



## PRINCIPALS

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ROBERT G. WILKIN

**A D D E N D U M # 1**

**DATE:** November 3, 2011

**TO:** All Bidders

**FROM:** Michael Teller, CBI Consulting Inc.

**PROJECT:** Gymnasium & Auditorium Restoration at South Middle School

**CBI JOB NO.:** 11063

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The following items shall modify or be added to the Bid Documents and Project Manual dated November 3, 2011. This addendum forms part of the Contract Documents and modifies the original bidding documents. Portions of the Bidding and Contract Documents not altered by this addendum remain in full force.

These addendum form part of the Contract Documents and **AS SUCH, ALL BIDDERS SHALL ACKNOWLEDGE IT IN SECTION A ON THE FORM FOR GENERAL BID AND THE FORM FOR FILED SUB-BID. FAILURE TO DO SO COULD RESULT IN THE REJECTION OF YOUR BID.**

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GENERAL

1. The Project Duration is increased to 120 calendar days.
2. Please note that on G0-01 under the Drawing Sheets List, A2-02 Interior Elevations was not listed. Please include.

Also note that in the List of Drawings on 00 85 10, A2-02 Interior Elevations, A4-02 Photographs, and A4-03 Photographs were not listed. Please include.

3. The Gymnasium will be in use during the months of January, February and March and no work may be performed in the Gym during that time. Therefore, the contractor may perform the work of the contract in the Auditorium and on April 1, 2012, the Gymnasium space will be available. We expect that all of the long lead items for the Gymnasium, such as the bleachers and scoreboard, for example, shall be received and on site for installation by that time. During construction, the contractor will have control of each space and no activities by the Owner or Tenants will occur during construction in those spaces.

## OFFICES

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4. The Painting Filed Sub-Bidder shall be responsible for performing all the scope associated with cleaning the existing wood work, doors and paneling within the scope area which includes washing with a solution of TSP, rinsed with warm water, and sealed with Murphy's Oil Soap. Please note that the scope for large shutters for the windows in the Auditorium includes all the sides of each shutter. Note that in Detail 1/A2-01 and 2/A2-01 the shutters are shown completely open and in the Inset Elevation, called "TYPICAL WINDOW SHUTTER ELEVATION" on A2-01, they are shown completely closed.
5. We call for any additional flooring repairs to be done on a Unit Cost basis. There will be no Unit Costs in the project. Any additional flooring repairs will be addressed at that time..
6. During the walk-through, Joe Pedulla, Purchasing Agent for the City of Waltham indicated that because this was a former school, it is likely that there are no hazardous material issues and that if any are discovered during the construction; they will be addressed at that time.
7. In the Table of Contents the following Spec Sections were not listed but exist in the Technical Spec:
 

09 64 40 – WOOD FLOORING	6
09 65 00 – RESILIENT FLOORS	5

#### CLARIFICATIONS

8. All contractors must apply for, and receive, permits but the permit fees are waived.
9. Access to the Gymnasium is through a corridor that leads directly out to the rear parking area where a dumpster may be located and limited storage. Access to the auditorium is directly out the Moody Street entrance, down a set of stairs. Also note that the Gymnasium floor structure is slab on grade while the Auditorium, on the second level, is assumed to have a 100 lb/SF live load capacity. Parking is limited on site.

#### GYMNASIUM ITEMS

10. ADD: One (1) additional patch in the wood floor, at the very center of the gym, along the track, 1' x 2' and reinstall a metal floor insert within the patch. Architect to locate in the field.
11. On the walls of the Gymnasium, on the unpainted block, there exists four (4) 6" high x 1" long, areas of black paint. Either remove or properly coat with a stain-hiding paint as part of preparation. There are also letters, spray-painted in black "NO



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FOOD OR DRINK IN GYM” that will also be painted over and will require removal or preparation.

12. At the existing folding door pocket, the Electrical File Sub-Bidder shall remove and make safe the partition controls and cover over with blank cover plates in stainless steel which shall be painted. One plate is 2 3/4” x 4 1/2” and the other is 4 1/2” x 4 1/2”.
13. Provide padding at the bottom of the two (2) glass back-boards. Padding shall be E-Z Bolt Padding for Glass Backboards, Model # 413-410 - 413-421 by Spalding, 1-800-772-5346 or approved equal.
14. At the Walk-Thru there was discussion about the scope for switching in the plans for the Gymnasium. Please see the electrical plans which clearly indicate ceiling mounted sensors which control the lighting in the Gym.

#### AUDITORIUM ITEMS

15. Miscellaneous patching of wood paneling and wood trim throughout the space shall be performed by the General Bidder at the direction of the Architect in small, individual areas, throughout the auditorium at locations determined by the Architect. The contractor shall carry twenty (20) individual locations, 1’ x 1’, solid oak to be field-scribed to replace areas of damaged or missing wood-work. Finish with stain to match existing and three coats of clear polyurethane. Stain and finish by the Painting File Sub-Bidder.
16. In the auditorium, at the underside of the existing, suspended, acoustical tile ceiling, there exists four (4) heat detectors. As part of this project, the heat detectors shall be relocated to the ceiling above, by the Electrical File Sub-Bidder, centered on the coffers or at locations directed by the Architect.
17. Access to the Crawl Space above the coffer ceiling is at the Third Floor Electrical Room just below the roof hatch.
18. At the ceiling of each coffer, DELETE patching all the small individual holes and install 3/8” blueboard with skimcoat plaster. Also provide a continuous J-Bead at the entire perimeter of each ceiling and a continuous paintable caulk bead. Paint entire assembly. The area noted to patch the Cast Plaster, located over the edge of the balcony, is still in the scope. Include in the scope the patching of holes in the ribs of the coffers – carry 50 small holes to be patched in the base contract.



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### DRAWINGS

19. Sheet A1-02, at the left side of the sheet at the two sets of double doors to receive deadbolts, the detail reference is incorrect and should refer to 7 / A3-01.
20. Sheet A1-05 – The detail tag at the movable partition enclosure calls out Detail 6/A5-01. This should read “Detail 6/A3-01”.
21. Sheet A2-01, at Drawings #1, at the detail at the existing wheelchair ramp with no notation, provide Oak veneer plywood in the triangle shape to cover the open space under the ramp. Provide floor blocking and a bullnose oak trim at the edge of the ramp at this location. Painting File Sub-Bidder to stain and coat with 3 coats of polyurethane.
22. Sheet A2-01, at Drawing #3, two (2) radiators are not shown and require radiator covers.
23. Sheets Nos. A3-01 and A3-02 have been revised, and shall replace those in the original bid set, and are attached hereto.
24. Sheet A4-01, Photo Number 9, is a photo of a typical radiator cover style and corresponds to the details.
25. Sheet A4-01, Photo Number 10, is a photo of a the existing millwork to be removed at the side of the existing wheelchair ramp. At this location enclose the space under the ramp as per #18, above.
26. Sheet A4-01, Photo Number 11, is a photo of a typical glass backboard regarding item # 11, above.
27. Sheet A4-01, Photo Number 12, is a photo of the existing furniture and loose storage to be removed and disposed of as part of the selective demolition.
28. Sheet A4-02, Photo Number 1, is a photo of the typical existing clocks to be removed in the Gym and the area toothed in with CMU and painted.
29. Sheet A4-02, Photo Number 2, is a photo of a typical existing louvers in the Gym to be removed and replaced to match..
30. Sheet A4-02, Photo Number 3, is a photo of a typical windows in the Auditorium. Carefully remove the existing muttins and reinstall after the glass is replaced..



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31. Sheet A4-02, Photo Number 4, is a photo of a existing wall of the Auditorium Stage to be removed.
32. Sheet A4-02, Photo Number 5, is a photo of the Kitchen cabinets to be removed in the room on the Auditorium Stage.
33. Sheet A4-02, Photo Number 6, is a photo of the framing under the flat infill area to be removed at the balcony.
34. Sheet A4-02, Photo Number 7, is a photo of a typical existing wood retractable bleacher to be removed and disposed of.
35. Sheet A4-02, Photo Number 8, is a photo of a typical wall pad to be removed and replaced.
36. Sheet A4-02, Photo Number 9, is a photo of the upper corridor at the top of the wheelchair ramp. The wood flooring shall be refinished at the landing and at the sides of the ramp. The carpet shall be removed and replaced with VCT at the ramp. The ramp rails shall be painted.
37. Sheet A4-02, Photo Number 10, is a photo of the carpet in the Auditorium peeled up to expose the substrate.
38. Sheet A4-02, Photo Number 11, is a photo of the existing heating unit to be removed over the suspended ceiling (also to be removed) above the Stage in the Auditorium.
39. Sheet A4-02, Photo Number 12, is a photo of the interior of the partition at the front of the stage and how it meets the existing wood paneling above. Clean and patch the existing wood paneling after the partition is removed.
40. Sheet A4-03, Photo Number 1, is a photo of the typical cast plaster that is damaged above the edge of the Balcony. Patch the cast plaster to match the original.
41. Sheet A4-03, Photo Number 2, is a photo of the cast plaster that is damaged above the edge of the Balcony. Patch the cast plaster to match the original..
42. Sheet A4-03, Photo Number 3, is a photo of the existing ceiling within each coffer that is punctured with the suspended ceiling wires and fasteners. Cover each ceiling in each coffer with 3/8" blueboard and skimcoat plaster. Also provide a continuous J-Bead at the entire perimeter of each ceiling and a continuous paintable caulk bead. Paint entire assembly.
43. Sheet A4-03, Photo Number 4, is a photo of the existing track lighting assemble to be carefully removed and reinstalled over the stage.



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44. Sheet A4-03, Photo Number 5, is a photo of the interior of the Auditorium. Remove the entire suspended ceiling with all the associated lighting, above, and remove the entire carpet, below.
45. Sheet A4-03, Photo Number 6, is a photo of the existing ceiling of the Gymnasium which shall be completely painted by the Painting File Sub-Bidder who shall clean all the existing elements prior to painting. The reflected ceiling plan is schematic and all the existing steel joists and associated steel bridging supports and other supplemental steel shall be painted. All the existing HVAC equipment, ductwork, grilles, louvers, piping, piping insulation, conduit, and metal deck are included in the painting scope.

#### SPECIFICATION

46. In the Electrical Spec Section 26 00 00, Item 2.05.C.3 refers to the ceiling mounted spots in the Auditorium.
47. In the Electrical Spec Section 26 00 00, ADD Item 2.05, "G. The Specular Reflector material to be installed, continuously, behind all the new lights in the new coffers at each ceiling coffer, as shown in Detail 1 on sheet A3-02, shall be Clear Bright Specular Reflector, of anodized aluminum, as manufactured by Mirror Lighting, Western Lighting Industries, Wismarq Lighting company.

This Ends Addendum #1

MST/jds  
11066 Addendum 001 - 11-3-11.doc

**AUDITORIUM AND GYMNASIUM RENOVATIONS**

**WALTHAM COMMUNITY CENTER**  
510 MOODY STREET  
WALTHAM, MA 02453

Drawing Title:

**DETAILS**

Revisions:

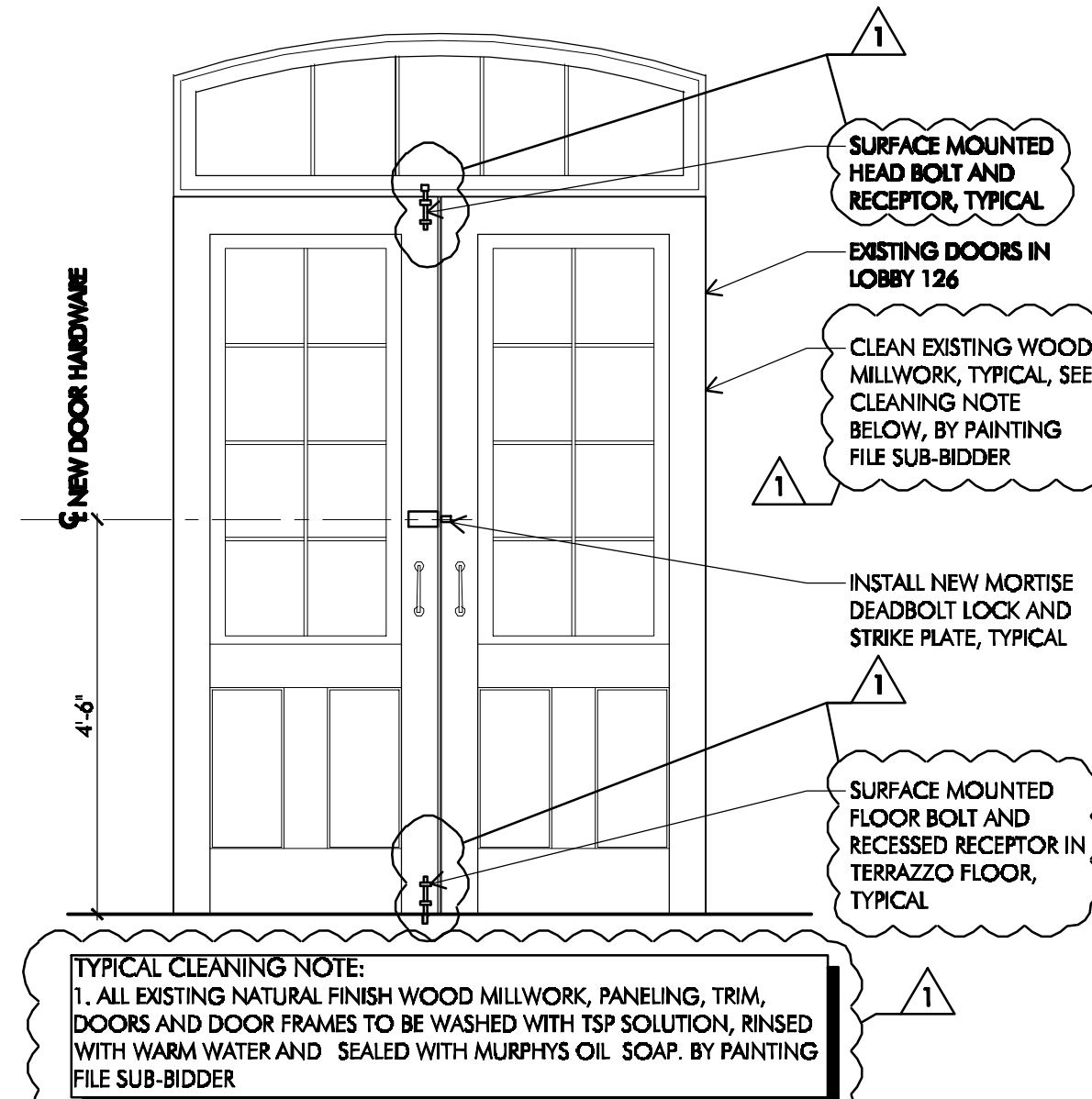
1 11/2/2011 ADDENDA #1

Submissions:

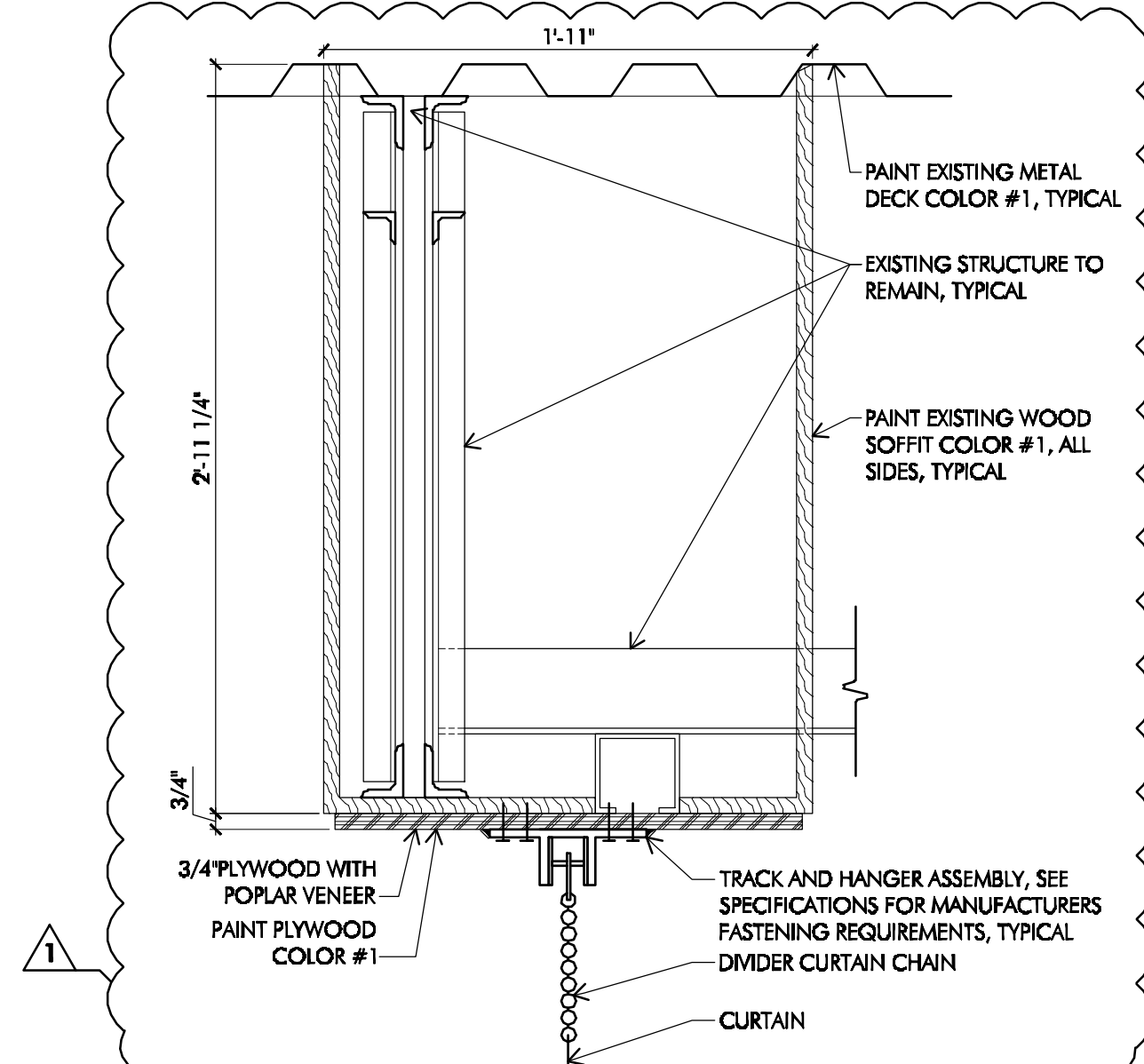
**BID DOCUMENTS**

Date: 10/26/2011  
Project Number: 11066  
Project Manager: 11066  
Drawn By: BLO, JS  
Scale: AS NOTED

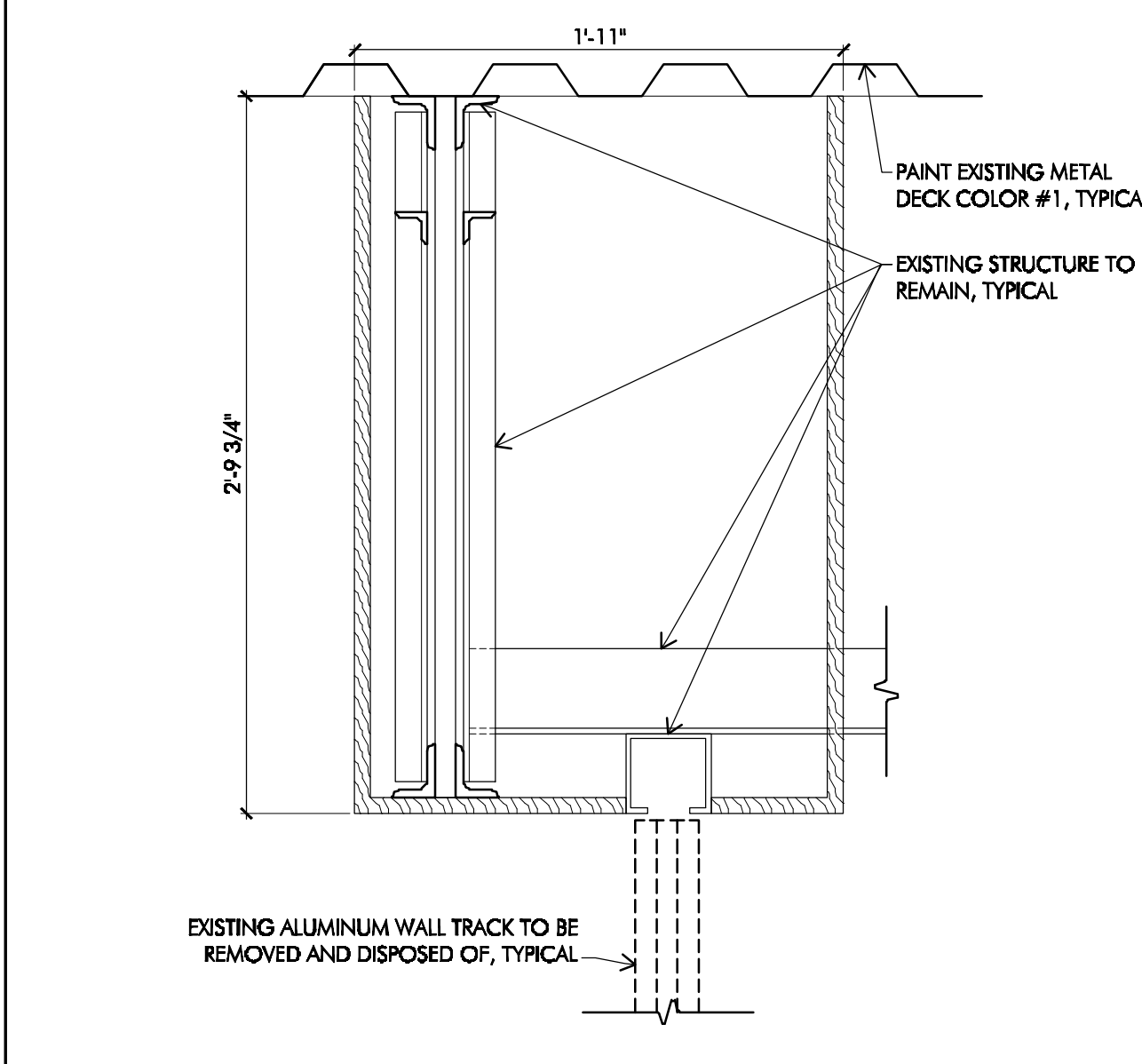
**A3-01**



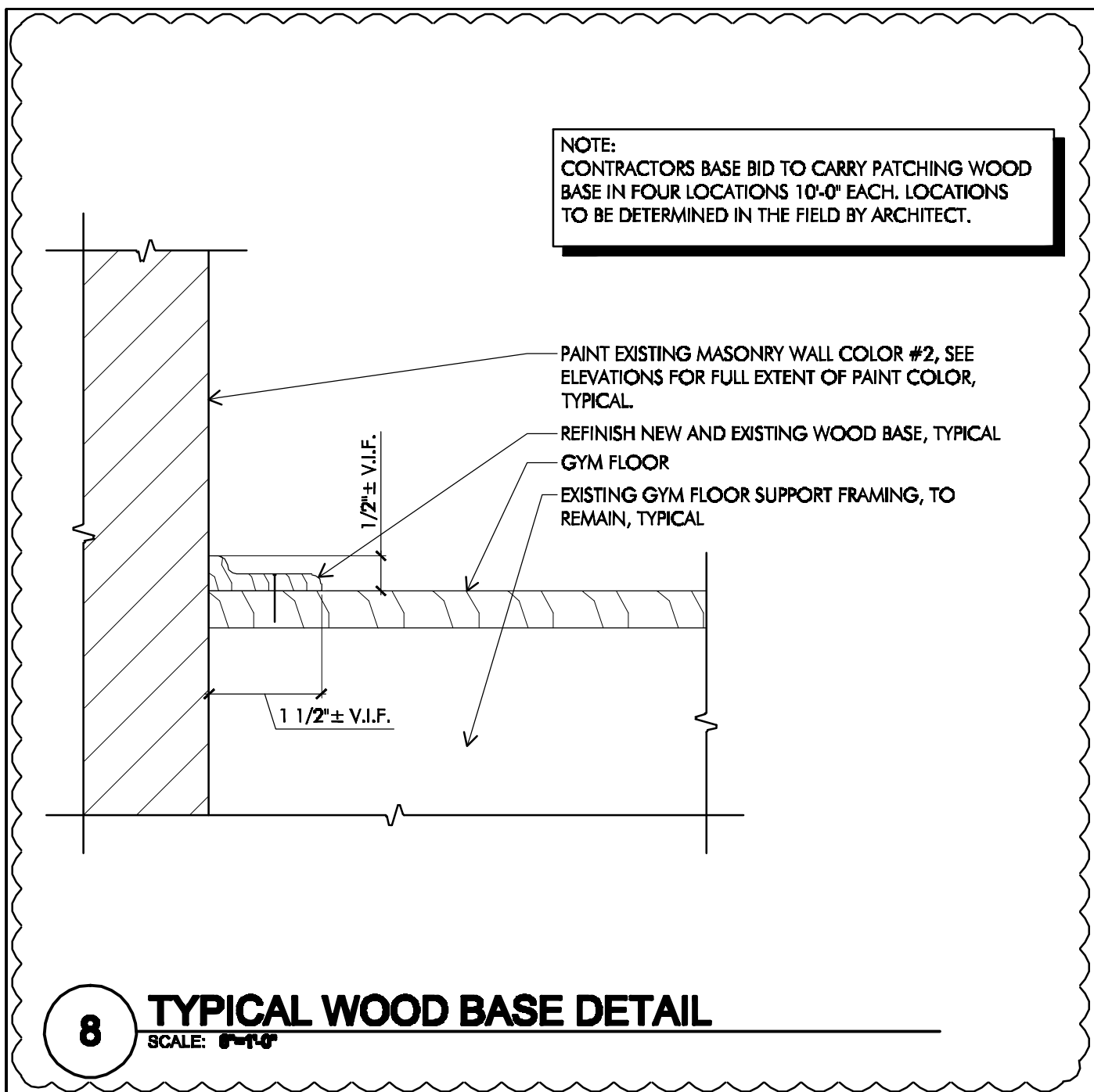
**7 TYPICAL DOOR ELEVATION IN LOBBY 126**  
SCALE: 1/8"=1'-0"



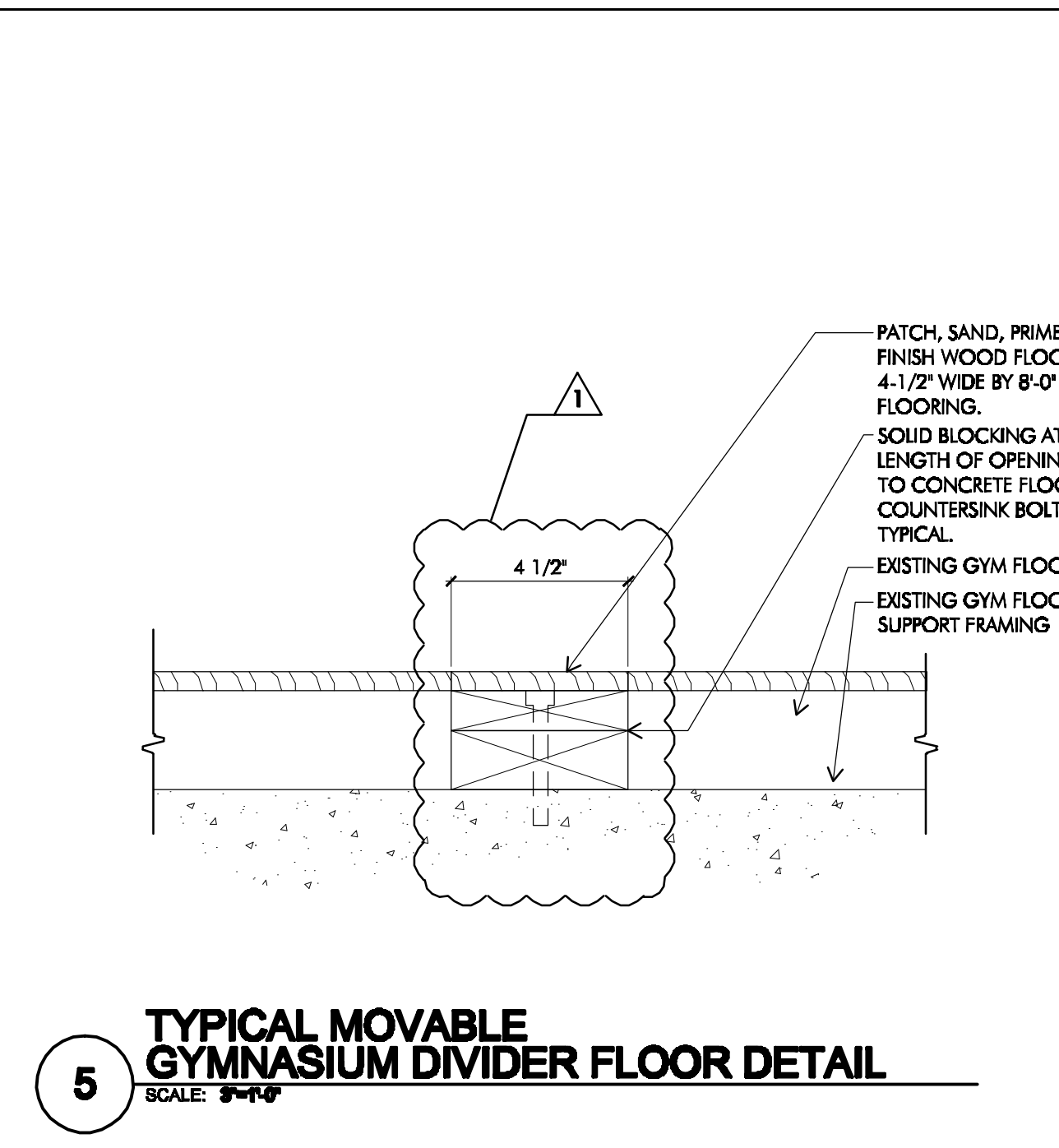
**4 TYPICAL MOVABLE GYMNASIUM DIVIDER HEAD DETAIL**  
SCALE: 1/8"=1'-0"



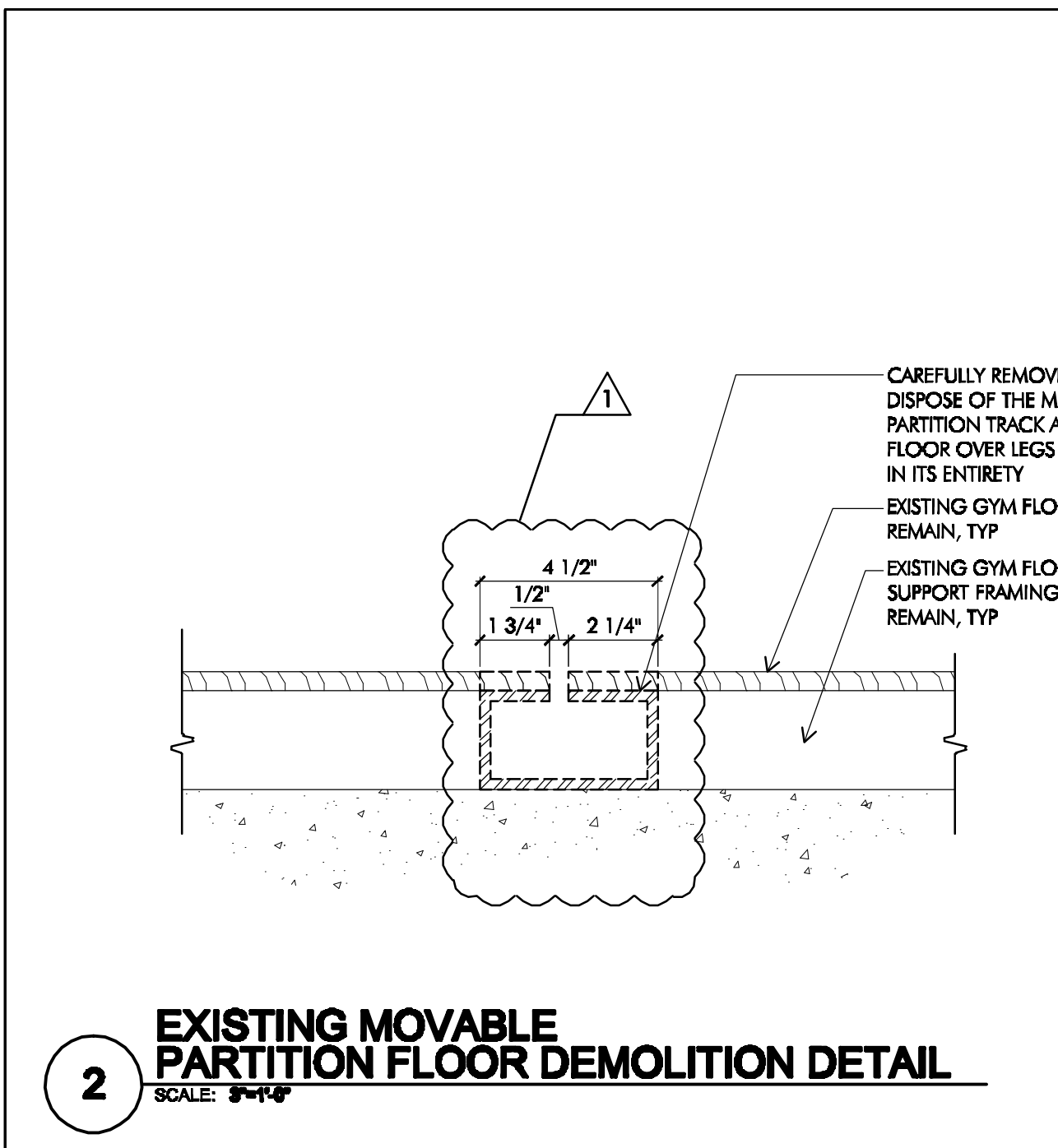
**1 EXISTING MOVABLE PARTITION HEAD DETAIL**  
SCALE: 1/8"=1'-0"



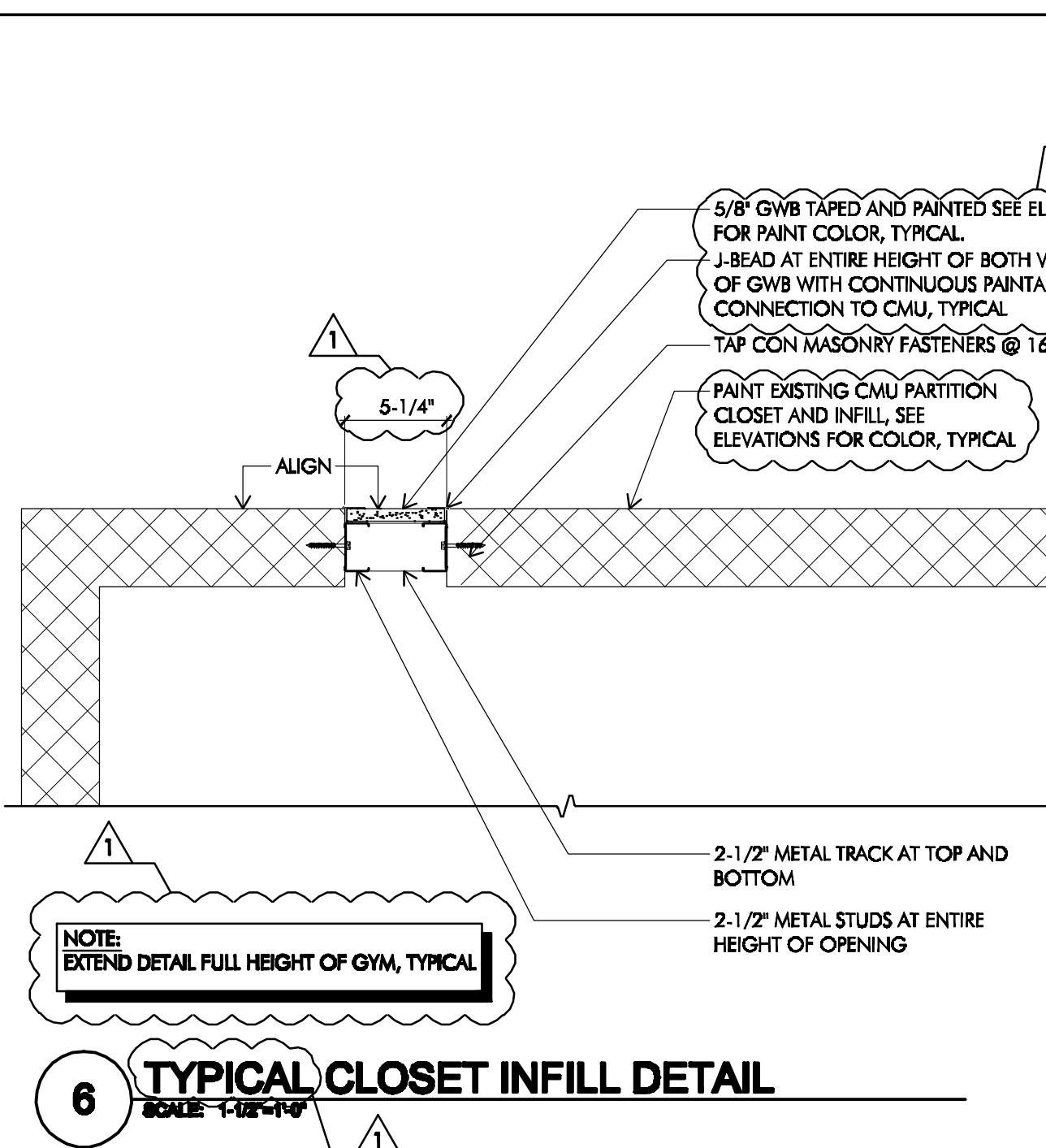
**8 TYPICAL WOOD BASE DETAIL**  
SCALE: 3/8"=1'-0"



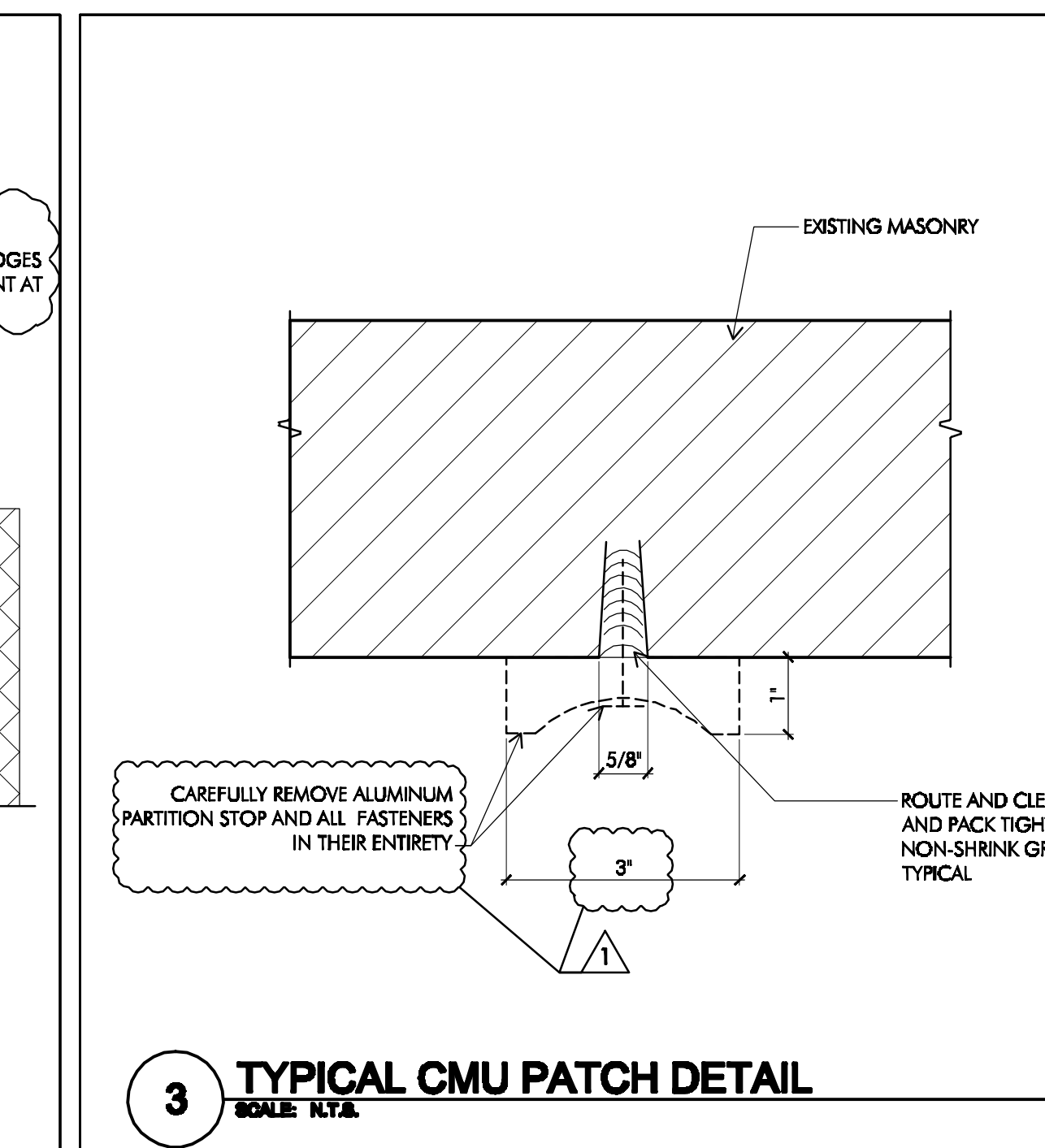
**5 TYPICAL MOVABLE GYMNASIUM DIVIDER FLOOR DETAIL**  
SCALE: 3/8"=1'-0"



**2 EXISTING MOVABLE PARTITION FLOOR DEMOLITION DETAIL**  
SCALE: 3/8"=1'-0"

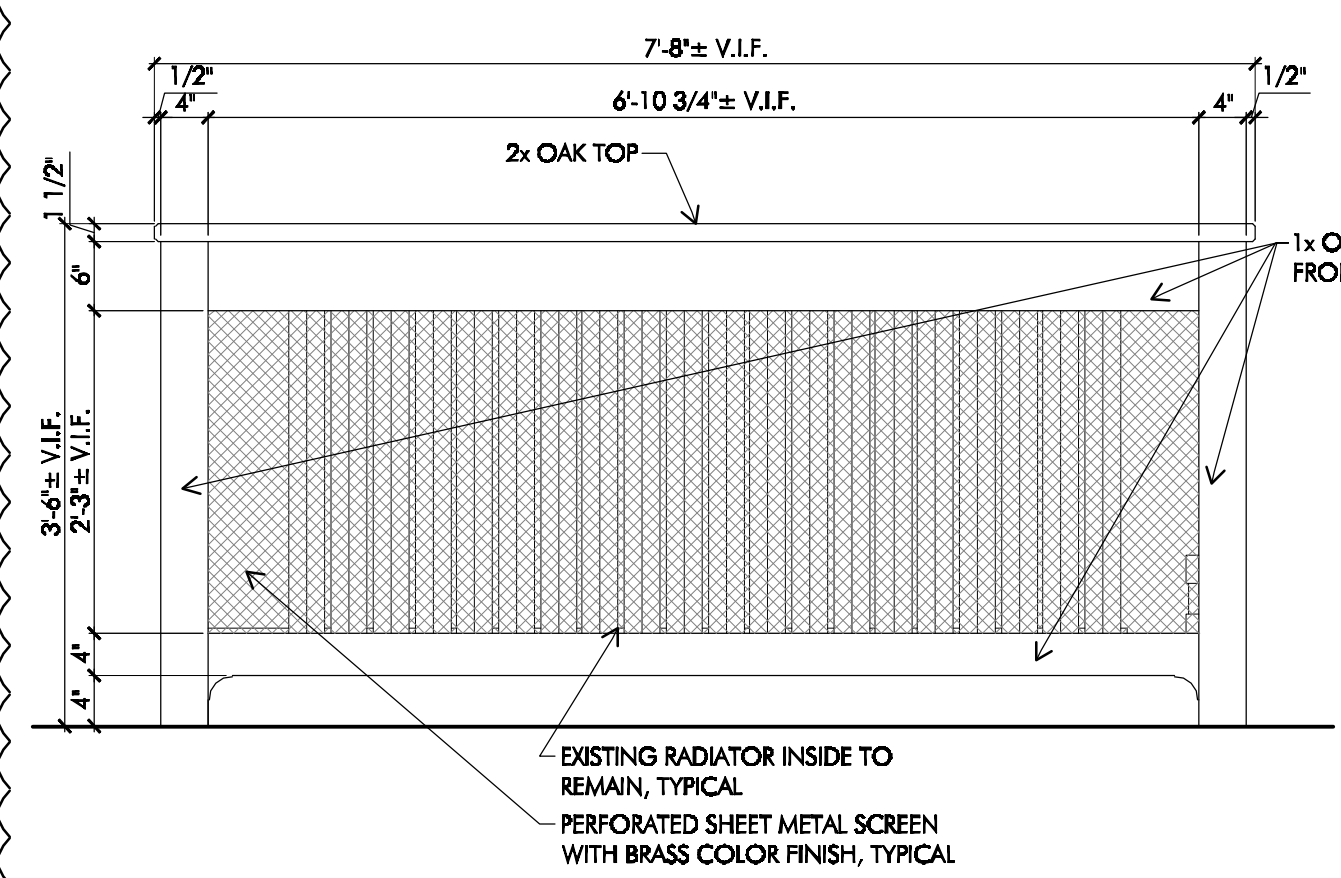


**6 TYPICAL CLOSET INFILL DETAIL**  
SCALE: 1/8"=1'-0"

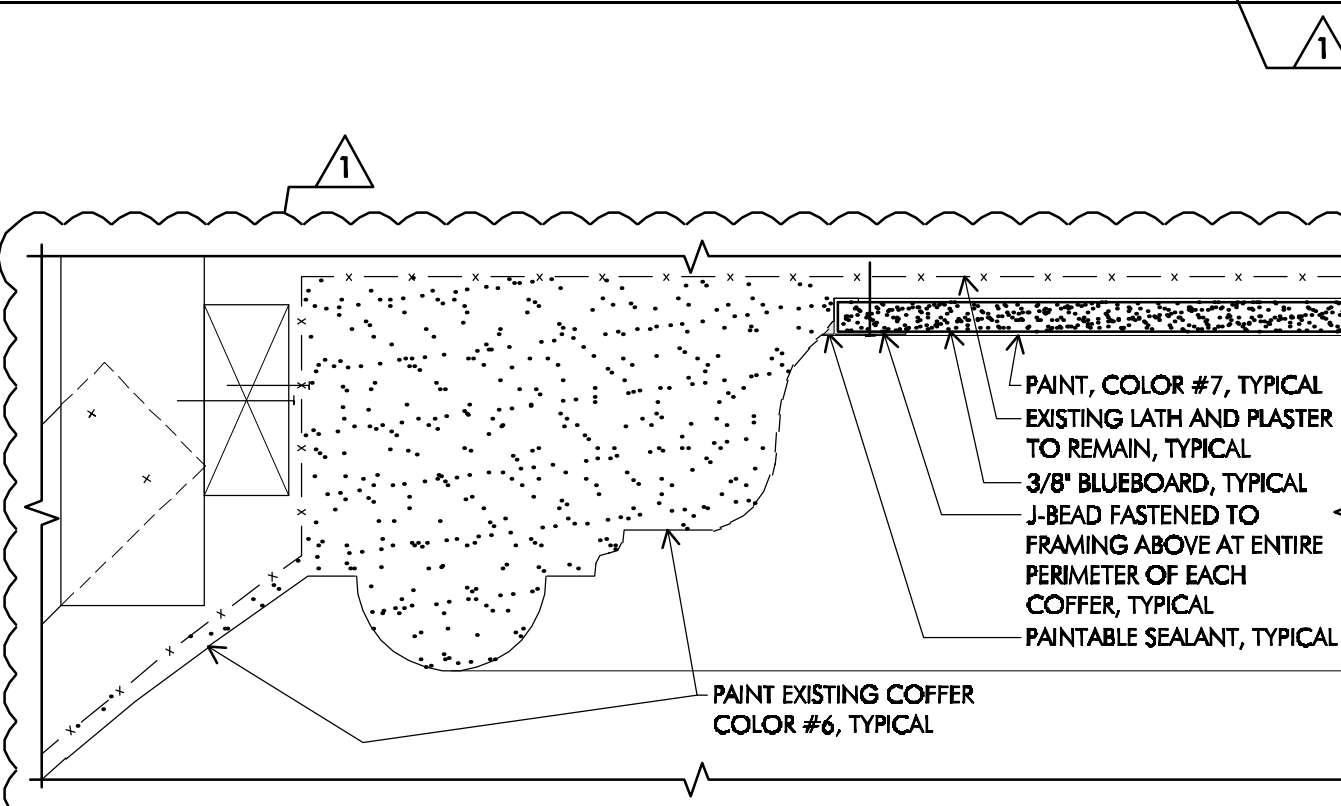


**3 TYPICAL CMU PATCH DETAIL**  
SCALE: N.Y.S.

NOTES:  
 1. STAIN AND APPLY THREE COATS OF CLEAR SEMI-GLOSS POLYURETHANE ON ALL WOOD, BOTH SIDES. EASE ALL EDGES OF WOOD.  
 2. SEE PHOTO #9/A4-01 FOR AN EXAMPLE OF RADIATOR COVER.



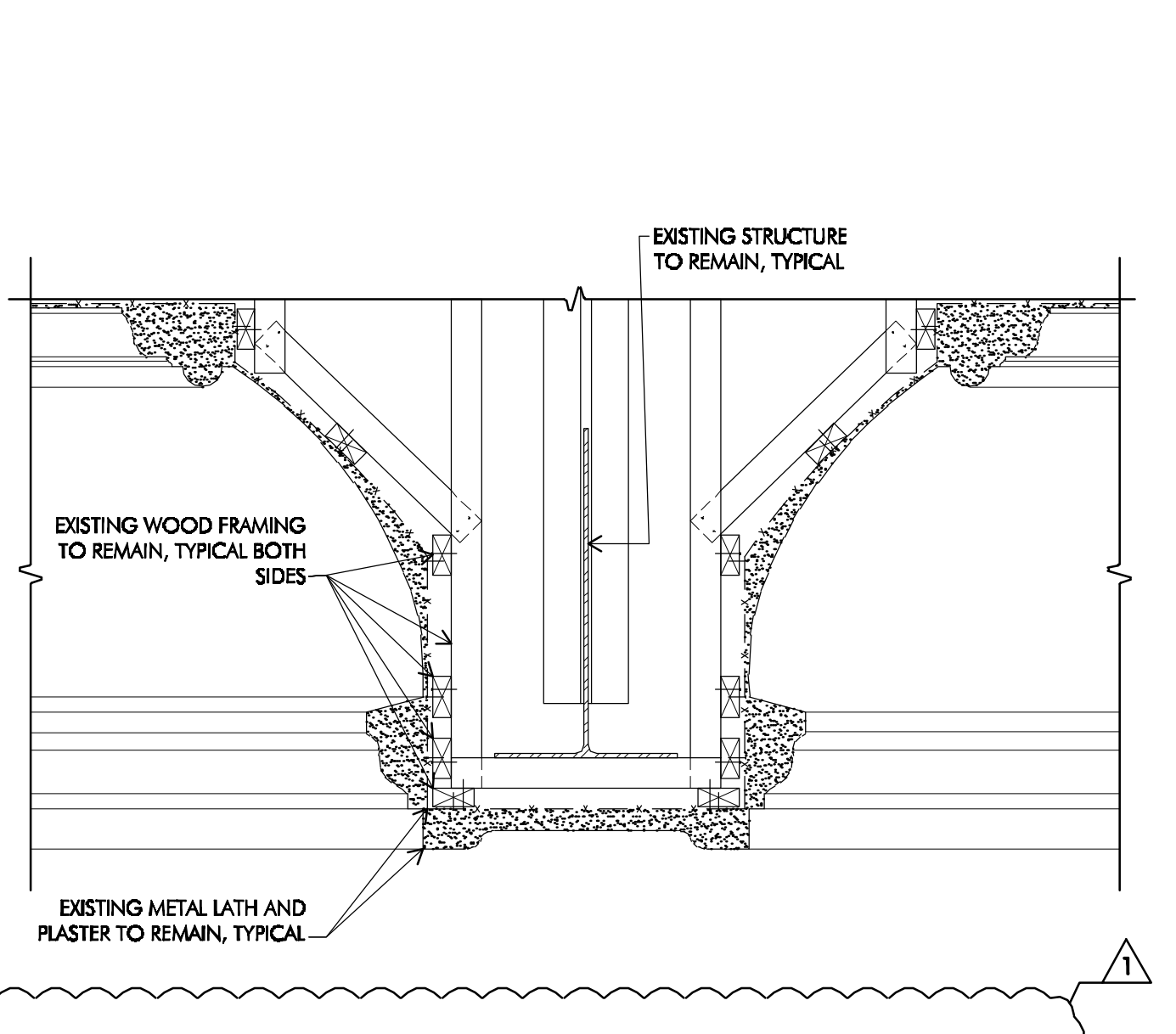
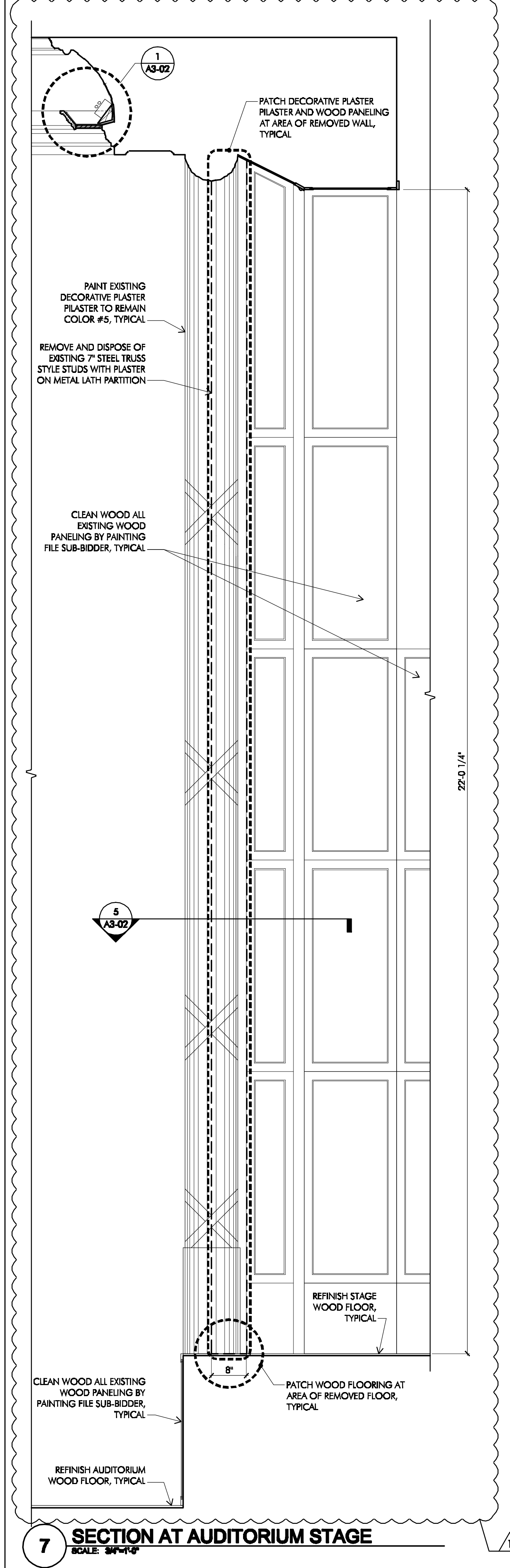
**8 TYPICAL RADIATOR COVER ELEVATION**  
 SCALE: 3/4"=1'-0"



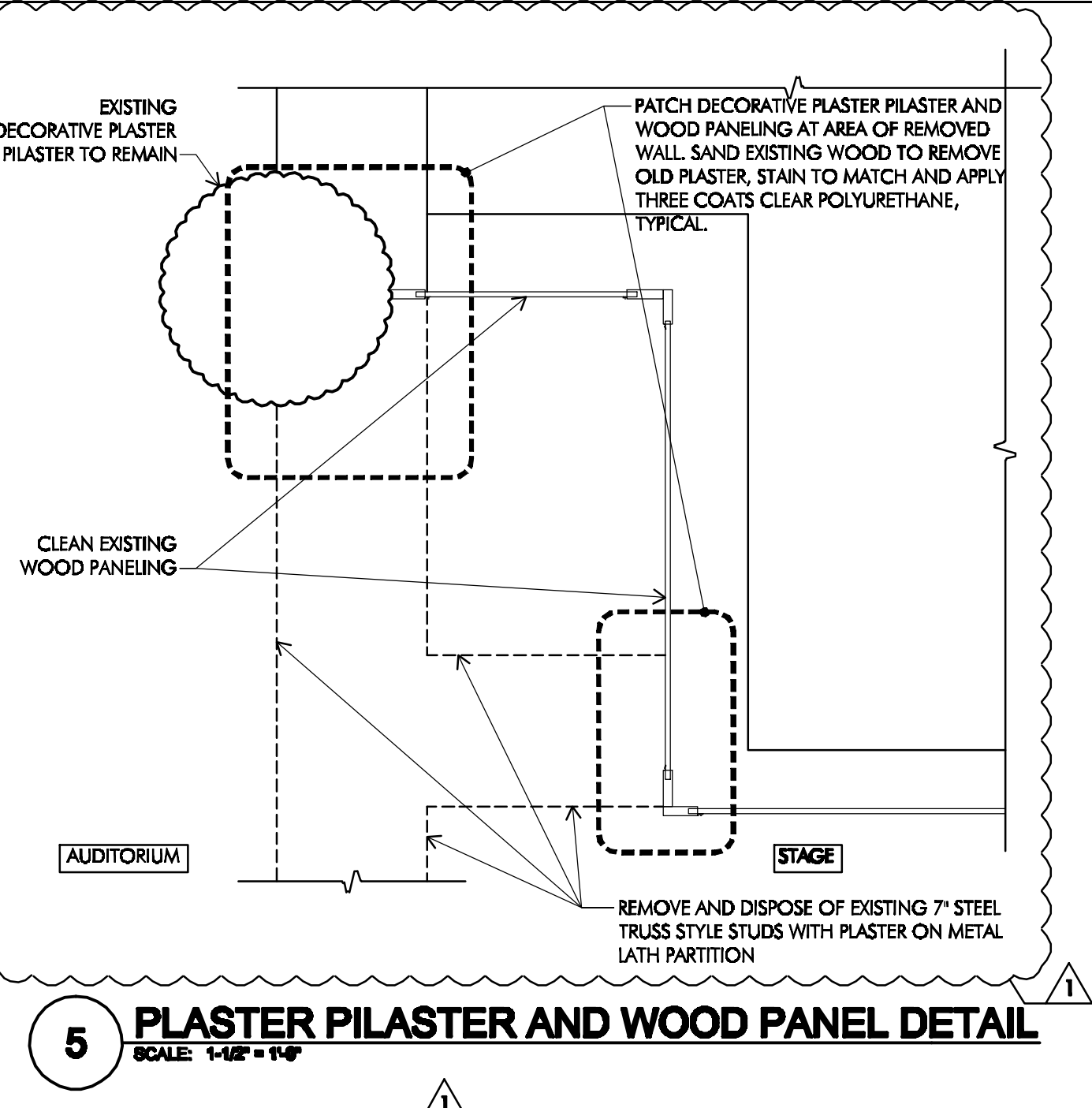
**9 TYPICAL BLUEBOARD AND SKIM COAT PLASTER CEILING DETAIL AT ALL AUDITORIUM COFFERS**  
 SCALE: 3/4"=1'-0"



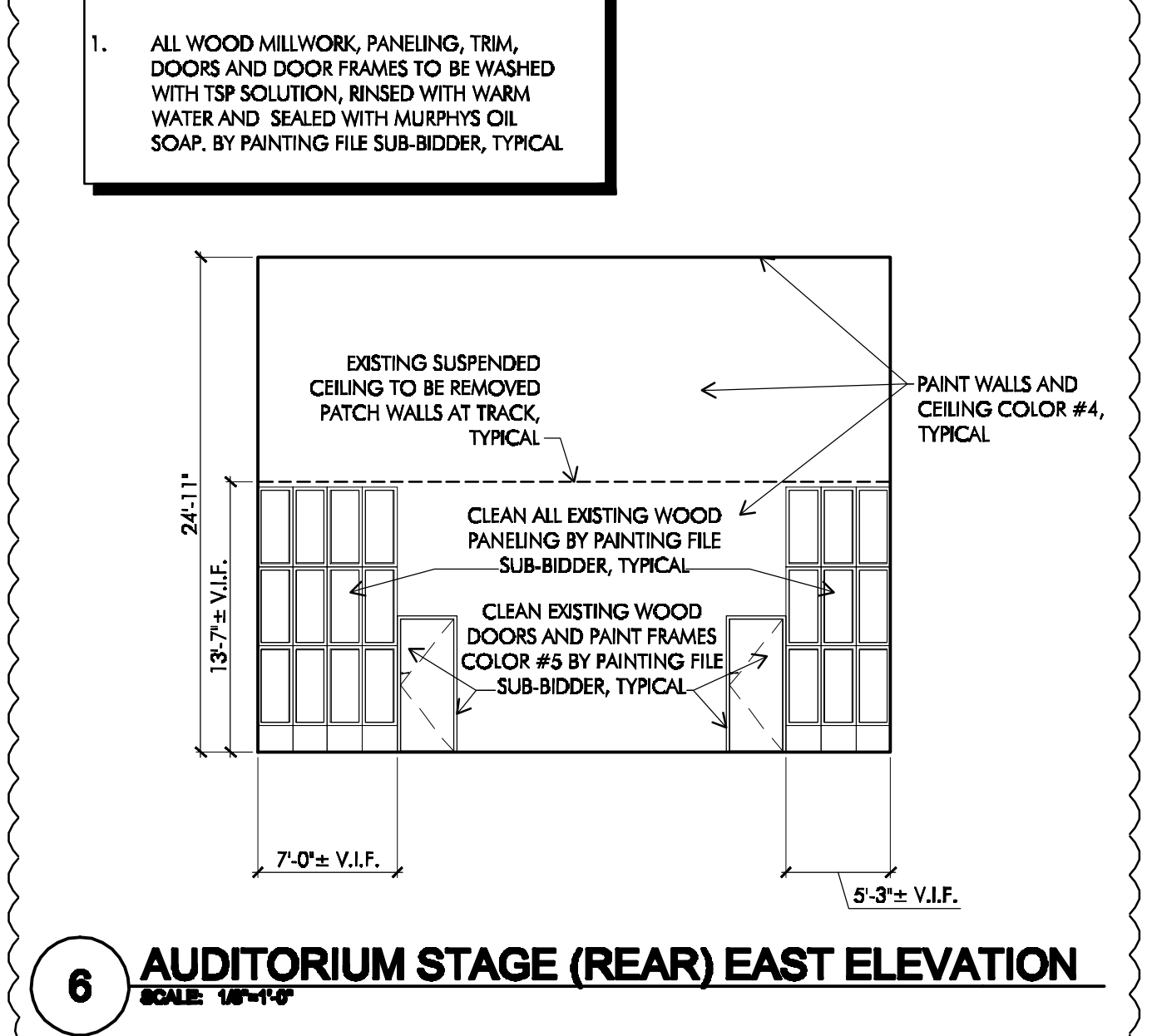
**7 SECTION AT AUDITORIUM STAGE**  
 SCALE: 3/4"=1'-0"



**4 EXISTING COFFER DETAIL**  
 SCALE: 1/2"=1'-0"

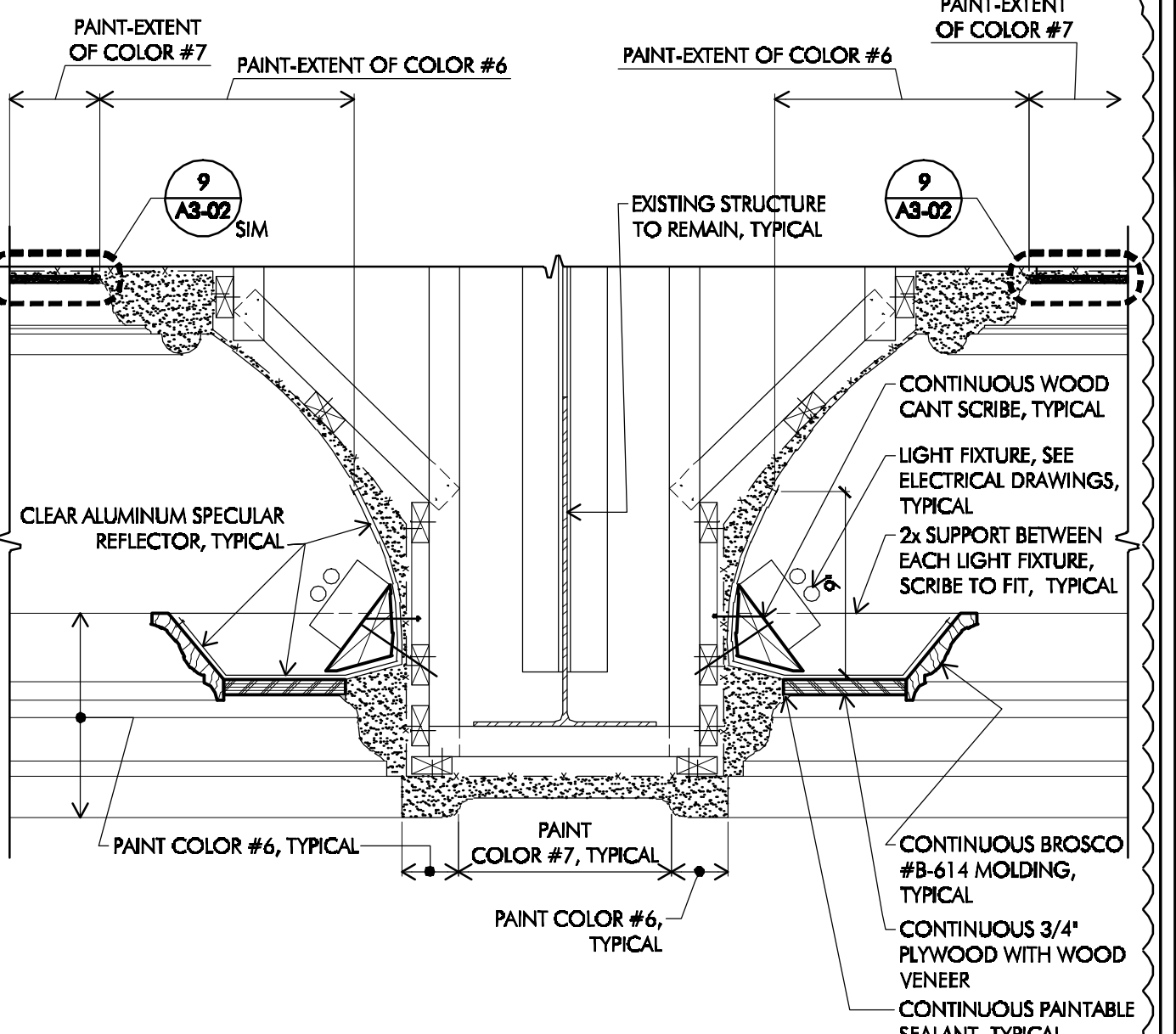


**5 PLASTER PILASTER AND WOOD PANEL DETAIL**  
 SCALE: 1/2"=1'-0"

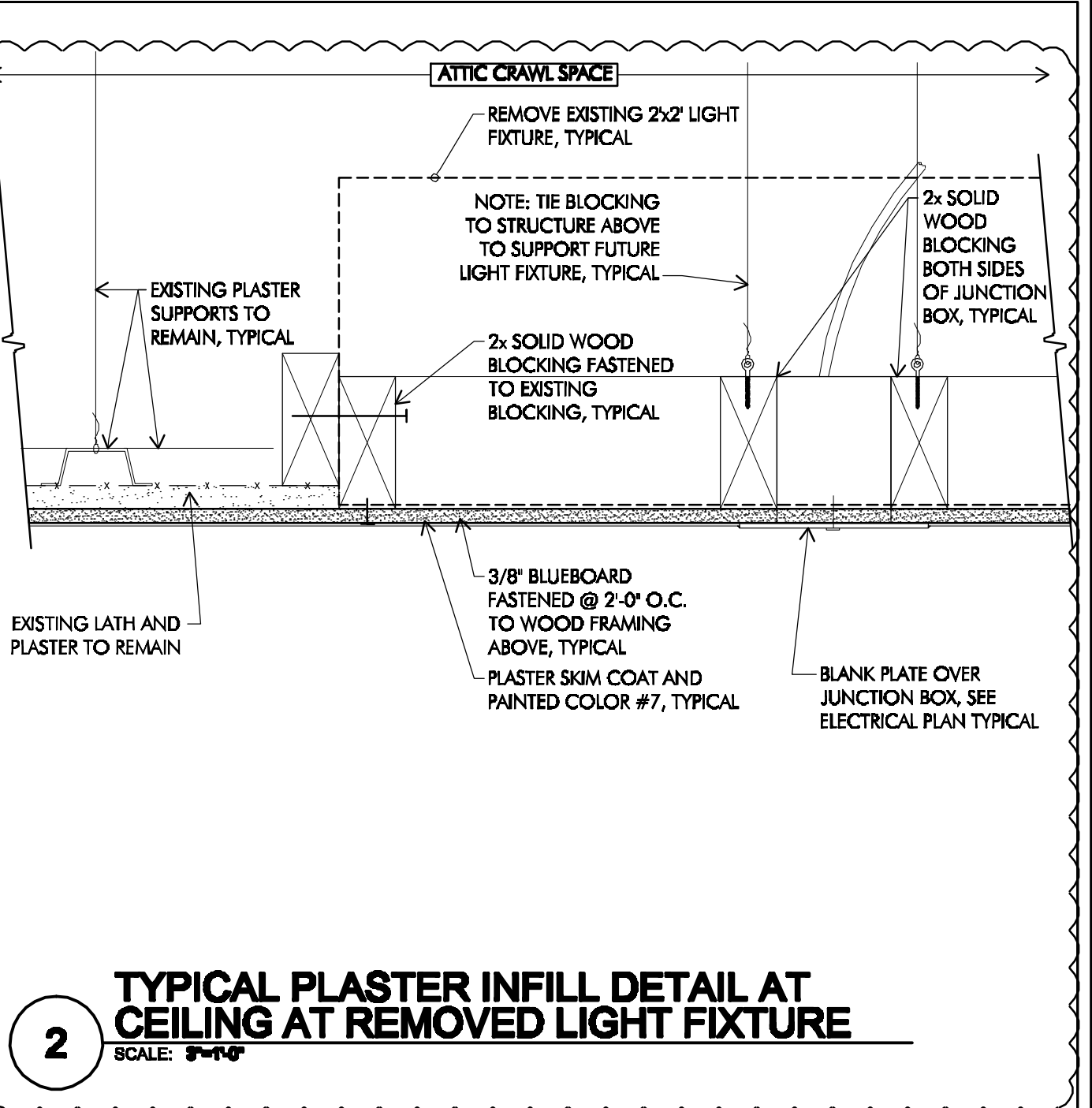


**6 AUDITORIUM STAGE (REAR) EAST ELEVATION**  
 SCALE: 1/8"=1'-0"

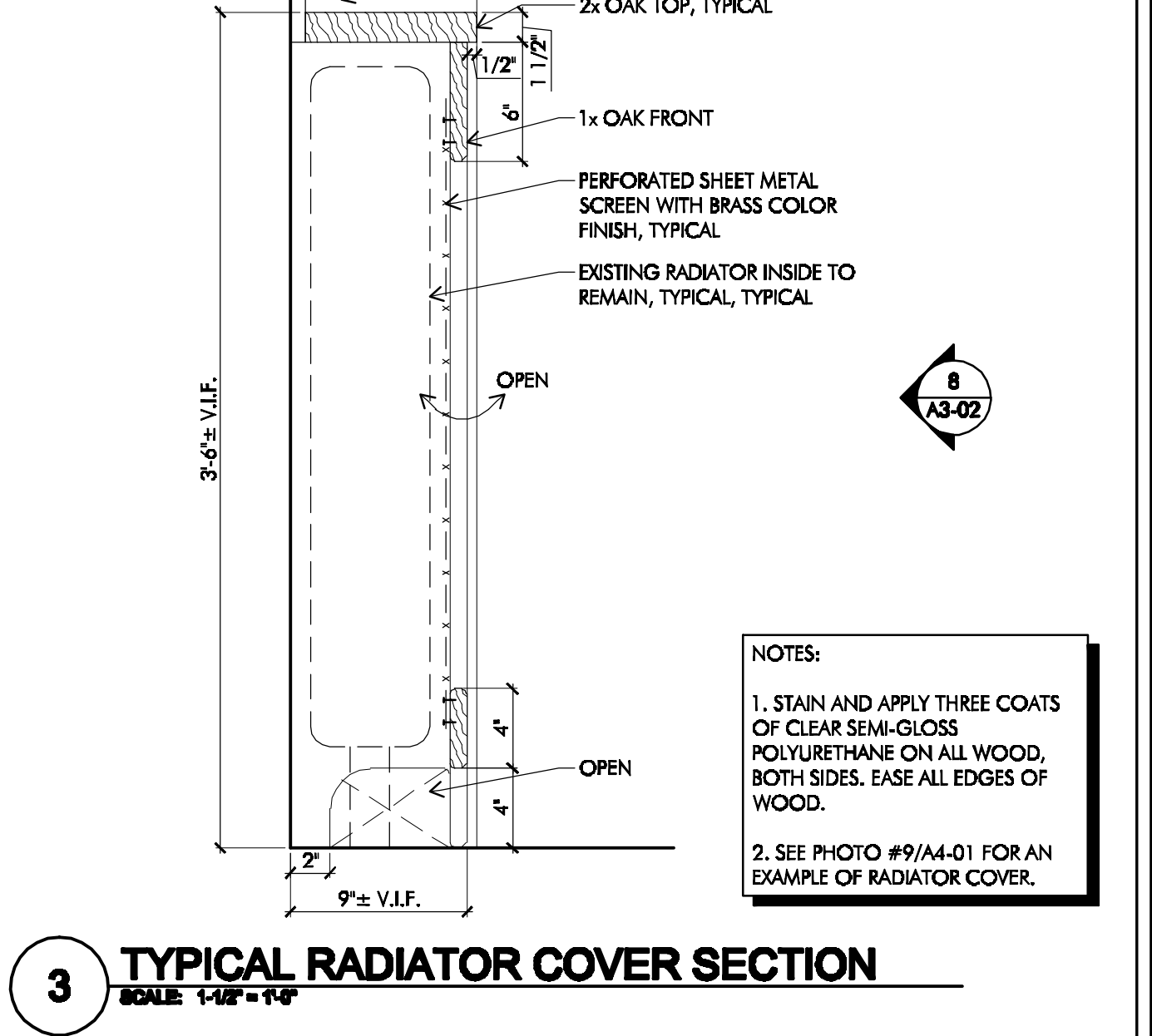
TYPICAL CLEANING NOTE:  
 1. ALL WOOD MILLWORK, PANELING, TRIM, DOORS AND DOOR FRAMES TO BE WASHED WITH TSP SOLUTION, RINSED WITH WARM WATER AND SEALED WITH MURPHY'S OIL SOAP. BY PAINTING FILE SUB-BIDDER, TYPICAL.



**1 TYPICAL LIGHT SHELF DETAIL**  
 SCALE: 1/2"=1'-0"



**2 TYPICAL PLASTER INFILL DETAIL AT CEILING AT REMOVED LIGHT FIXTURE**  
 SCALE: 3/4"=1'-0"



**3 TYPICAL RADIATOR COVER SECTION**  
 SCALE: 1/2"=1'-0"

NOTES:  
 1. STAIN AND APPLY THREE COATS OF CLEAR SEMI-GLOSS POLYURETHANE ON ALL WOOD, BOTH SIDES. EASE ALL EDGES OF WOOD.  
 2. SEE PHOTO #9/A4-01 FOR AN EXAMPLE OF RADIATOR COVER.



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**AUDITORIUM AND GYMNASIUM RENOVATIONS**

**WALTHAM COMMUNITY CENTER**  
 510 MOODY STREET  
 WALTHAM, MA 02453

**TYPICAL DETAILS**

Revisions:  
 11/2/2011 ADDENDA #1

**BID DOCUMENTS**

Date: 10/26/2011  
 Project Number: 11066  
 Project Manager: PL  
 Drawn By: BLO  
 Scale: AS NOTED

**A3-02**

P:\2011\1066\1066\1066\A3-02.dwg Nov-02, 2011 - 6:42 pm BOSBORNE