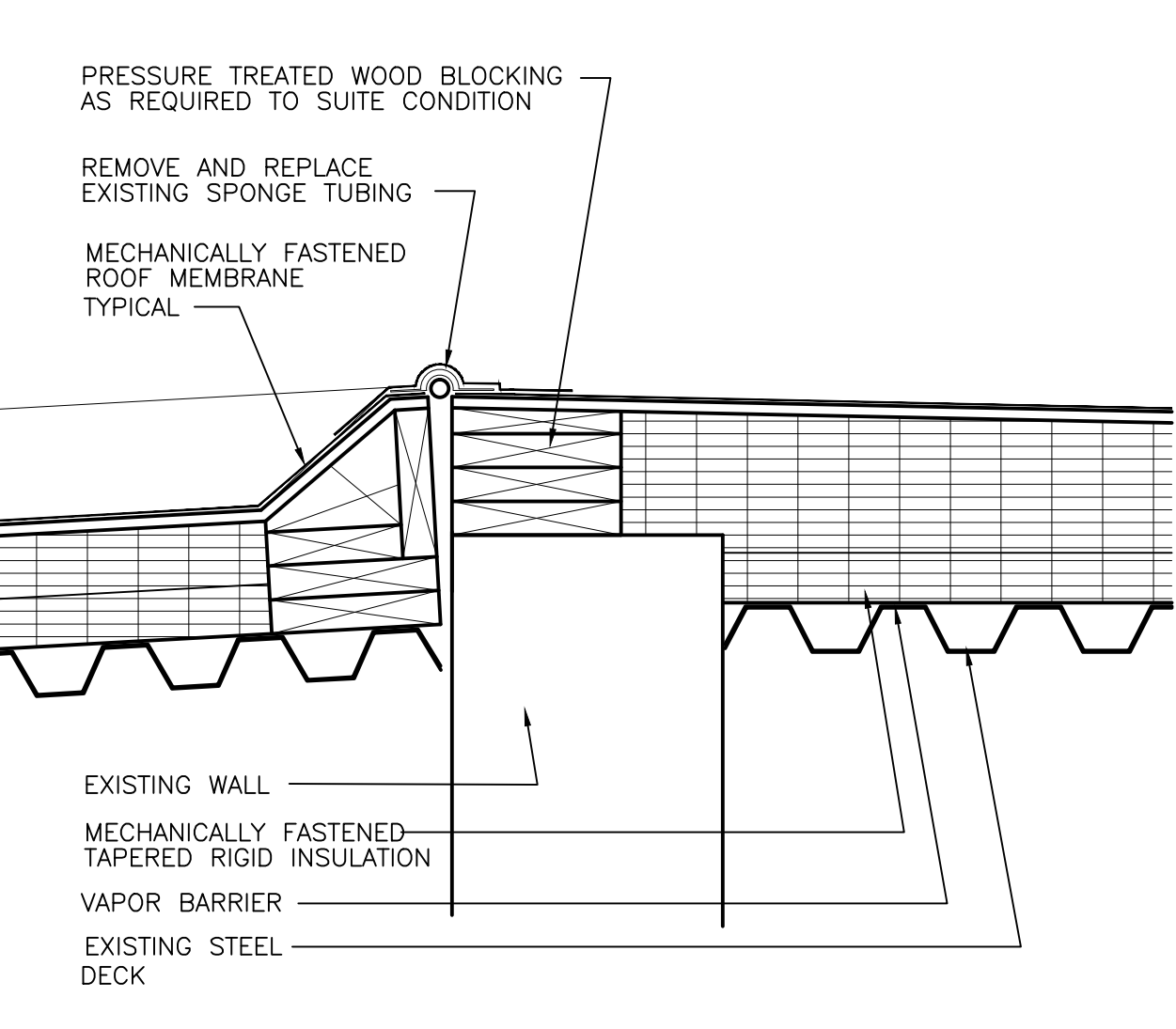
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003 **MECHANICAL CURB DETAIL**
SCALE: 1-1/2" = 1'-0"



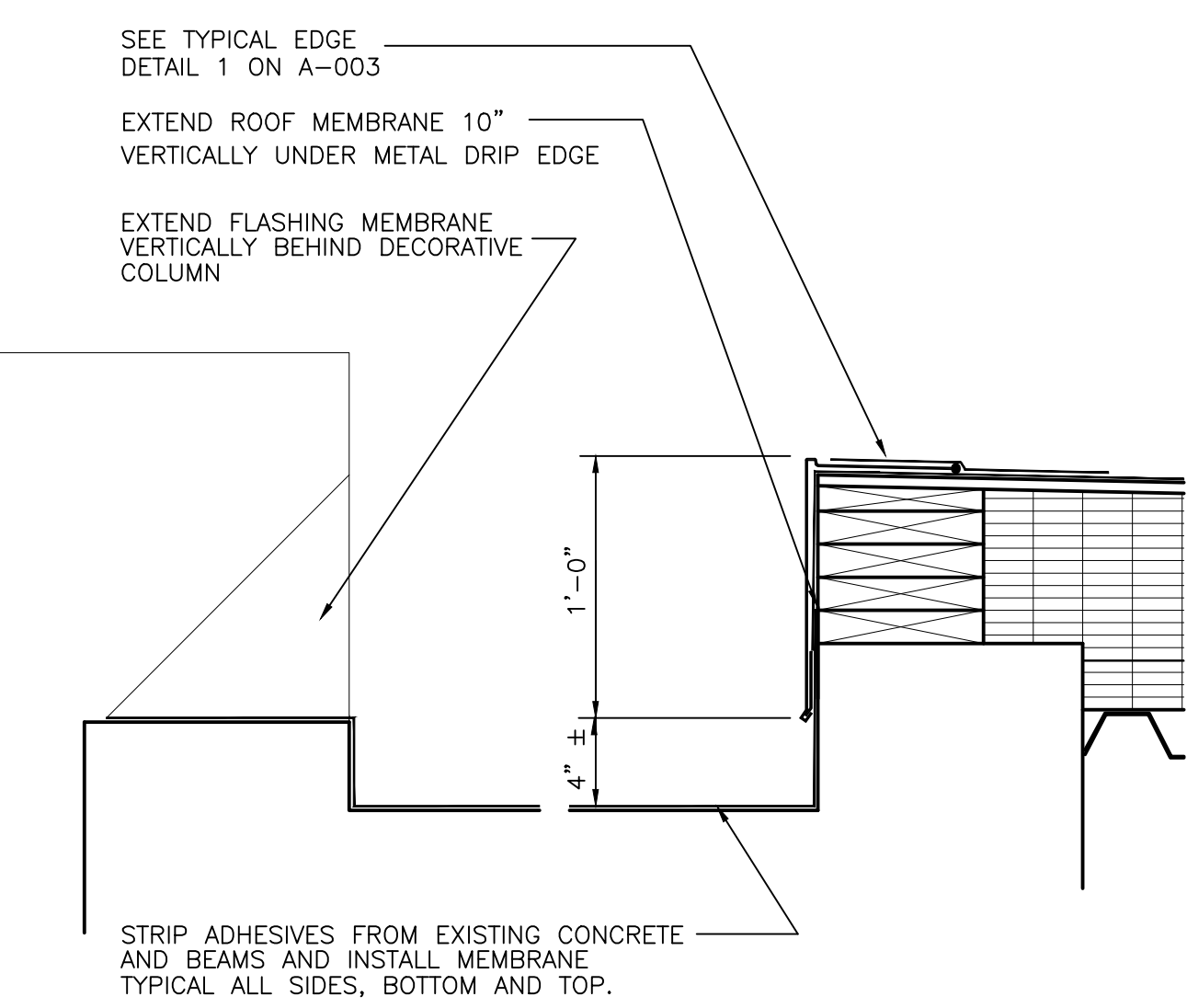
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003 **EXPOSED WOOD SLEEPERS**
SCALE: 1-1/2" = 1'-0"



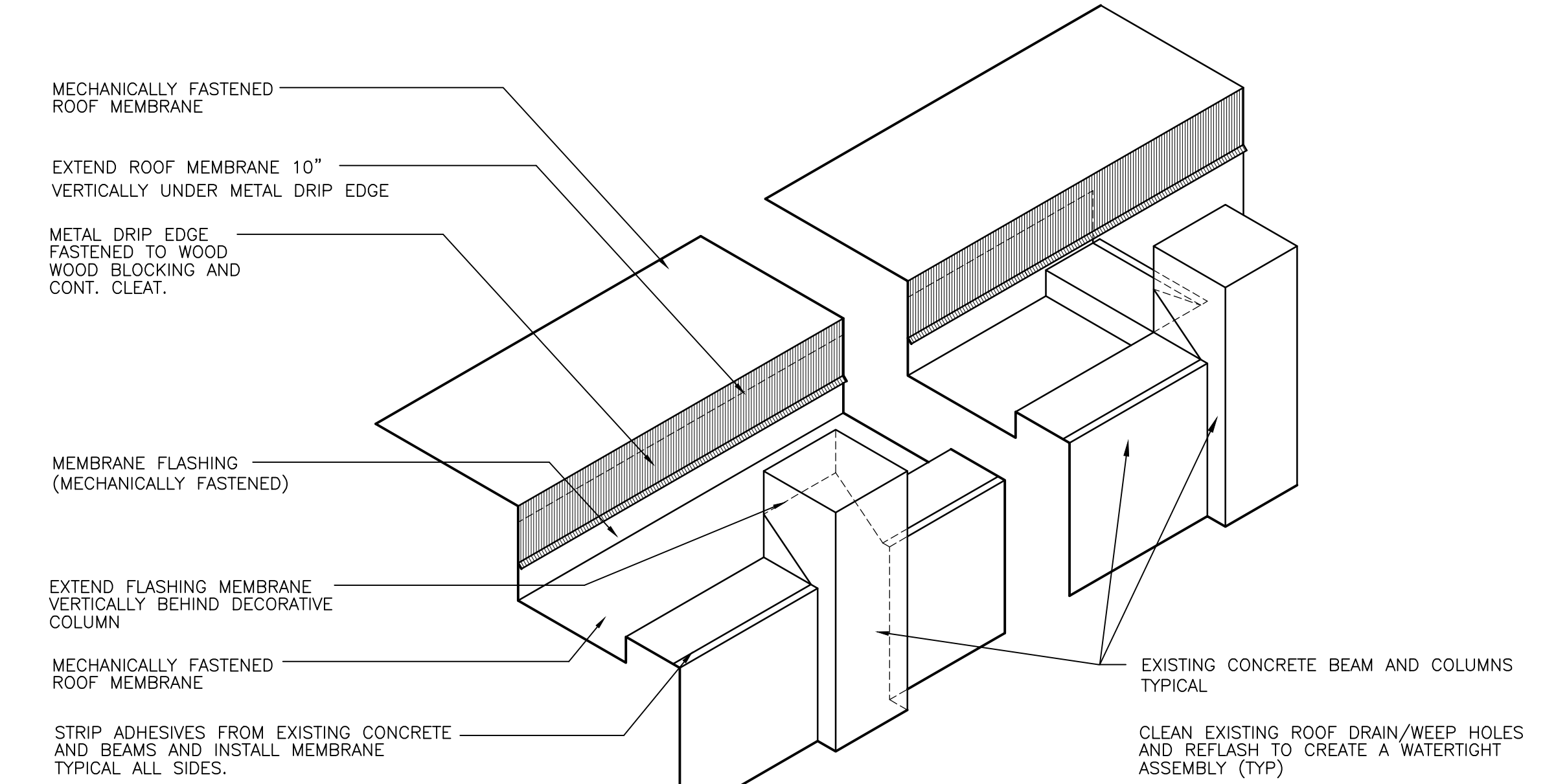
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003 **SCUPPER DETAIL**
SCALE: 1-1/2" = 1'-0"



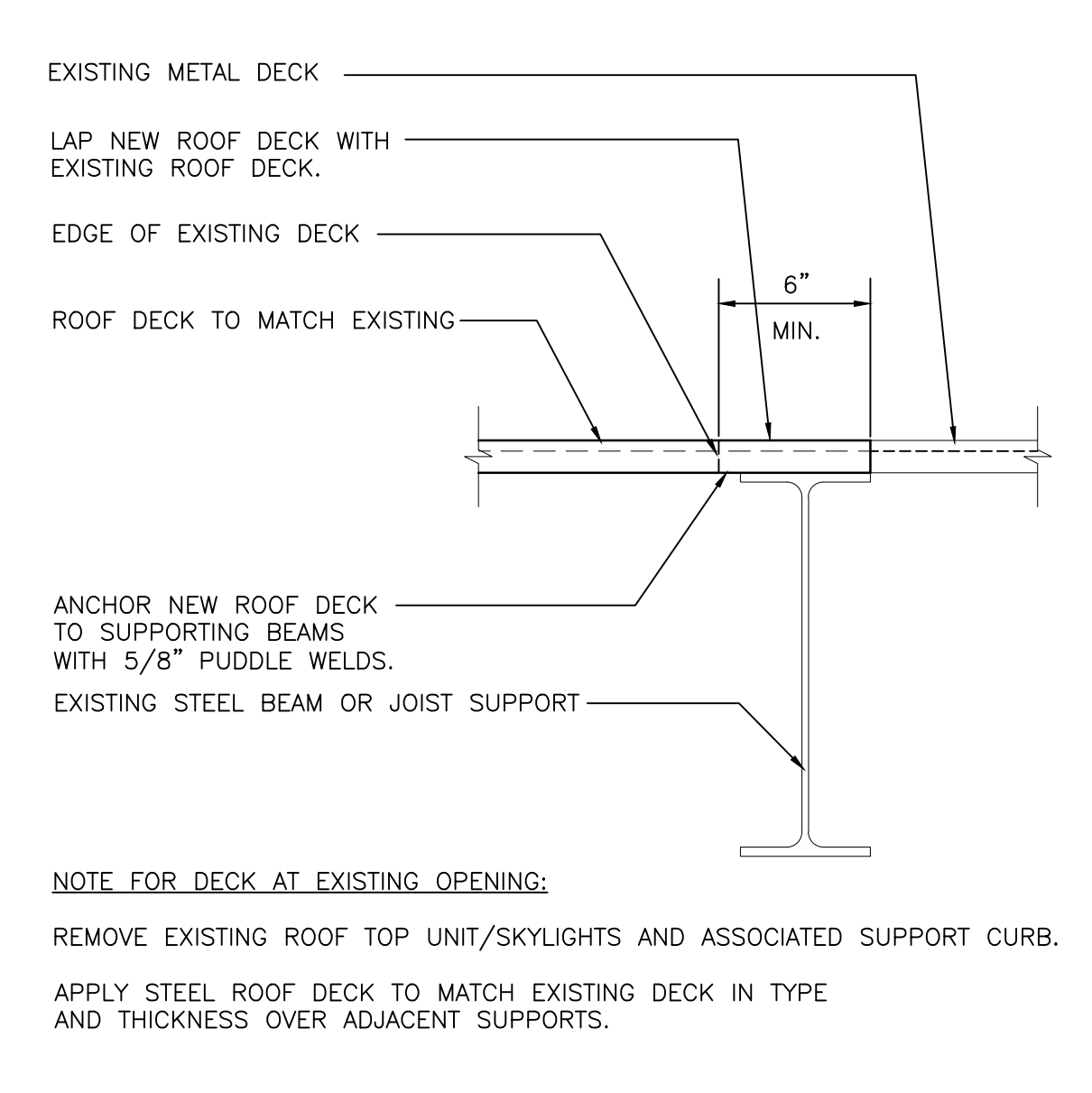
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003 **EXPANSION JOINT DETAIL**
SCALE: 1-1/2" = 1'-0"



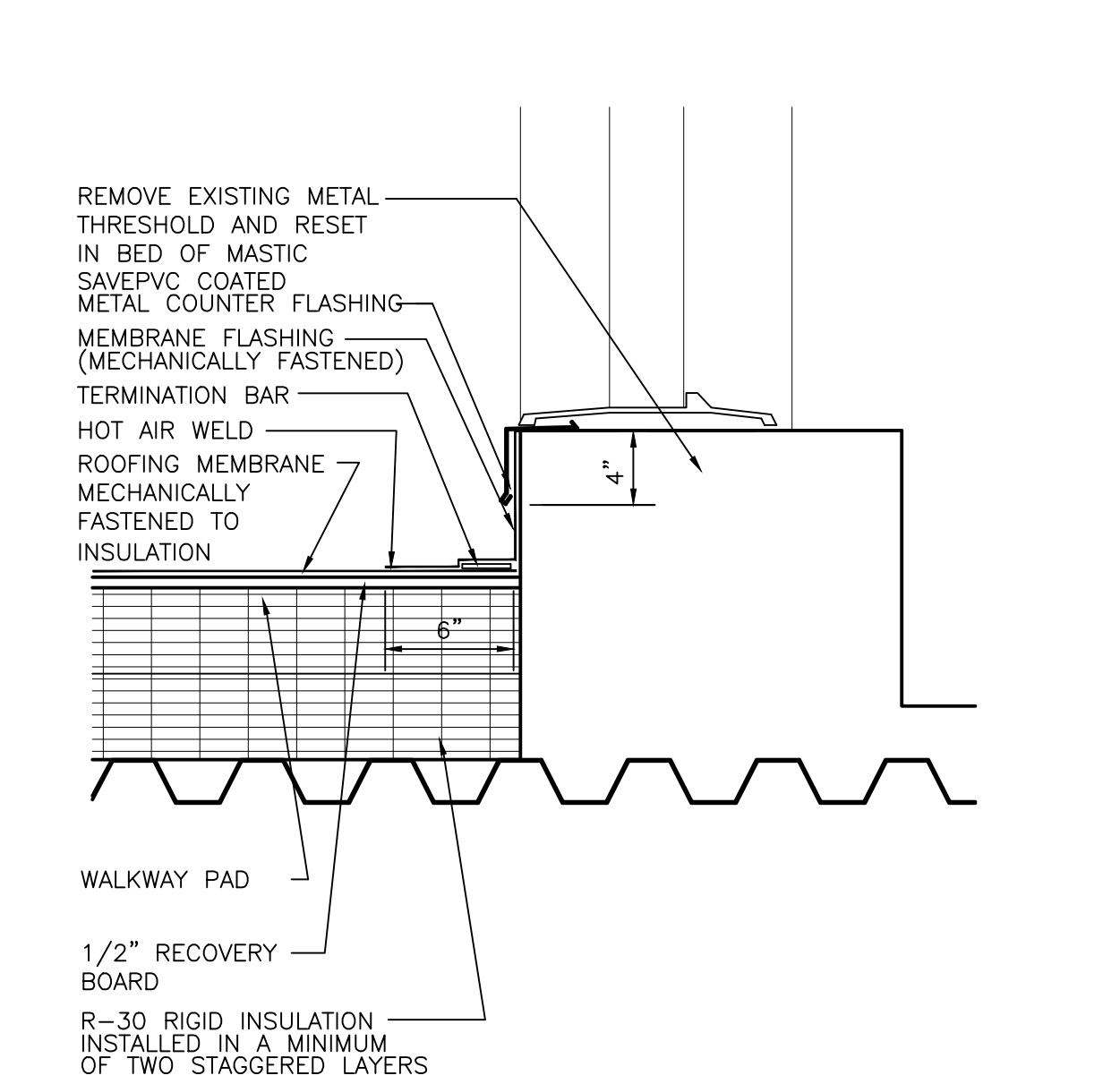
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003 **DETAIL AT FRONT DEPRESSION**
SCALE: 1-1/2" = 1'-0"



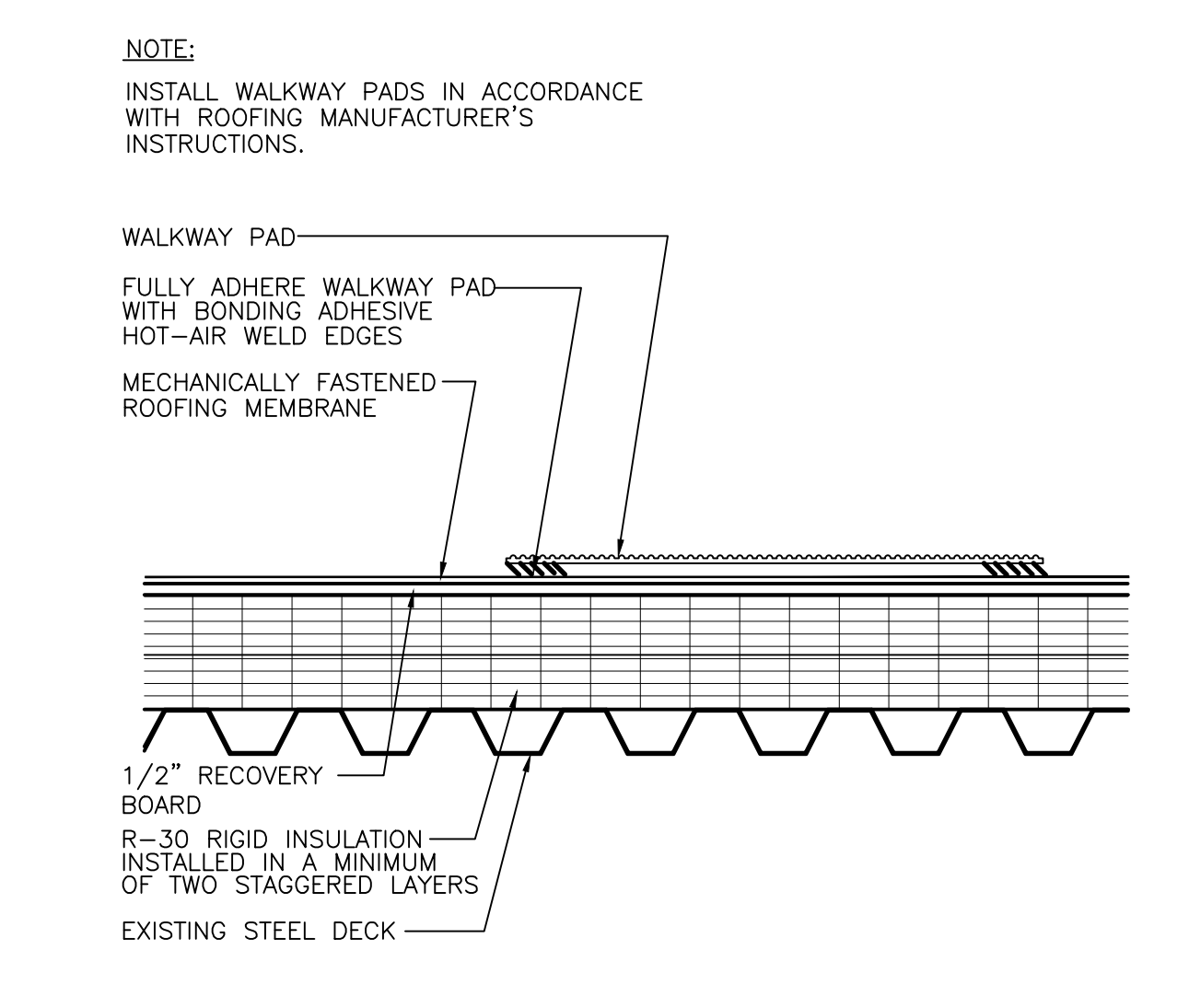
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003 **ISOMETRIC AT FRONT DEPRESSION**
SCALE: NTS



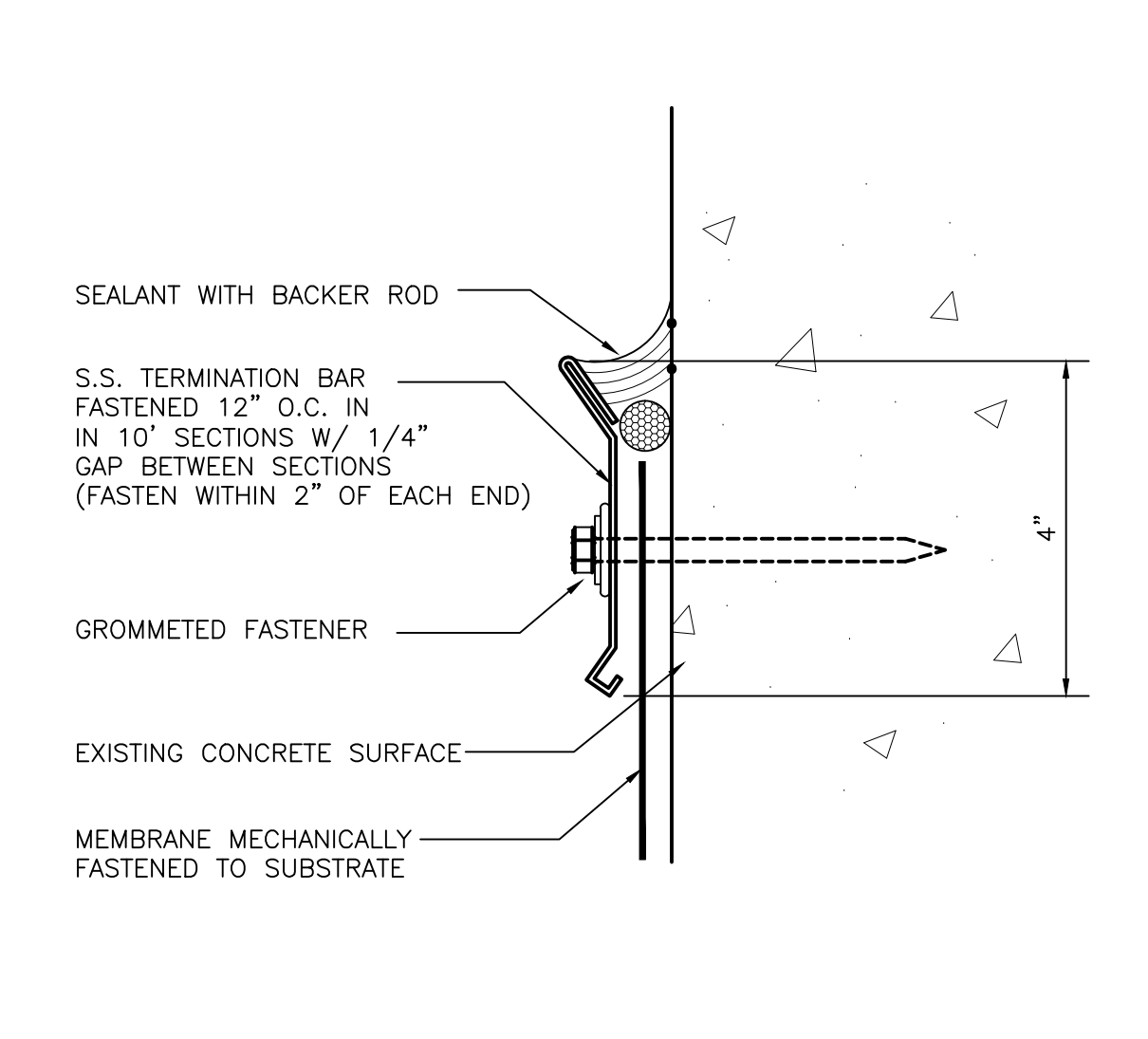
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003 **STEEL DECK INFILL DETAIL**
SCALE: 1-1/2" = 1'-0"



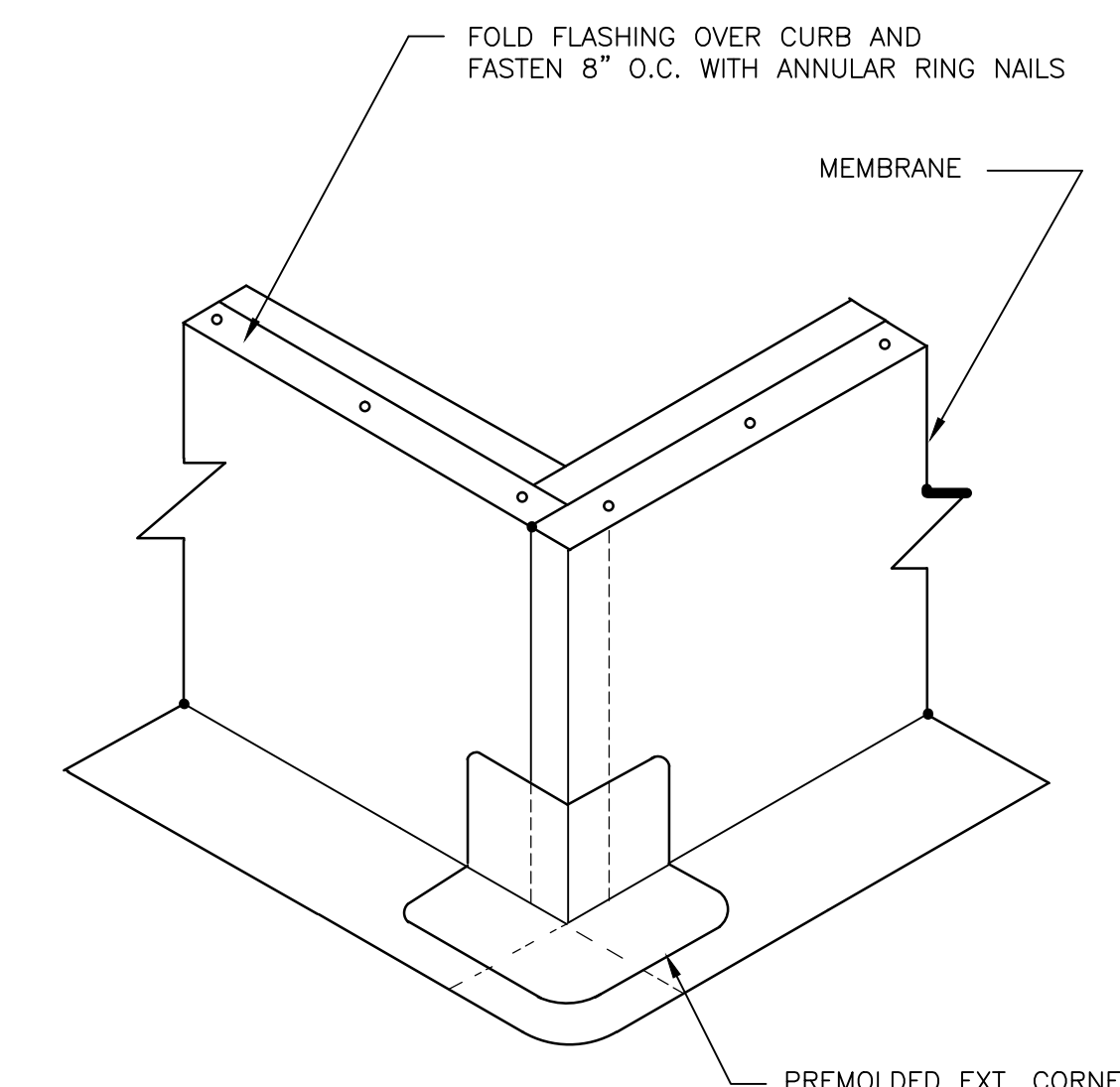
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003 **DETAIL AT DOOR THRESHOLD**
SCALE: 1-1/2" = 1'-0"



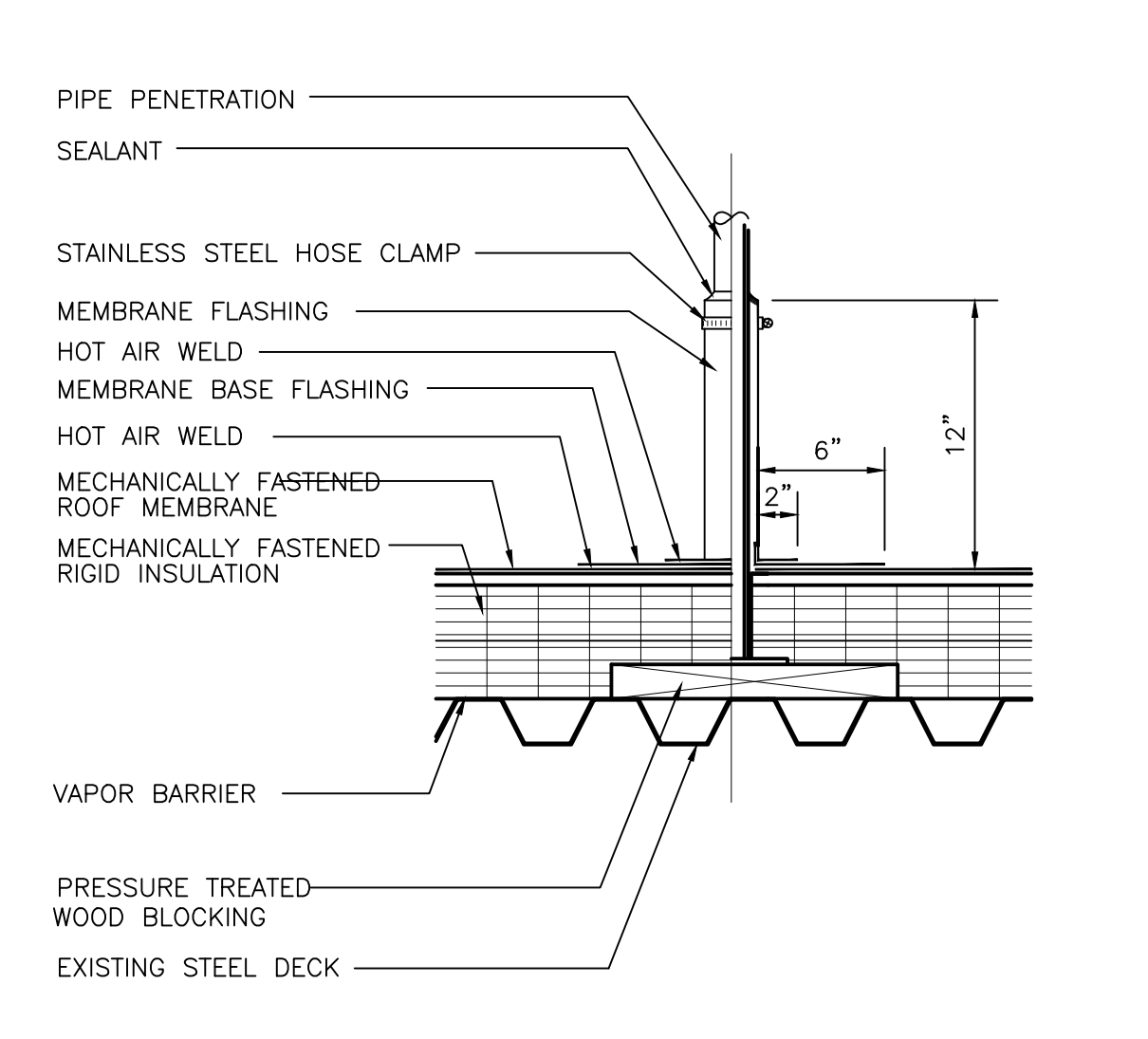
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003 **DETAIL AT WALKWAY MAT**
SCALE: 1-1/2" = 1'-0"



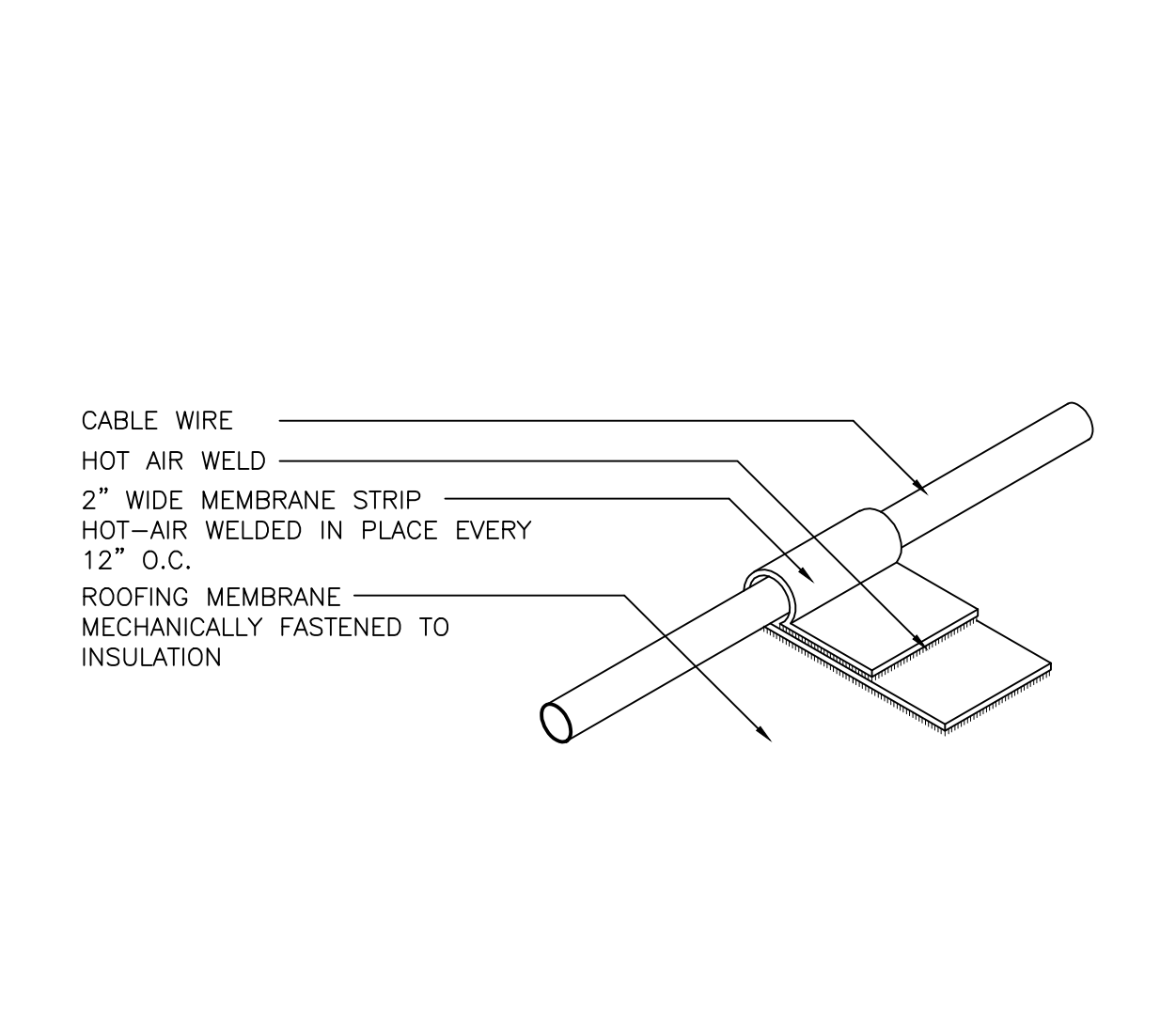
15
003 **DETAIL AT SURFACE MOUNTED REGLETS**
SCALE: 6" = 1'-0"



16
003 **CORNER FLASHING DETAIL**
SCALE: 1-1/2" = 1'-0"



17
003 **PIPE PENETRATION DETAIL**
SCALE: 1-1/2" = 1'-0"



18
003 **CABLE TIE DOWNS**
SCALE: NTS

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ROOF DETAILS

PROJECT NO.: 19169
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A-003
 SHEET 4 OF 4