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ALSO ADMITTED IN  
NEW HAMPSHIRE

February 15, 2022  
Hand Delivered

Zoning Board of Appeals  
City of Waltham  
119 School Street  
Waltham, Massachusetts 02451

Re: Case No. 2021-43 – 21 Newton Street  
Comprehensive Permit per M.G.L. c. 40B

Dear Board Members:

On February 9<sup>th</sup>, 2Life Development, Inc. ("Petitioner") submitted Revised Plans (among other materials) incorporating changes made in response to comments received from the Engineering Department and the Fire Department, including reducing the size of the proposed building to install a 10' wide access lane from Newton Street that leads to the parking lot behind the building so that fire and emergency apparatus can traverse the entire site.

Thereafter, the Petitioner and its consultants continued to communicate with the Fire Department, which indicated that the proposed access lane would need to be wider. The Petitioner has agreed to accommodate this request and has further reduced the size of the building on the southerly end to provide a 20' wide access lane. With associated interior modifications, the proposed development will still have 68 units, 66 of which will be affordable deed-restricted units that will serve households with incomes up to 60% of the Area Median Income (AMI), and the remaining 2 units will be off-market units for use by 24/7 on-site support staff.

Accordingly, enclosed herewith as to the above, please find the original and two (2) copies of the following:

1. This filing letter;
2. Revised Proposed Decision with "Track Changes";
3. "Clean" version of the Revised Proposed Decision;
4. Revised List of Waivers with "Track Changes";
5. "Clean" version of the Revised List of Waivers;
6. Stantec Consulting's Plan Changes Memorandum dated February 15, 2022; and
7. Revised Plans, consisting of twenty (20) sheets, entitled "Leland House Comp. Permit (M.G.L. c. 40B), dated December 20, 2021, revised February 9, 2022 and February 14, 2022.

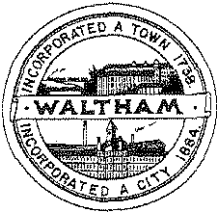
Zoning Board of Appeals  
Case No. 2021-43 – 21 Newton Street  
M.G.L. c. 40B Comprehensive Permit  
February 15, 2022  
Page 2 of 2

If there is any additional information, which you require at this time, please let me know.

2Life Development, Inc.  
By their Attorneys  
Connors & Connors LLP

By   
Michael R. Connors

cc: 2Life Communities  
File No. 21-1008



The City of Waltham  
ZONING BOARD OF APPEALS

NOTICE OF DECISION

CASE NUMBER: #2021-43

NAME OF PETITIONER: 2Life Development Inc.

LEGAL OWNER: The Leland Home

LOCATION OF PROPERTY: The locus is situated at 21 Newton Street  
Map 061 Block 013, Parcel 0003

DATE OF HEARING(S): 2-15-2022

DATE OF DECISION:

DATE OF FILING OF DECISION WITH CITY CLERK:

DATE OF NOTIFICATION TO BUILDING INSPECTOR:

FINAL DATE FOR FILING OF APPEAL FROM THIS DECISION:

Appeals, if any, shall be made pursuant to Section 17 of the General Laws of Massachusetts Chapter 40A. All plans referred to in the decision have been filed with the Planning Board and with the City Clerk.

DECISION

COMPREHENSIVE PERMIT, PURSUANT TO M.G.L. c. 40B

GRANTED with Conditions

**XX**

DENIED

ROLL CALL

Yes

No

-

Yes

No

[Matthew Deveaux](#)

Michael J. Cotton

John Sergi

Mark A. Hickernell

Glenna Gelineau

Edward T. McCarthy. Jr.

Oscar L. LeBlanc

Marc S. Rudnick

Michael R. Squillante

Sarah Hankins

## **PETITION**

**Petitioner:** 2Life Development Inc.

**Nature of Appeal:** Application for a Comprehensive Permit Pursuant to Massachusetts General Laws, Chapter 40B, Sections 20-23.

**Subject Matter:** The Petitioner, 2Life Development Inc. proposes to construct 68 apartment units and will provide 66 units which meet the definition of low and moderate income under the meaning of M.G.L. Chapter 40B, Section 20. The Petitioner submits this application for a comprehensive permit under the provisions of M.G.L. Chapter 40B, Sections 20-23, inclusive and as amended (the "Statute"), for the construction, maintenance, and use of sixty eight (68) apartment units, of which sixty six (66) will be affordable deed-restricted units that will serve households with incomes up to 60% of the Area Median Income (AMI).

**Location and Zoning District:**

The locus is numbered 21 Newton Street and is identified as Map 61, Block 13, Lot 3 according to the Atlas of the City of Waltham. The locus is situated on the Westerly side of Newton Street and consists of 65,221 +/- square feet (1.497 +/- acres). The locus is situated in a Residence B Zoning District.

## **COMPREHENSIVE PERMIT**

**2Life Development Inc.  
21 Newton Street, Waltham, Massachusetts**

### **Background/Summary of Proceedings:**

2Life Development Inc., 30 Wallingford Road, Brighton, MA 02135 (the "Petitioner" or "Developer") has requested that the City of Waltham Zoning Board of Appeals (the "Board") pursuant to Massachusetts General Laws, Chapter 40B ("Chapter 40B") issue a comprehensive permit for the construction, use, and maintenance of a multi-family apartment complex (the "Development") on 1.497 +/- acres of property located on the westerly side of Newton Street. The Petitioner submitted to the Board a formal Petition on December 20, 2021, which also included but was not limited to a List of Waivers, Petitioner's bound Comprehensive Permit Application Materials, and preliminary design plans for the Development (the "Application").

Prior to filing its Application with the Board, the Petitioner submitted an application to the City of Waltham Community Preservation Committee (CPC) and was approved for six million dollars in Community Preservation Act (CPA) funds to support the Proposed Development.

After review and consultation with the Ward Councillor, abutters, and the City Council, the Petitioner revised its design to better address the concerns of neighbors, resulting in a reduction in the size of the Proposed Development, largely consisting of:

- Reduction of proposed units from 79 to 68;
- Reduction of the proposed height from four stories to a forty-foot, three-story building, both of which are compliant with the Zoning Ordinance; and
- Increase in proposed parking from forty parking spaces (0.5 parking spaces per unit) to 51 parking spaces (0.75 parking spaces per unit).

Based on these modifications to the Proposed Development, the City Council unanimously approved the six million dollars in CPA funds on August 3, 2021.

Thereafter, the Petitioner applied for and received a Project Eligibility Letter from the Commonwealth of Massachusetts Department of Housing & Community Development, dated November 17, 2021, indicating that the Proposed Development has been approved under the Low Income Housing Tax Credit (LIHTC) program. The Petitioner asserts that it is a non-profit corporation within the meaning of M.G.L. c. 40B and 760 CMR 56.04 and is eligible to receive the LIHTC after a Comprehensive Permit pursuant to said M.G.L. c. 40B has been granted.

The Petitioner contends that it has complied with the procedural requirements of Chapter 40B, Section 21 for submission of an application for a Comprehensive Permit. The Petitioner requested from the Board a Comprehensive Permit pursuant to Chapter 40B, asserting that the Development qualifies as low-and/or moderate-income housing as defined in Sections 20-23 of Chapter 40B. The Property is located in a Residence B Zoning District as shown under the Zoning Map as part of the Zoning Ordinance of the City of Waltham (the "Zoning Ordinance").

The Petitioner has reviewed local codes, ordinances, and regulations including the Zoning Ordinance, Stormwater Regulations, Engineering Department Plan and Utility Requirements and Engineering Department Drainage Calculation Requirements, and Traffic Rules and Regulations, and has submitted a list of provisions under said local codes, ordinances and regulations with which the Petitioner seeks not to comply, including but not limited to exceptions related to use, density, setbacks, and parking. The Petitioner shall comply as specifically identified below and as detailed in the Plans dated December 20, 2021, revised February 9, 2022 [and February 14, 2022](#) (identified fully in Section II below) which are incorporated herein and expressly made part of this Decision (note: a full set of said controlling Plans are located in the Office of the Zoning Board of Appeals, 119 School Street, Waltham, MA 02451).

Subsequent to the Petitioner's December 20, 2021 filing, comments were received from the City

of Waltham Engineering Department, Fire Department, and Board of Survey and Planning. In response to these comments, in advance of the Public Hearing the Petitioner incorporated further changes to the design in its Revised Plans dated February 9, 2022 [and February 14, 2022](#), including reducing the building at its southerly end (along with associated changes to the site layout and interior modifications to the building) to accommodate an access lane along the southerly end of the site from Newton Street to the rear parking lot per the request of the Fire Department so that fire and emergency apparatus can traverse the entire site.

A public hearing on the Application was held on February 15, 2022 before the Board, where the Board heard testimony from the Petitioner, received comments from various interested parties and considered expert reports of Petitioner's consultants. This Decision is made this \_\_\_\_ day of \_\_\_\_\_, 2022 and grants a Comprehensive Permit for the Development, subject to the waivers and conditions specified in this decision. Upon issuance of this Decision, the Board agrees that it shall not advance any further appellate opposition against this Development under the land area safe harbor, subject to the Condition that the Petitioner does not appeal any terms of this Comprehensive Permit.

## **FINDINGS AND DECISION**

The Board on motion duly made and seconded hereby grants a comprehensive permit to the Petitioner under the provisions of M.G.L. c. 40B §§20-23 for the construction of 68 units of multi-family apartment housing at the Property, subject to all the terms and conditions contained in this Decision.

The Petitioner provided a Project Eligibility Letter dated November 17, 2021, which stated that the Petitioner is able to meet the requirements under the LIHTC program, the fundability requirement of 760 CMR 56, and the site control requirement of 760 CMR 56, thereby allowing the Petitioner to file a Comprehensive Permit Application before the Board. The Petitioner has shown evidence of its interest in the Property, in Section 6 of the Petitioner's Bound Application Materials, via a Purchase and Sale Agreement dated August 24, 2021 between Petitioner and the Legal Owner, sufficient to qualify it as a recipient for a comprehensive permit.

After reviewing the evidence, the Board finds that the Conditions enumerated below are required because the Development (without the imposition of such Conditions) causes several concerns as to use, density, setbacks, traffic and pedestrian safety, and parking design, and other local concerns. Said factors outweigh the regional need for low-and moderate-income housing in Waltham, particularly given Waltham's continuing efforts to address the affordable housing needs of the City: consequently, conditions are required for the issuance of this Comprehensive Permit in order to ameliorate said factors.

After reviewing the evidence, the Board voted to GRANT the Comprehensive Permit under the

provisions of M.G.L. c. 40B, §§ 20-23 and the applicable regulations and guidelines for the development of a 68-unit Development, in accordance with the Plans which are incorporated by reference as if fully set forth herein, subject to the conditions and waivers set forth herein. The Board considered conditions it felt would best ameliorate the issues raised by the construction and operation of the Development, including concerns regarding health and safety of the occupants of the Development and of occupants of neighboring properties, environmental, and other local concerns identified above. The Board finds that the conditions as approved and identified below strike the appropriate balance between protecting health, safety and welfare of the residents of Waltham, tenants of the Development, and the abutters, and that with the conditions as approved and identified below, the Development is consistent with local needs.

**WAIVERS AND CONDITIONS TO THE COMPREHENSIVE PERMIT**

The Board’s approval of the Comprehensive Permit for the Development is premised on the Petitioner’s and the Development’s compliance with the following Waivers and Conditions. All requirements imposed by these waivers and conditions and this Permit shall be applicable to any and all successors in interest to the Petitioner or other entity responsible for the administration of the Development regardless of whether these waivers and conditions specifically identify the Petitioner.

**I. The following Waivers requested by the Petitioner are as indicated:**

a. Special Permits:

1. Section 3.511 – Special Permit for Intensity of Use – Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District.
2. Section 3.512 – Special Permit for Use – Allowing a multi-family dwelling not allowed in the Residence B Zoning District.

b. Waivers:

<b>Ordinance Section</b>	<b>Requirement</b>	<b>Required Waiver(s)</b>	<b>Details of Proposal Requiring Waivers</b>	<b>Waiver Number</b>
3.4	Table of Uses	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	A
3.52	Development ProspectusComments	Waiver of Requirement from Development Prospectus Comments	Waiver of Requirement from Development Prospectus Comments	B
3.53	Determinations	Waiver of Requirement from Determinations	Waiver of Requirement from Determinations	C

3.618	Multi-family dwellings	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	D
4.11	Min. Side Setback	Waiver from required side setback of 10 feet in the Residence B Zoning District	The Development has a northerly side setback of 7.69' in the Residence B Zoning District	E
4.11	Min. Rear Setback	Waiver from required rear setback of 30 feet in the Residence B Zoning District	The Development has a rear setback of 15.31' in the Residence B Zoning District	F
4.11	Max. FAR by right	Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District	The Development has a FAR of 1.12 in the Residence B Zoning District	G
4.11	Multifamily Dwellings	Waiver from the prohibition of multifamily dwellings in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	H
4.11	Lot Coverage	Waiver from the maximum allowed lot coverage of 30% in the Residence B Zoning District	The development has 39.59% lot coverage in the Residence B Zoning District	I
4.11	Open Space	Allowing for open space of 26.4% in the Residence B Zoning District	The development has 26.4% open space in the Residence B Zoning District	J
4.11	Maximum number of Units per Acre in the Residence B District	Allowing 46 units per acre in the Residence B Zoning District	The development has 46 units per acre in the Residence B Zoning District	K
4.11	Minimum Lot Area Per Dwelling Unit in the Residence B Zone	Allowing a minimum lot area per dwelling unit of 959.1 sq. ft. per unit in the Residence B Zoning District	The development has a minimum lot area of 959.1 sq. ft. per unit in the Residence B Zoning District	L
4.11	Minimum open space per unit	Allowing minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	The development has minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	M
4.221	Location of accessory buildings in the Residence B Zoning District	Waiver from the requirement that an accessory building be located at least 10 feet from the principal building and 5 feet from the side and rear lot lines	The development has two accessory buildings (sheds). One is located 2 feet from the principal building and 4 feet from the rear lot line. The other is located 4 feet from the side (northerly) lot line.	N



5.21	Parking Spaces for Multifamily Use	Waiver from the required 2 parking spaces per dwelling unit	The development has 51 parking spaces for 68 dwelling units or .75 spaces per unit	O
5.41	Width of Driveway	Waiver from the requirement that a driveway exceeding 25 feet requires a Special Permit from the Board of Survey and Planning	The proposed Heard Street driveway is 30 feet wide to allow adequate access to fire apparatus per the request of the Fire Department.	P
5.41	Location of driveway	Waiver from the requirement that a new driveway located within 100 feet of an intersection requires a Special Permit from the Board of Survey and Planning	<ol style="list-style-type: none"> <li>1. The proposed Newton Street entry / exit driveway (westerly side of Newton Street) will be located less than 100 feet from the intersection of the easterly side of Newton Street and Barton Street (one way street turning onto Newton). This is an improvement from the existing drive that lines up with the intersection.</li> <li>2. The proposed access lane at the southerly end of the site will be located within 100 feet of the intersection of Newton Street and Barton Street as well as within 100 feet of the intersection of Newton Street and Central Street. The proposed access lane is largely within the location of the former Leland Home's ambulance drive, consisting of two curbs cuts in close proximity to one another.</li> </ol>	Q
5.42	No paved area, excluding entrances and exits, shall extend within 5 feet of any lot or street line; nor into any front yard	Waiver from the requirement that there be no paved area within 5 feet of a lot line or a street line in the Residence C Zoning District	The development will have an area of paved area (raised curb) within 5 foot of a lot line or a street line in the front yard associated with the entry / exit drive along Newton Street, as well as parking	R

			spaces in the front yard. Further, the access lane along the southerly end of the site will be within 5 feet of a lot line.	
5.91	Loading Areas	Waiver from the requirement to provide 1 12' x 70' loading area	The Development has one proposed loading area at 13' x 30'	S
6.31	New signs	Waiver of the requirement for a new sign permit	Waiver of the requirement for a new sign permit	T

**II. The Board grants the Comprehensive Permit subject to the Petitioner adhering to all of the following conditions and operative facts identified in this Decision:**

The Board's approval of the Comprehensive Permit for the Development is premised on the Petitioner's and the Development's compliance with the following conditions:

**A. Design and General Conditions**

1. The Development shall be constructed on the Property in accordance in all material respects with the following plans entitled "Leland House Comp. Permit (M.G.L. c. 40B)" (the "Plans"), consisting of twenty (20) sheets including Cover Sheet. Said Plans are incorporated herein and expressly made part of this Decision. A full set of said controlling Plans are located in the Office of the Zoning Board of Appeals, located at 119 School Street, Waltham, MA 02451:
  - a. Cover Sheet, by PCA, Inc. dated December 20, 2021, revised February 9, 2022;
  - b. ALTA/NSPS Land Title Survey, by Precision Land Surveying, Inc., dated July 29, 2021, revised February 8, 2022;
  - c. Plot Plan, by Precision Land Surveying, Inc., dated February 14, 2022;
  - d. Plan of Land, by Precision Land Surveying, Inc., dated July 29, 2021;
  - e. 300' Abutters Plan, by Precision Land Surveying, Inc., dated October 22, 2021, revised February 8, 2022;
  - f. Zoning Plan, Sheet L-101, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - g. Layout and Materials Plan, Sheet L-201, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - h. Grading Plan, Sheet L-301, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - i. Utility Plan, Sheet C-401, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - j. Utility Profiles, Sheet C-402, by Stantec Consulting, dated February 9, 2022, revised February 14, 2022;
  - k. Planting Plan, Sheet L-501, by Stantec Consulting, dated December 20, 2021,

revised February 9, 2022 [and February 14, 2022](#);

- l. Site Details, Sheet L-601, by Stantec Consulting, dated December 20, 2021;
  - m. Site Details, Sheet L-602, by Stantec Consulting, dated December 20, 2021;
  - n. Utility Details, Sheet C-603, by Stantec Consulting, dated December 20, 2021;
  - o. Utility Details, Sheet C-604, by Stantec Consulting, dated December 20, 2021;
  - p. Fire Department Exhibit, Sheet L-701, by Stantec Consulting, dated February 9, 2022, [revised February 14, 2022](#);
  - q. Aerial Photos, Sheet A1-01, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 [and February 14, 2022](#);
  - r. Floor Plans, Sheet A1-10, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 [and February 14, 2022](#);
  - s. Floor Plans, Sheet A1-11, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 [and February 14, 2022](#); and
  - t. Elevations, Sheet A1-20, PCA, Inc., dated December 20, 2021, revised February 9, 2022 [and February 14, 2022](#).
2. 68 total apartments shall be constructed in one multi-family residential apartment complex that shall consist of 66 apartments for residents, two apartments for on-site support staff, associated interior common areas and amenity spaces, and other additional amenities on the Property as identified in the Plans.
  3. All construction on the Property shall be in accordance in all material respects with the Plans referenced above. Construction of the Development shall be in accordance with federal and state law and the State Building Code.
  4. This Comprehensive Permit shall lapse if construction of the Development has not commenced within three years after this permit becomes final (which period shall toll in accordance with 760 CMR 56.05(12)(c)).
  5. The Petitioner shall record this Decision at the Middlesex South Registry of Deeds and provide evidence of said recording to the Board and the Inspector of Buildings prior to application for a Building Permit.
  6. Each condition in this Decision shall be applicable to and binding on the Petitioner and the Petitioner's successors and assigns.

***B. Affordability***

7. The Affordable Units (hereinafter defined) shall remain affordable, in perpetuity, at the rent levels articulated in Condition #9 below and as set forth in this Decision.

8. It is the intent of the City and the Petitioner that all of the units in the Development be included in the Subsidized Housing Inventory for Waltham maintained by DHCD and that the acreage of the entire parcel be counted in the numerator of the 1.5% calculation for the minimum land area safe harbor.
  
9. No less than sixty-six (66) of the sixty-eight (68) apartment units approved for the Development (97% of the total) shall be affordable and shall only be rented to seniors age 62 or older earning not more than sixty percent (60%) of Area Median Income (AMI) (as defined by HUD on an annual basis), in perpetuity (the “Affordable Units”). The Affordable Units shall be made available at an average annual rent (including utility allowances as defined by HUD for the Waltham Housing Authority) which does not exceed 60% of the household median income of the Boston-Cambridge-Quincy, MA-NH HUD Metro FMR Area (as defined by HUD on an annual basis). The Petitioner shall use commercially reasonable efforts to ensure that the Affordable Units are at all times, fully occupied by tenants who indeed qualify for such Affordable Units and shall require such tenants occupy said units as their domiciles and principal residences.
  
10. The Affordable Units shall consist of sixty-four (64) one-bedroom units and two (2) two-bedroom units, which shall be evenly dispersed within the Development in substantial accordance with the Floor Plans, Sheets A1-10 and A1-11 of the above referenced Plans. The remaining two (2) one-bedroom units are reserved for on-site support staff. The following table sets forth the unit mix for the Affordable Limits:

The following table sets forth the required unit mix for the Affordable Units:

Unit Type	Total Units	Average Net Rental Square Footage (NRSF)	Unit Mix
1 Bedroom	64	64 <del>53</del>	94%
2 Bedroom	2	86 <del>24</del>	3%
Total Affordable Units	66	65 <del>28</del>	97%

The following table sets forth the proposed unit affordability mix:

Unit Type	Up to 30% AMI	Up to 50% AMI	Up to 60% AMI	Resident Manager Apts	Total
1 Bedroom	16	7	41	2	66
2 Bedroom	1		1		2
Total	17	7	42	2	68

11. During the initial lease-up period, Waltham residents who properly apply for an apartment and who meet all qualification requirements for acceptance shall receive a preference for up to 70% of the units at the Development, to the extent permitted under State and Federal Fair Housing Laws and as reviewed and approved by the Subsidizing Agency.
12. The Petitioner shall own the Development through a new, for-profit (taxable) single purpose entity in order to utilize the LIHTC program. Such entity's managing member shall qualify as a non-profit corporation under the requirements of the Subsidizing Agency program. The new ownership entity shall enter into a regulatory agreement with the Subsidizing Agency which is a recorded document that governs the terms of the affordability and specifies the requirements to which the Petitioner must conform. Upon the Stamp of the Waltham City Clerk on the final Comprehensive Permit Decision, the Petitioner shall forward a copy of the stamped decision to DHCD so that 66 apartment units shall be added to the City's subsidized housing inventory.
13. The Petitioner shall, at its sole costs and expense, develop an affirmative marketing plan for the Affordable Units which conforms to any and all Fair Housing requirements or other requirements as imposed by federal or state regulation and the subsidizing agency. The Petitioner shall select tenants and maintain any waiting lists for the Affordable Units in a fair and impartial manner, based on objective criteria set forth in the marketing materials. If criminal record checks are performed as part of the screening process of potential tenants of Affordable Units, the Petitioner shall follow DHCD's Model Policy Regarding Petitioner Screening on the Basis of Criminal Records. The Petitioner shall charge no application and/or processing and/or "holding" fee to Petitioners for Affordable Units.
15. The Petitioner shall implement a Traffic Demand Management (TDM) Plan, the goal of which is to reduce the use of single occupant vehicles, including: assistance in accessing the MBTA's "The Ride"; assistance with accessing public transit; assistance with accessing ride-hailing services; assistance with accessing delivery services for food, medicine, and retail items; and coordination with shuttle services offered by the Waltham Council on Aging. Bicycle parking will also be provided on-site.
16. The Development shall provide a total of fifty-one (51) onsite surface parking spaces consisting of 42 standard, 6 compact, and 3 ADA accessible spaces, which allows for a parking ratio of 0.75 spaces per unit (note: this is a reduction from 2 spaces per dwelling unit required by the Zoning Ordinance), all located as shown on the Zoning Plan, Sheet L-101.
17. The Petitioner shall make all surface parking spaces available, free of charge, to tenants in the development. The marketing materials for the Affordable Units shall specifically include this condition.
18. The Development shall have trees and plantings as indicated on the Planting Plan, Sheet L-501, in order to provide a green buffer between the Development and abutting properties.

19. Upon completion of the Development and on an ongoing basis, the Petitioner shall trim and if necessary remove trees and vegetation along the Development site frontage that inhibit lines of sight from the vehicle access points of the Development.

***C. Stormwater, Sewer, Water, and Utilities***

20. The Petitioner shall comply with the City Ordinance 16-32 Infiltration and Inflow Mitigation fee as revised through ordinance number 33242 dated June 1, 2015. Upon connection to the sewer system, the Petitioner shall pay the required Infiltration and Inflow Mitigation fee.
21. The Petitioner shall submit a Stormwater Pollution Prevention Plan (SWPPP) to the City prior to the start of construction.
22. The Petitioner shall conform to MassDEP standards in installing the Development's stormwater system.
23. Petitioner shall provide sumps for all catch basins at a minimum of four feet.
24. All water and sewer connections shall be pressure tested by Petitioner and test results shall be provided to the City Engineer prior to approval for use.
25. Petitioner shall cut and cap all existing services at the main.
26. Petitioner shall construct all utilities underground.

***D. Fire Safety and Additional Site and Safety Issues***

27. Snow shall be stored in the snow storage locations shown on the Zoning Plan, Sheet L-101 or removed from the site and disposed of per State Regulations. Removal of snow from the Development shall be the exclusive responsibility of the Petitioner in perpetuity.
28. Waste shall be collected in the trash room locations shown on the Floor Plans, Sheets A1.10 and A1.11. Petitioner shall contract with a professional waste hauler to remove trash and recycling from the Development and all trash and recycling operations shall be the exclusive responsibility of the Petitioner in perpetuity.
29. The Petitioner, at the Petitioner's sole cost shall ensure that water pressure and flow at the Development will be sufficient to support the sprinkler systems to be installed in the Development. Said system shall be approved by the Waltham Fire Department.
30. The Petitioner shall install a fully addressable control panel and BDA (Bi-Directional Amplifier) system as required by and to be coordinated with the Waltham Fire Department.
31. Wall and ground mounted light fixtures incorporated into the Development shall be

designed as “down-lights” to reduce the amount of light spilling onto the abutting properties.

32. The Petitioner shall provide as-built plans to the City for all utility, roadway, or pedestrian infrastructure within six months of receipt of the first certificate of occupancy for the Development.
33. Prior to the start of construction, the Petitioner shall engage the services of a qualified professional engineer and/or registered architect to provide certification at the completion of work that the Development has been built in accordance with the Plans in all material respects and prior to the start of construction shall inform the Board of the name, business address, and telephone number of the engineer and/or architect retained. The engineer and/or architect shall perform site inspections at his/her own discretion through the construction process to enable accurate final certification to the Board of compliance with this decision upon completion of the Development.
34. Prior to the start of construction, the Petitioner shall erect construction fencing along any unfenced portions of the property line.
35. Prior to the start of construction, including any demolition or site work, the Petitioner’s contractor shall develop an Integrated Pest Management Plan and contract with a licensed or certified applicator(s) to implement such plan. Any rodenticides shall be placed in tamper resistant bait stations.
36. Prior to the start of construction, the Petitioner shall submit to the Waltham Fire Department, for approval by the Fire Chief or his designee, a detailed and comprehensive NFPA 241 plan. Said plan shall include any reasonable measures and/or precautions which the Fire Chief or his designee may require. Upon approval of the plan, the Fire Chief or his designee shall notify the Board and the Inspector of Buildings of said approval. Petitioner shall provide the fire prevention measures included therein for as long as the Fire Chief or his designee may deem necessary. If needed, the plan may be amended by written request of the Petitioner and upon written approval by the Fire Chief or his designee, who shall notify the Board and Inspector of Buildings of such amendments.
37. During the period of construction and leasing, notwithstanding any pre-conditions for the issuance of a certificate of occupancy otherwise set forth herein, the Petitioner shall be entitled to designate, construct and operate up to two (2) of the units as decorated, model units.
38. During construction, the Petitioner shall be permitted to locate necessary construction trailers on the Property. All construction trailers shall be located within the fenced construction area of the Development. Placement, operation and maintenance of the construction trailers shall not adversely impact parking, safety, or the surrounding

neighborhood. Other conditions of this decision required to be satisfied prior to the issuance of a building permit or certificate of occupancy shall not apply to building permits or certificates of occupancy acquired for the construction trailers except as set forth in the required fire safety, security, and Integrated Pest Management plans.

39. Portable bathroom facilities, trash containers and portable generators shall be located within the fenced construction area for the Development.
40. During the period of construction, no construction vehicles or construction worker vehicles shall be permitted to idle for more than 5 minutes, in accordance with MGL Chapter 90, Section 16A and 310 CMR 7.11.
41. If, in reviewing the Petitioner's building permit application(s), the Inspector of Buildings determines that the Application indicates that the Development will be in violation of the Zoning Ordinance because the Petitioner did not seek and/or obtain a necessary waiver, or varies materially from the Plans or this Decision, the Inspector of Buildings shall notify Petitioner of same. The Petitioner may submit a request to the Board for a determination under 760 CMR 56.05(11).
42. Prior to the issuance of a Building Permit, the Petitioner shall file an Approval Not Required (ANR) Plan with the Board of Survey and Planning removing all interior lot lines as identified by the City of Waltham Engineering Department, uniting all of the lots on the locus into one parcel. After endorsement by the Board of Survey and Planning the ANR Plan shall be recorded by the Petitioner in Middlesex South District Registry of Deeds and shall provide the recording information and a copy of the Plan to the Board of Survey and Planning, the Zoning Board of Appeals, the City Engineer, and the Building Inspector prior to the issuance of any Building Permits hereunder.

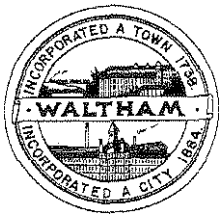
Based on the foregoing, the Board grants the Comprehensive Permit for the Development, subject to all the terms and conditions contained in this Decision and as shown on the Plans.

Dated: \_\_\_\_\_, \_\_\_\_, 2022

WALTHAM ZONING BOARD OF APPEALS

By: \_\_\_\_\_





The City of Waltham  
ZONING BOARD OF APPEALS

NOTICE OF DECISION

CASE NUMBER: #2021-43

NAME OF PETITIONER: 2Life Development Inc.

LEGAL OWNER: The Leland Home

LOCATION OF PROPERTY: The locus is situated at 21 Newton Street  
Map 061 Block 013, Parcel 0003

DATE OF HEARING(S): 2-15-2022

DATE OF DECISION:

DATE OF FILING OF DECISION WITH CITY CLERK:

DATE OF NOTIFICATION TO BUILDING INSPECTOR:

FINAL DATE FOR FILING OF APPEAL FROM THIS DECISION:

Appeals, if any, shall be made pursuant to Section 17 of the General Laws of Massachusetts Chapter 40A. All plans referred to in the decision have been filed with the Planning Board and with the City Clerk.

DECISION  
COMPREHENSIVE PERMIT, PURSUANT TO M.G.L. c. 40B

GRANTED with Conditions

**XX**

DENIED

**ROLL CALL**

Yes

No

-

Yes

No

Matthew Deveaux

Michael J. Cotton

John Sergi

Mark A. Hickernell

Glenna Gelineau

Edward T. McCarthy, Jr.

Oscar L. LeBlanc

Marc S. Rudnick

Michael R. Squillante

Sarah Hankins

## **PETITION**

**Petitioner:** 2Life Development Inc.

**Nature of Appeal:** Application for a Comprehensive Permit Pursuant to Massachusetts General Laws, Chapter 40B, Sections 20-23.

**Subject Matter:** The Petitioner, 2Life Development Inc. proposes to construct 68 apartment units and will provide 66 units which meet the definition of low and moderate income under the meaning of M.G.L. Chapter 40B, Section 20. The Petitioner submits this application for a comprehensive permit under the provisions of M.G.L. Chapter 40B, Sections 20-23, inclusive and as amended (the "Statute"), for the construction, maintenance, and use of sixty eight (68) apartment units, of which sixty six (66) will be affordable deed-restricted units that will serve households with incomes up to 60% of the Area Median Income (AMI).

**Location and Zoning District:**

The locus is numbered 21 Newton Street and is identified as Map 61, Block 13, Lot 3 according to the Atlas of the City of Waltham. The locus is situated on the Westerly side of Newton Street and consists of 65,221 +/- square feet (1.497 +/- acres). The locus is situated in a Residence B Zoning District.

## **COMPREHENSIVE PERMIT**

**2Life Development Inc.  
21 Newton Street, Waltham, Massachusetts**

### **Background/Summary of Proceedings:**

2Life Development Inc., 30 Wallingford Road, Brighton, MA 02135 (the "Petitioner" or "Developer") has requested that the City of Waltham Zoning Board of Appeals (the "Board") pursuant to Massachusetts General Laws, Chapter 40B ("Chapter 40B") issue a comprehensive permit for the construction, use, and maintenance of a multi-family apartment complex (the "Development") on 1.497 +/- acres of property located on the westerly side of Newton Street. The Petitioner submitted to the Board a formal Petition on December 20, 2021, which also included but was not limited to a List of Waivers, Petitioner's bound Comprehensive Permit Application Materials, and preliminary design plans for the Development (the "Application").

Prior to filing its Application with the Board, the Petitioner submitted an application to the City of Waltham Community Preservation Committee (CPC) and was approved for six million dollars in Community Preservation Act (CPA) funds to support the Proposed Development.

After review and consultation with the Ward Councillor, abutters, and the City Council, the Petitioner revised its design to better address the concerns of neighbors, resulting in a reduction in the size of the Proposed Development, largely consisting of:

- Reduction of proposed units from 79 to 68;
- Reduction of the proposed height from four stories to a forty-foot, three-story building, both of which are compliant with the Zoning Ordinance; and
- Increase in proposed parking from forty parking spaces (0.5 parking spaces per unit) to 51 parking spaces (0.75 parking spaces per unit).

Based on these modifications to the Proposed Development, the City Council unanimously approved the six million dollars in CPA funds on August 3, 2021.

Thereafter, the Petitioner applied for and received a Project Eligibility Letter from the Commonwealth of Massachusetts Department of Housing & Community Development, dated November 17, 2021, indicating that the Proposed Development has been approved under the Low Income Housing Tax Credit (LIHTC) program. The Petitioner asserts that it is a non-profit corporation within the meaning of M.G.L. c. 40B and 760 CMR 56.04 and is eligible to receive the LIHTC after a Comprehensive Permit pursuant to said M.G.L. c. 40B has been granted.

The Petitioner contends that it has complied with the procedural requirements of Chapter 40B, Section 21 for submission of an application for a Comprehensive Permit. The Petitioner requested from the Board a Comprehensive Permit pursuant to Chapter 40B, asserting that the Development qualifies as low-and/or moderate-income housing as defined in Sections 20-23 of Chapter 40B. The Property is located in a Residence B Zoning District as shown under the Zoning Map as part of the Zoning Ordinance of the City of Waltham (the "Zoning Ordinance").

The Petitioner has reviewed local codes, ordinances, and regulations including the Zoning Ordinance, Stormwater Regulations, Engineering Department Plan and Utility Requirements and Engineering Department Drainage Calculation Requirements, and Traffic Rules and Regulations, and has submitted a list of provisions under said local codes, ordinances and regulations with which the Petitioner seeks not to comply, including but not limited to exceptions related to use, density, setbacks, and parking. The Petitioner shall comply as specifically identified below and as detailed in the Plans dated December 20, 2021, revised February 9, 2022 and February 14, 2022 (identified fully in Section II below) which are incorporated herein and expressly made part of this Decision (note: a full set of said controlling Plans are located in the Office of the Zoning Board of Appeals, 119 School Street, Waltham, MA 02451).

Subsequent to the Petitioner's December 20, 2021 filing, comments were received from the City

of Waltham Engineering Department, Fire Department, and Board of Survey and Planning. In response to these comments, in advance of the Public Hearing the Petitioner incorporated further changes to the design in its Revised Plans dated February 9, 2022 and February 14, 2022, including reducing the building at its southerly end (along with associated changes to the site layout and interior modifications to the building) to accommodate an access lane along the southerly end of the site from Newton Street to the rear parking lot per the request of the Fire Department so that fire and emergency apparatus can traverse the entire site.

A public hearing on the Application was held on February 15, 2022 before the Board, where the Board heard testimony from the Petitioner, received comments from various interested parties and considered expert reports of Petitioner's consultants. This Decision is made this \_\_\_\_ day of \_\_\_\_\_, 2022 and grants a Comprehensive Permit for the Development, subject to the waivers and conditions specified in this decision. Upon issuance of this Decision, the Board agrees that it shall not advance any further appellate opposition against this Development under the land area safe harbor, subject to the Condition that the Petitioner does not appeal any terms of this Comprehensive Permit.

### **FINDINGS AND DECISION**

The Board on motion duly made and seconded hereby grants a comprehensive permit to the Petitioner under the provisions of M.G.L. c. 40B §§20-23 for the construction of 68 units of multi-family apartment housing at the Property, subject to all the terms and conditions contained in this Decision.

The Petitioner provided a Project Eligibility Letter dated November 17, 2021, which stated that the Petitioner is able to meet the requirements under the LIHTC program, the fundability requirement of 760 CMR 56, and the site control requirement of 760 CMR 56, thereby allowing the Petitioner to file a Comprehensive Permit Application before the Board. The Petitioner has shown evidence of its interest in the Property, in Section 6 of the Petitioner's Bound Application Materials, via a Purchase and Sale Agreement dated August 24, 2021 between Petitioner and the Legal Owner, sufficient to qualify it as a recipient for a comprehensive permit.

After reviewing the evidence, the Board finds that the Conditions enumerated below are required because the Development (without the imposition of such Conditions) causes several concerns as to use, density, setbacks, traffic and pedestrian safety, and parking design, and other local concerns. Said factors outweigh the regional need for low-and moderate-income housing in Waltham, particularly given Waltham's continuing efforts to address the affordable housing needs of the City: consequently, conditions are required for the issuance of this Comprehensive Permit in order to ameliorate said factors.

After reviewing the evidence, the Board voted to GRANT the Comprehensive Permit under the

provisions of M.G.L. c. 40B, §§ 20-23 and the applicable regulations and guidelines for the development of a 68-unit Development, in accordance with the Plans which are incorporated by reference as if fully set forth herein, subject to the conditions and waivers set forth herein. The Board considered conditions it felt would best ameliorate the issues raised by the construction and operation of the Development, including concerns regarding health and safety of the occupants of the Development and of occupants of neighboring properties, environmental, and other local concerns identified above. The Board finds that the conditions as approved and identified below strike the appropriate balance between protecting health, safety and welfare of the residents of Waltham, tenants of the Development, and the abutters, and that with the conditions as approved and identified below, the Development is consistent with local needs.

**WAIVERS AND CONDITIONS TO THE COMPREHENSIVE PERMIT**

The Board’s approval of the Comprehensive Permit for the Development is premised on the Petitioner’s and the Development’s compliance with the following Waivers and Conditions. All requirements imposed by these waivers and conditions and this Permit shall be applicable to any and all successors in interest to the Petitioner or other entity responsible for the administration of the Development regardless of whether these waivers and conditions specifically identify the Petitioner.

**I. The following Waivers requested by the Petitioner are as indicated:**

a. Special Permits:

1. Section 3.511 – Special Permit for Intensity of Use – Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District.
2. Section 3.512 – Special Permit for Use – Allowing a multi-family dwelling not allowed in the Residence B Zoning District.

b. Waivers:

<b>Ordinance Section</b>	<b>Requirement</b>	<b>Required Waiver(s)</b>	<b>Details of Proposal Requiring Waivers</b>	<b>Waiver Number</b>
3.4	Table of Uses	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	A
3.52	Development ProspectusComments	Waiver of Requirement from Development Prospectus Comments	Waiver of Requirement from Development Prospectus Comments	B
3.53	Determinations	Waiver of Requirement from Determinations	Waiver of Requirement from Determinations	C

3.618	Multi-family dwellings	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	D
4.11	Min. Side Setback	Waiver from required side setback of 10 feet in the Residence B Zoning District	The Development has a northerly side setback of 7.69' in the Residence B Zoning District	E
4.11	Min. Rear Setback	Waiver from required rear setback of 30 feet in the Residence B Zoning District	The Development has a rear setback of 15.31' in the Residence B Zoning District	F
4.11	Max. FAR by right	Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District	The Development has a FAR of 1.12 in the Residence B Zoning District	G
4.11	Multifamily Dwellings	Waiver from the prohibition of multifamily dwellings in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	H
4.11	Lot Coverage	Waiver from the maximum allowed lot coverage of 30% in the Residence B Zoning District	The development has 39.5% lot coverage in the Residence B Zoning District	I
4.11	Open Space	Allowing for open space of 26.4% in the Residence B Zoning District	The development has 26.4% open space in the Residence B Zoning District	J
4.11	Maximum number of Units per Acre in the Residence B District	Allowing 46 units per acre in the Residence B Zoning District	The development has 46 units per acre in the Residence B Zoning District	K
4.11	Minimum Lot Area Per Dwelling Unit in the Residence B Zone	Allowing a minimum lot area per dwelling unit of 959.1 sq. ft. per unit in the Residence B Zoning District	The development has a minimum lot area of 959.1 sq. ft. per unit in the Residence B Zoning District	L
4.11	Minimum open space per unit	Allowing minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	The development has minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	M
4.221	Location of accessory buildings in the Residence B Zoning District	Waiver from the requirement that an accessory building be located at least 10 feet from the principal building and 5 feet from the side and rear lot lines	The development has two accessory buildings (sheds). One is located 2 feet from the principal building and 4 feet from the rear lot line. The other is located 4 feet from the side (northerly) lot line.	N

5.21	Parking Spaces for Multifamily Use	Waiver from the required 2 parking spaces per dwelling unit	The development has 51 parking spaces for 68 dwelling units or .75 spaces per unit	O
5.41	Width of Driveway	Waiver from the requirement that a driveway exceeding 25 feet requires a Special Permit from the Board of Survey and Planning	The proposed Heard Street driveway is 30 feet wide to allow adequate access to fire apparatus per the request of the Fire Department.	P
5.41	Location of driveway	Waiver from the requirement that a new driveway located within 100 feet of an intersection requires a Special Permit from the Board of Survey and Planning	<ol style="list-style-type: none"> <li>1. The proposed Newton Street entry / exit driveway (westerly side of Newton Street) will be located less than 100 feet from the intersection of the easterly side of Newton Street and Barton Street (one way street turning onto Newton). This is an improvement from the existing drive that lines up with the intersection.</li> <li>2. The proposed access lane at the southerly end of the site will be located within 100 feet of the intersection of Newton Street and Barton Street as well as within 100 feet of the intersection of Newton Street and Central Street. The proposed access lane is largely within the location of the former Leland Home's ambulance drive, consisting of two curbs cuts in close proximity to one another.</li> </ol>	Q
5.42	No paved area, excluding entrances and exits, shall extend within 5 feet of any lot or street line; nor into any front yard	Waiver from the requirement that there be no paved area within 5 feet of a lot line or a street line in the Residence C Zoning District	The development will have an area of paved area (raised curb) within 5 foot of a lot line or a street line in the front yard associated with the entry / exit drive along Newton Street, as well as parking	R

			spaces in the front yard. Further, the access lane along the southerly end of the site will be within 5 feet of a lot line.	
5.91	Loading Areas	Waiver from the requirement to provide 1 12' x 70' loading area	The Development has one proposed loading area at 13' x 30'	S
6.31	New signs	Waiver of the requirement for a new sign permit	Waiver of the requirement for a new sign permit	T

**II. The Board grants the Comprehensive Permit subject to the Petitioner adhering to all of the following conditions and operative facts identified in this Decision:**

The Board's approval of the Comprehensive Permit for the Development is premised on the Petitioner's and the Development's compliance with the following conditions:

**A. Design and General Conditions**

1. The Development shall be constructed on the Property in accordance in all material respects with the following plans entitled "Leland House Comp. Permit (M.G.L. c. 40B)" (the "Plans"), consisting of twenty (20) sheets including Cover Sheet. Said Plans are incorporated herein and expressly made part of this Decision. A full set of said controlling Plans are located in the Office of the Zoning Board of Appeals, located at 119 School Street, Waltham, MA 02451:
  - a. Cover Sheet, by PCA, Inc. dated December 20, 2021, revised February 9, 2022;
  - b. ALTA/NSPS Land Title Survey, by Precision Land Surveying, Inc., dated July 29, 2021, revised February 8, 2022;
  - c. Plot Plan, by Precision Land Surveying, Inc., dated February 14, 2022;
  - d. Plan of Land, by Precision Land Surveying, Inc., dated July 29, 2021;
  - e. 300' Abutters Plan, by Precision Land Surveying, Inc., dated October 22, 2021, revised February 8, 2022;
  - f. Zoning Plan, Sheet L-101, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - g. Layout and Materials Plan, Sheet L-201, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - h. Grading Plan, Sheet L-301, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - i. Utility Plan, Sheet C-401, by Stantec Consulting, dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - j. Utility Profiles, Sheet C-402, by Stantec Consulting, dated February 9, 2022, revised February 14, 2022;
  - k. Planting Plan, Sheet L-501, by Stantec Consulting, dated December 20, 2021,



revised February 9, 2022 and February 14, 2022;

- l. Site Details, Sheet L-601, by Stantec Consulting, dated December 20, 2021;
  - m. Site Details, Sheet L-602, by Stantec Consulting, dated December 20, 2021;
  - n. Utility Details, Sheet C-603, by Stantec Consulting, dated December 20, 2021;
  - o. Utility Details, Sheet C-604, by Stantec Consulting, dated December 20, 2021;
  - p. Fire Department Exhibit, Sheet L-701, by Stantec Consulting, dated February 9, 2022, revised February 14, 2022;
  - q. Aerial Photos, Sheet A1-01, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - r. Floor Plans, Sheet A1-10, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022;
  - s. Floor Plans, Sheet A1-11, by PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022; and
  - t. Elevations, Sheet A1-20, PCA, Inc., dated December 20, 2021, revised February 9, 2022 and February 14, 2022.
2. 68 total apartments shall be constructed in one multi-family residential apartment complex that shall consist of 66 apartments for residents, two apartments for on-site support staff, associated interior common areas and amenity spaces, and other additional amenities on the Property as identified in the Plans.
  3. All construction on the Property shall be in accordance in all material respects with the Plans referenced above. Construction of the Development shall be in accordance with federal and state law and the State Building Code.
  4. This Comprehensive Permit shall lapse if construction of the Development has not commenced within three years after this permit becomes final (which period shall toll in accordance with 760 CMR 56.05(12)(c)).
  5. The Petitioner shall record this Decision at the Middlesex South Registry of Deeds and provide evidence of said recording to the Board and the Inspector of Buildings prior to application for a Building Permit.
  6. Each condition in this Decision shall be applicable to and binding on the Petitioner and the Petitioner's successors and assigns.

***B. Affordability***

7. The Affordable Units (hereinafter defined) shall remain affordable, in perpetuity, at the rent levels articulated in Condition #9 below and as set forth in this Decision.

8. It is the intent of the City and the Petitioner that all of the units in the Development be included in the Subsidized Housing Inventory for Waltham maintained by DHCD and that the acreage of the entire parcel be counted in the numerator of the 1.5% calculation for the minimum land area safe harbor.
  
9. No less than sixty-six (66) of the sixty-eight (68) apartment units approved for the Development (97% of the total) shall be affordable and shall only be rented to seniors age 62 or older earning not more than sixty percent (60%) of Area Median Income (AMI) (as defined by HUD on an annual basis), in perpetuity (the “Affordable Units”). The Affordable Units shall be made available at an average annual rent (including utility allowances as defined by HUD for the Waltham Housing Authority) which does not exceed 60% of the household median income of the Boston-Cambridge-Quincy, MA-NH HUD Metro FMR Area (as defined by HUD on an annual basis). The Petitioner shall use commercially reasonable efforts to ensure that the Affordable Units are at all times, fully occupied by tenants who indeed qualify for such Affordable Units and shall require such tenants occupy said units as their domiciles and principal residences.
  
10. The Affordable Units shall consist of sixty-four (64) one-bedroom units and two (2) two-bedroom units, which shall be evenly dispersed within the Development in substantial accordance with the Floor Plans, Sheets A1-10 and A1-11 of the above referenced Plans. The remaining two (2) one-bedroom units are reserved for on-site support staff. The following table sets forth the unit mix for the Affordable Limits:

The following table sets forth the required unit mix for the Affordable Units:

<b>Unit Type</b>	<b>Total Units</b>	<b>Average Net Rental Square Footage (NRSF)</b>	<b>Unit Mix</b>
1 Bedroom	64	645	94%
2 Bedroom	2	862	3%
<b>Total Affordable Units</b>	<b>66</b>	<b>652</b>	<b>97%</b>

The following table sets forth the proposed unit affordability mix:

<b>Unit Type</b>	<b>Up to 30% AMI</b>	<b>Up to 50% AMI</b>	<b>Up to 60% AMI</b>	<b>Resident Manager Apts</b>	<b>Total</b>
1 Bedroom	16	7	41	2	66
2 Bedroom	1		1		2
<b>Total</b>	<b>17</b>	<b>7</b>	<b>42</b>	<b>2</b>	<b>68</b>

11. During the initial lease-up period, Waltham residents who properly apply for an apartment and who meet all qualification requirements for acceptance shall receive a preference for up to 70% of the units at the Development, to the extent permitted under State and Federal Fair Housing Laws and as reviewed and approved by the Subsidizing Agency.
12. The Petitioner shall own the Development through a new, for-profit (taxable) single purpose entity in order to utilize the LIHTC program. Such entity's managing member shall qualify as a non-profit corporation under the requirements of the Subsidizing Agency program. The new ownership entity shall enter into a regulatory agreement with the Subsidizing Agency which is a recorded document that governs the terms of the affordability and specifies the requirements to which the Petitioner must conform. Upon the Stamp of the Waltham City Clerk on the final Comprehensive Permit Decision, the Petitioner shall forward a copy of the stamped decision to DHCD so that 66 apartment units shall be added to the City's subsidized housing inventory.
13. The Petitioner shall, at its sole costs and expense, develop an affirmative marketing plan for the Affordable Units which conforms to any and all Fair Housing requirements or other requirements as imposed by federal or state regulation and the subsidizing agency. The Petitioner shall select tenants and maintain any waiting lists for the Affordable Units in a fair and impartial manner, based on objective criteria set forth in the marketing materials. If criminal record checks are performed as part of the screening process of potential tenants of Affordable Units, the Petitioner shall follow DHCD's Model Policy Regarding Petitioner Screening on the Basis of Criminal Records. The Petitioner shall charge no application and/or processing and/or "holding" fee to Petitioners for Affordable Units.
15. The Petitioner shall implement a Traffic Demand Management (TDM) Plan, the goal of which is to reduce the use of single occupant vehicles, including: assistance in accessing the MBTA's "The Ride"; assistance with accessing public transit; assistance with accessing ride-hailing services; assistance with accessing delivery services for food, medicine, and retail items; and coordination with shuttle services offered by the Waltham Council on Aging. Bicycle parking will also be provided on-site.
16. The Development shall provide a total of fifty-one (51) onsite surface parking spaces consisting of 42 standard, 6 compact, and 3 ADA accessible spaces, which allows for a parking ratio of 0.75 spaces per unit (note: this is a reduction from 2 spaces per dwelling unit required by the Zoning Ordinance), all located as shown on the Zoning Plan, Sheet L-101.
17. The Petitioner shall make all surface parking spaces available, free of charge, to tenants in the development. The marketing materials for the Affordable Units shall specifically include this condition.
18. The Development shall have trees and plantings as indicated on the Planting Plan, Sheet L-501, in order to provide a green buffer between the Development and abutting properties.

19. Upon completion of the Development and on an ongoing basis, the Petitioner shall trim and if necessary remove trees and vegetation along the Development site frontage that inhibit lines of sight from the vehicle access points of the Development.

***C. Stormwater, Sewer, Water, and Utilities***

20. The Petitioner shall comply with the City Ordinance 16-32 Infiltration and Inflow Mitigation fee as revised through ordinance number 33242 dated June 1, 2015. Upon connection to the sewer system, the Petitioner shall pay the required Infiltration and Inflow Mitigation fee.
21. The Petitioner shall submit a Stormwater Pollution Prevention Plan (SWPPP) to the City prior to the start of construction.
22. The Petitioner shall conform to MassDEP standards in installing the Development's stormwater system.
23. Petitioner shall provide sumps for all catch basins at a minimum of four feet.
24. All water and sewer connections shall be pressure tested by Petitioner and test results shall be provided to the City Engineer prior to approval for use.
25. Petitioner shall cut and cap all existing services at the main.
26. Petitioner shall construct all utilities underground.

***D. Fire Safety and Additional Site and Safety Issues***

27. Snow shall be stored in the snow storage locations shown on the Zoning Plan, Sheet L-101 or removed from the site and disposed of per State Regulations. Removal of snow from the Development shall be the exclusive responsibility of the Petitioner in perpetuity.
28. Waste shall be collected in the trash room locations shown on the Floor Plans, Sheets A1.10 and A1.11. Petitioner shall contract with a professional waste hauler to remove trash and recycling from the Development and all trash and recycling operations shall be the exclusive responsibility of the Petitioner in perpetuity.
29. The Petitioner, at the Petitioner's sole cost shall ensure that water pressure and flow at the Development will be sufficient to support the sprinkler systems to be installed in the Development. Said system shall be approved by the Waltham Fire Department.
30. The Petitioner shall install a fully addressable control panel and BDA (Bi-Directional Amplifier) system as required by and to be coordinated with the Waltham Fire Department.
31. Wall and ground mounted light fixtures incorporated into the Development shall be

designed as “down-lights” to reduce the amount of light spilling onto the abutting properties.

32. The Petitioner shall provide as-built plans to the City for all utility, roadway, or pedestrian infrastructure within six months of receipt of the first certificate of occupancy for the Development.
33. Prior to the start of construction, the Petitioner shall engage the services of a qualified professional engineer and/or registered architect to provide certification at the completion of work that the Development has been built in accordance with the Plans in all material respects and prior to the start of construction shall inform the Board of the name, business address, and telephone number of the engineer and/or architect retained. The engineer and/or architect shall perform site inspections at his/her own discretion through the construction process to enable accurate final certification to the Board of compliance with this decision upon completion of the Development.
34. Prior to the start of construction, the Petitioner shall erect construction fencing along any unfenced portions of the property line.
35. Prior to the start of construction, including any demolition or site work, the Petitioner’s contractor shall develop an Integrated Pest Management Plan and contract with a licensed or certified applicator(s) to implement such plan. Any rodenticides shall be placed in tamper resistant bait stations.
36. Prior to the start of construction, the Petitioner shall submit to the Waltham Fire Department, for approval by the Fire Chief or his designee, a detailed and comprehensive NFPA 241 plan. Said plan shall include any reasonable measures and/or precautions which the Fire Chief or his designee may require. Upon approval of the plan, the Fire Chief or his designee shall notify the Board and the Inspector of Buildings of said approval. Petitioner shall provide the fire prevention measures included therein for as long as the Fire Chief or his designee may deem necessary. If needed, the plan may be amended by written request of the Petitioner and upon written approval by the Fire Chief or his designee, who shall notify the Board and Inspector of Buildings of such amendments.
37. During the period of construction and leasing, notwithstanding any pre-conditions for the issuance of a certificate of occupancy otherwise set forth herein, the Petitioner shall be entitled to designate, construct and operate up to two (2) of the units as decorated, model units.
38. During construction, the Petitioner shall be permitted to locate necessary construction trailers on the Property. All construction trailers shall be located within the fenced construction area of the Development. Placement, operation and maintenance of the construction trailers shall not adversely impact parking, safety, or the surrounding

neighborhood. Other conditions of this decision required to be satisfied prior to the issuance of a building permit or certificate of occupancy shall not apply to building permits or certificates of occupancy acquired for the construction trailers except as set forth in the required fire safety, security, and Integrated Pest Management plans.

39. Portable bathroom facilities, trash containers and portable generators shall be located within the fenced construction area for the Development.
40. During the period of construction, no construction vehicles or construction worker vehicles shall be permitted to idle for more than 5 minutes, in accordance with MGL Chapter 90, Section 16A and 310 CMR 7.11.
41. If, in reviewing the Petitioner's building permit application(s), the Inspector of Buildings determines that the Application indicates that the Development will be in violation of the Zoning Ordinance because the Petitioner did not seek and/or obtain a necessary waiver, or varies materially from the Plans or this Decision, the Inspector of Buildings shall notify Petitioner of same. The Petitioner may submit a request to the Board for a determination under 760 CMR 56.05(11).
42. Prior to the issuance of a Building Permit, the Petitioner shall file an Approval Not Required (ANR) Plan with the Board of Survey and Planning removing all interior lot lines as identified by the City of Waltham Engineering Department, uniting all of the lots on the locus into one parcel. After endorsement by the Board of Survey and Planning the ANR Plan shall be recorded by the Petitioner in Middlesex South District Registry of Deeds and shall provide the recording information and a copy of the Plan to the Board of Survey and Planning, the Zoning Board of Appeals, the City Engineer, and the Building Inspector prior to the issuance of any Building Permits hereunder.

Based on the foregoing, the Board grants the Comprehensive Permit for the Development, subject to all the terms and conditions contained in this Decision and as shown on the Plans.

Dated: \_\_\_\_\_, \_\_\_\_, 2022

WALTHAM ZONING BOARD OF APPEALS

By: \_\_\_\_\_

**LELAND HOUSE**

**21 NEWTON STREET, WALTHAM, MA**

**LIST OF SPECIAL PERMITS & WAIVERS**

**Special Permits:**

Section 3.511 – Special Permit for Intensity of Use – Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District.

Section 3.512 – Special Permit for Use – Allowing a multi-family dwelling not allowed in the Residence B Zoning District.

**Waivers:**

<b>Ordinance Section</b>	<b>Requirement</b>	<b>Required Waiver(s)</b>	<b>Details of Proposal Requiring Waivers</b>	<b>Waiver Number</b>
3.4	Table of Uses	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	A
3.52	Development Prospectus Comments	Waiver of Requirement from Development Prospectus Comments		B
3.53	Determinations	Waiver of Requirement from Determinations		C
3.618	Multi-family dwellings	Allowing a multi-family dwelling not allowed in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	D
4.11	Min. Side Setback	Waiver from required side setback of 10 feet in the Residence B Zoning District	The Development has a northerly side setback of 7.69' in the Residence B Zoning District	E
4.11	Min. Rear Setback	Waiver from required rear setback of 30 feet in the Residence B Zoning District	The Development has a rear setback of 15.31' in the Residence B Zoning District	F
4.11	Max. FAR by right	Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District	The Development has a FAR of 1.12 in the Residence B Zoning District	G
4.11	Multifamily Dwellings	Waiver from the prohibition of multifamily dwellings in the Residence B Zoning District	The development has 68 units in the Residence B Zoning District	H

4.11	Lot Coverage	Waiver from the maximum allowed lot coverage of 30% in the Residence B Zoning District	The development has 39.59% lot coverage in the Residence B Zoning District	I
4.11	Open Space	Allowing for open space of <del>12</del> 6.4% in the Residence B Zoning District	The development has <del>12</del> 6.4% open space in the Residence B Zoning District	J
4.11	Maximum number of Units per Acre in the Residence B District	Allowing 46 units per acre in the Residence B Zoning District	The development has 46 units per acre in the Residence B Zoning District	K
4.11	Minimum Lot Area Per Dwelling Unit in the Residence B Zone	Allowing a minimum lot area per dwelling unit of 959.1 sq. ft. per unit in the Residence B Zoning District	The development has a minimum lot area of 959.1 sq. ft. per unit in the Residence B Zoning District	L
4.11	Minimum open space per unit	Allowing minimum open space per unit of <del>157.22</del> 52.8 sq. ft. in the Residence B Zoning District	The development has minimum open space of <del>157.22</del> 52.8 sq. ft. in the Residence B Zoning District	M
4.221	Location of accessory buildings in the Residence B Zoning District	Waiver from the requirement that an accessory building be located at least 10 feet from the principal building and 5 feet from the side and rear lot lines	The development has two accessory buildings (sheds). One is located 2 feet from the principal building and 4 feet from the rear lot line. The other is located 4 feet from the side (northerly) lot line.	N
5.21	Parking Spaces for Multifamily Use	Waiver from the required 2 parking spaces per dwelling unit	The development has 51 parking spaces for 68 dwelling units or .75 spaces per unit	O
5.41	Width of Driveway	Waiver from the requirement that a driveway exceeding 25 feet requires a Special Permit from the Board of Survey and Planning	The proposed Heard Street driveway is 30 feet wide to allow adequate access to fire apparatus per the request of the Fire Department.	P
5.41	Location of driveway	Waiver from the requirement that a new driveway located within 100 feet of an intersection requires a Special Permit from the Board of Survey and Planning	<ol style="list-style-type: none"> <li>1. The proposed Newton Street entry / exit driveway (westerly side of Newton Street) will be located less than 100 feet from the intersection of the easterly side of Newton Street and Barton Street (one way street turning onto Newton). This is an improvement from the existing drive that lines up with the intersection.</li> <li>2. The proposed access lane at the southerly end of the site will be located within 100 feet of the</li> </ol>	Q



			<p>intersection of Newton Street and Barton Street as well as within 100 feet of the intersection of Newton Street and Central Street. The proposed access lane is largely within the location of the former Leland Home's ambulance drive, consisting of two curbs cuts in close proximity to one another.</p>	
5.42	<p>No paved area, excluding entrances and exits, shall extend within 5 feet of any lot or street line; nor into any front yard</p>	<p>Waiver from the requirement that there be no paved area within 5 feet of a lot line or a street line in the Residence B Zoning District</p>	<p>The development will have an area of paved area (raised curb) within 5 foot of a lot line or a street line in the front yard associated with the entry / exit drive along Newton Street as well as parking spaces in the front yard. Further, the access lane along the southerly end of the site will be within 5 feet of a lot line.</p>	R
5.91	<p>Loading Areas</p>	<p>Waiver from the requirement to provide 1 12' x 70' loading area</p>	<p>The Development has one proposed loading area at 13' x 30'</p>	S
6.31	<p>New signs</p>	<p>Waiver of the requirement for a new sign permit</p>		T

**LELAND HOUSE**

**21 NEWTON STREET, WALTHAM, MA**

**LIST OF SPECIAL PERMITS & WAIVERS**

**Special Permits:**

Section 3.511 – Special Permit for Intensity of Use – Allowing for a maximum Floor Area Ratio of 1.12 in the Residence B Zoning District.

Section 3.512 – Special Permit for Use – Allowing a multi-family dwelling not allowed in the Residence B Zoning District.

**Waivers:**

<b>Ordinance Section</b>	<b>Requirement</b>	<b>Required Waiver(s)</b>	<b>Details of Proposal Requiring Waivers</b>	<b>Waiver Number</b>
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4.11	Lot Coverage	Waiver from the maximum allowed lot coverage of 30% in the Residence B Zoning District	The development has 39.5% lot coverage in the Residence B Zoning District	I
4.11	Open Space	Allowing for open space of 26.4% in the Residence B Zoning District	The development has 26.4% open space in the Residence B Zoning District	J
4.11	Maximum number of Units per Acre in the Residence B District	Allowing 46 units per acre in the Residence B Zoning District	The development has 46 units per acre in the Residence B Zoning District	K
4.11	Minimum Lot Area Per Dwelling Unit in the Residence B Zone	Allowing a minimum lot area per dwelling unit of 959.1 sq. ft. per unit in the Residence B Zoning District	The development has a minimum lot area of 959.1 sq. ft. per unit in the Residence B Zoning District	L
4.11	Minimum open space per unit	Allowing minimum open space per unit of 252.8 sq. ft. in the Residence B Zoning District	The development has minimum open space of 252.8 sq. ft. in the Residence B Zoning District	M
4.221	Location of accessory buildings in the Residence B Zoning District	Waiver from the requirement that an accessory building be located at least 10 feet from the principal building and 5 feet from the side and rear lot lines	The development has two accessory buildings (sheds). One is located 2 feet from the principal building and 4 feet from the rear lot line. The other is located 4 feet from the side (northerly) lot line.	N
5.21	Parking Spaces for Multifamily Use	Waiver from the required 2 parking spaces per dwelling unit	The development has 51 parking spaces for 68 dwelling units or .75 spaces per unit	O
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			<p>intersection of Newton Street and Barton Street as well as within 100 feet of the intersection of Newton Street and Central Street. The proposed access lane is largely within the location of the former Leland Home's ambulance drive, consisting of two curbs cuts in close proximity to one another.</p>	
5.42	<p>No paved area, excluding entrances and exits, shall extend within 5 feet of any lot or street line; nor into any front yard</p>	<p>Waiver from the requirement that there be no paved area within 5 feet of a lot line or a street line in the Residence B Zoning District</p>	<p>The development will have an area of paved area (raised curb) within 5 foot of a lot line or a street line in the front yard associated with the entry / exit drive along Newton Street as well as parking spaces in the front yard. Further, the access lane along the southerly end of the site will be within 5 feet of a lot line.</p>	R
5.91	<p>Loading Areas</p>	<p>Waiver from the requirement to provide 1 12' x 70' loading area</p>	<p>The Development has one proposed loading area at 13' x 30'</p>	S
6.31	<p>New signs</p>	<p>Waiver of the requirement for a new sign permit</p>		T



Stantec Planning and Landscape Architecture P.C.  
226 Causeway Street 6th Floor, Boston MA 02114-2155

Reference: Newton Street - 21 - Comprehensive Permit Chapter 40B - Zoning Board of Appeals - former Leland Home

February 15, 2022

Zoning Board of Appeals  
City of Waltham  
119 School Street  
Waltham, MA 02451

Dear Board Members:

2Life Communities (Petitioner) initially submitted a 40B Comprehensive Permit application on December 20, 2021, then provided initial responses to comments from the Engineering Department, Fire Department, and Board of Survey and Planning on January 24, 2022. The plans were then revised to address said Engineering and Fire Department comments (including a second round of Engineering comments) and submitted on February 9, 2022.

Now, having received further comments from the Fire Department on the February 9<sup>th</sup> Revised Plans with regard to widening the access lane from Newton Street to the rear parking lot along the southerly end of the site, Petitioner is submitting a further updated set of Architectural, Engineering and Landscape Plans incorporating changes made in response to said comments provided by the City's Fire Department. This is a summary of the changes made to the revised plans submitted herewith.

**COVER PAGE**

1. A revision date 2/14/2022 has been added.

**ALTA/NSPS LAND TITLE SURVEY** – No Changes were made to this sheet.

**PLOT PLAN**

1. The Petitioner has agreed to further reduce the building on the southerly side to widen the access lane, resulting in the side (south) setback increasing from 21.83' to 24.09'

**PLAN OF LAND**- No changes were made to this sheet.

**PARCEL ABUTTERS MAP**- No changes were made to this sheet.

**L-101 ZONING PLAN**

Per the request and comments received from the Fire Department, the following changes have been made:

1. The site driveway on the south side of the building was expanded from 10' to 20' (and the building correspondingly reduced) in order to allow additional space for a fire apparatus to traverse the entire site.
2. The proposed side (south) setback increased from 21.83' to 24.09'.
3. Lot coverage decreased from 26,034 sq. ft. (39.9%) to 25,780 sq. ft. (39.5%)
4. The minimum open space percentage increased from 16.4% (10,687 sq. ft./lot area) to 26.4% (17,191 sq. ft./lot area)
5. The minimum open space per unit increased from 157.2 sq. ft. per unit to 252.8 sq. ft. per unit.

#### **L-201 LAYOUT AND MATERIALS PLAN**

1. This Plan has been updated to show the revised site plan, building footprint, and expanded site driveway along the southerly end of the site.

#### **L-301 GRADING PLAN**

1. This plan has been updated to show the revised catch basin locations due to the expanded site driveway.

#### **C-401 UTILITIES PLAN**

1. This plan has been updated to show the revised catch basin locations due to the expanded site driveway.

#### **C-402 UTILITY PROFILES PLAN**

1. This plan has been updated to show the revised catch basin locations due to the expanded site driveway.

#### **L-501 PLANTING PLAN**

1. The plantings along the south side of the building have been eliminated to expand the width of the site driveway. The Plant Schedule has been updated accordingly.

**L-601 SITE DETAILS-** No changes were made to this sheet.

**L-602 SITE DETAILS-** No changes were made to this sheet.

**L-603 UTILITY DETAILS-** No changes were made to this sheet.

**L-604 UTILITY DETAILS-** No changes were made to this sheet.

#### **L-701 [FIRE DEPARTMENT PLAN]**

1. This plan has been updated to show the truck turning movement with the expanded site driveway from Newton Street.

#### **A1-01 AERIAL PHOTOS**

1. The Proposed Aerial View has been updated to show the revised site plan with an expanded street driveway.

#### **A1-10 GROUND & LEVEL 2 FLOOR PLANS**

1. The stairwell on the southernmost corner of the building was shifted forward to allow for a wider turn as a result, the avg. sq. ft. for a 1BRs increased from 643 to 645 and 2BRs from 861 to 862

#### **A1-11 LEVEL 3 & ROOF FLOOR PLANS**

1. The stairwell on the southernmost corner of the building was shifted forward to allow for a wider turn as a result, the avg. sq. ft. for a 1BRs increased from 643 to 645 and 2BRs from 861 to 862.

#### **A2-10 ELEVATIONS**

The west elevation and east elevations have decreased in overall width.

Thank you for your review of further changes made to revised drawing set and the above listed summary of changes. We look forward to presenting the project to you this evening. Please contact either me or Zoe Weinrobe (617-912-8406, [zweinrobe@2lifecommunities.org](mailto:zweinrobe@2lifecommunities.org)) with any questions or if you need any additional information that will assist in advancing your consideration of this important project.

Sincerely,



#### **Dylan Stevens**

Associate | Landscape Architect  
Stantec  
226 Causeway Street 6<sup>th</sup> Floor  
Boston MA 02114  
617 654-6063  
[dylan.stevens@stantec.com](mailto:dylan.stevens@stantec.com)

CC: Fire Department

# LELAND HOUSE COMP. PERMIT (M.G.L.c 40B)

REVISION II 02/14/2022 (ORIGINAL SUBMISSION 12/20/2021, REVISION I 02/09/2022)

## 21 NEWTON STREET, WALTHAM, MA 02453



### SHEET LIST

- ALTA/NSPS LAND TITLE SURVEY
- PLOT PLAN
- PLAN OF LAND
- PARCEL ABUTTERS MAP
- L-101 ZONING PLAN
- L-201 LAYOUT AND MATERIALS PLAN
- L-301 GRADING PLAN
- C-401 UTILITIES PLAN
- C-402 UTILITY PROFILES
- L-501 PLANTING PLAN
- L-601 SITE DETAILS
- L-602 SITE DETAILS
- C-603 UTILITY DETAILS
- C-604 UTILITY DETAILS
- L-701 FIRE DEPARTMENT EXHIBIT
- A1-01 AERIAL PHOTOS
- A1-10 GROUND & LEVEL 2 FLOOR PLANS
- A1-11 LEVEL 3 & ROOF FLOOR PLANS
- A2-10 BUILDING ELEVATIONS

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 PCA, INC.  
 221 Hampshire Street  
 Cambridge, MA 02139  
 617-547-8123  
 Laura Homich  
 lhomich@pcadesign.com

PETITIONER/DEVELOPER:  
 2Life Development Inc.  
 30 Wallingford Road  
 Brighton, MA 02135  
 617-912-8400  
 Zoe Weinrobe  
 zweinrobe@2lifecommunities.org

OWNER:  
 The Leland Home  
 21 Newton Street  
 Waltham, MA 02453  
 Christopher Sintros  
 978-402-8201

CIVIL/LANDSCAPE ENGINEER:  
 Stantec Consulting  
 226 Causeway Street, 6th floor  
 Boston, MA 02114  
 Dylan Stevens  
 617-654-6063  
 Dylan.Stevens@stantec.com

TRAFFIC CONSULTANT:  
 Stantec Consulting  
 226 Causeway Street, 6th floor  
 Boston, MA 02114  
 Rick Bryant  
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 Michael R. Connors  
 781-894-6000  
 mconnors@connorslaws.com

LEGAL COUNSEL - REAL ESTATE:  
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 Boston, MA 02110  
 Teresa M. Santalucia  
 617-224-0621  
 tsantalucia@kleinhornig.com

GEOTECH AND  
 GEONVIRONMENTAL ENGINEER:  
 McPhail Associates, LLC  
 2209 Massachusetts Ave  
 Cambridge, MA 02140  
 Kevin D. Jordan  
 617-868-1420  
 kjordan@mcphailgeo.com

SURVEY:  
 Precision Land Surveying, Inc.  
 32 Turnpike Road  
 Southborough, MA 01772  
 Mike Pustizzi  
 508-460-1789  
 mikep@pls-inc.net

**LELAND HOUSE COMP. PERMIT (M.G.L.c 40B)**  
 21 NEWTON STREET, WALTHAM, MA 02453  
 PCA PROJECT #:21008.00



**EXHIBIT A OF Fidelity National Title Insurance Company's Commitment, MMOG File No. 21-56754, Effective date October 8, 2021 (Legal Description)**

**Parcel One**  
A certain parcel of land with improvements thereon situate in Waltham and bounded and described as follows, to wit:

Beginning at the northeasterly corner of the granted premises at a point in the westerly line of Newton Street at land of H. Adelaide Hovey, thence running southerly along the westerly line of Newton Street one hundred and seventy and five tenths (170 5/10) feet to land formerly of Martha M. Walcott; thence turning and running westerly bounding southerly on said land formerly of Martha M. Walcott and on land of Clara L. Hodgdon and land of Lawrence Ward two hundred and seventy three and sixty-nine one hundredths (273 69/100) feet to Heard Street, formerly called Church Avenue, thence running northerly along the easterly line of said Heard Street one hundred and one (101) feet to land of the City of Waltham used now for school purposes, thence turning and running easterly bounding northerly on said land of the City of Waltham eighty-eight and thirty one hundredths (88 30/100) feet to a corner, thence turning and running northerly and bounding westerly on said land of said City sixty-four and seventy five one hundredths (64 75/100) feet to a corner and land of Annie M. and Catherine Healey thence turning and running easterly bounding northerly by land of said Healeys, land of George A. Stearns and land of H. Adelaide Hovey one hundred seventy nine and 341/100 (179 34/100) feet to the point of beginning, be the said distances more or less.

**Parcel Two**  
The land in Waltham with the buildings thereon bounded and described as follows:

Beginning at the southeasterly corner of the granted premises at a point in the westerly line of Newton Street distant one hundred forty-two and 391/100 (142.39) feet northerly from the intersection of said westerly line of Newton Street with the northerly line of Central Street; thence running south 79° 46' 20" west seventy-five and 3/100 (75.03) feet;

Thence north 55° 13' 40" west seven and 7/100 (7.07) feet;  
Thence south 79° 46' 20" west, sixty-nine and 91/100 (69.91) feet to land of the Roman Catholic Archbishop of Boston;  
Thence north 10° 57' 30" west bounding westerly on said land of the Roman Catholic Archbishop of Boston forty-five (45) feet to land of the Leland Home for Aged Women;  
Thence north 79° 46' 20" east, bounded northerly by said land of the Leland Home one hundred forty-nine and 90/100 (149.90) feet to said westerly line of Newton Street;  
Thence south 10° 55' 40" east along said westerly line of Newton Street fifty (50) feet to the point of beginning.

Containing 7131.8 square feet.

Together with a right of way over a strip of land adjoining the above-described parcel on a part of the southerly boundary to be forever kept open for the use in common of the parties described in the said deed of Mary O'Riley and described as follows to wit: beginning at a point on said westerly line of Newton Street distant one hundred thirty and 391/100 (130.39) feet northerly from the intersection of said westerly line of Newton Street with the northerly line of Central Street; thence running south 79° 46' 20" west, eighty and 15/100 (80.15) feet; thence north 55° 13' 40" west twenty-four and 4/100 (24.04) feet to a point of intersection with the southerly boundary of the first described parcel; thence easterly along said southerly boundary to Newton Street; thence southerly along the westerly line of Newton Street twelve feet to the point of beginning.

**Parcel Three**  
The land in said Waltham with the buildings thereon bounded and described as follows:

Easterly by Newton Street, seventy-two and 61/10 (72.6) feet;  
Northerly by land of the grantee, twenty-five and 3/100 (75.03) feet;  
Northeasterly by the same, seven and 71/100 (7.07) feet;  
Northerly again by the same, sixty-nine and 91/100 (69.91) feet;  
Westerly by land now or formerly of the Roman Catholic Archbishop of Boston, seventy-six and 61/10 (76.6) feet, and  
Southerly by land now or late of Crosby and land of the grantee, one hundred forty-seven and 4/10 (147.4) feet.

**Schedule B - Section 2 of Fidelity National Title Insurance Company's Commitment, MMOG File No. 21-56754, Effective date October 8, 2021**

**(B)** Intentionally deleted.

**AS-SURVEYED BOUNDARY DESCRIPTION**

A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Waltham, situated on the westerly sideline of Newton Street and the easterly sideline of Heard Street, more particularly bounded and described as follows:

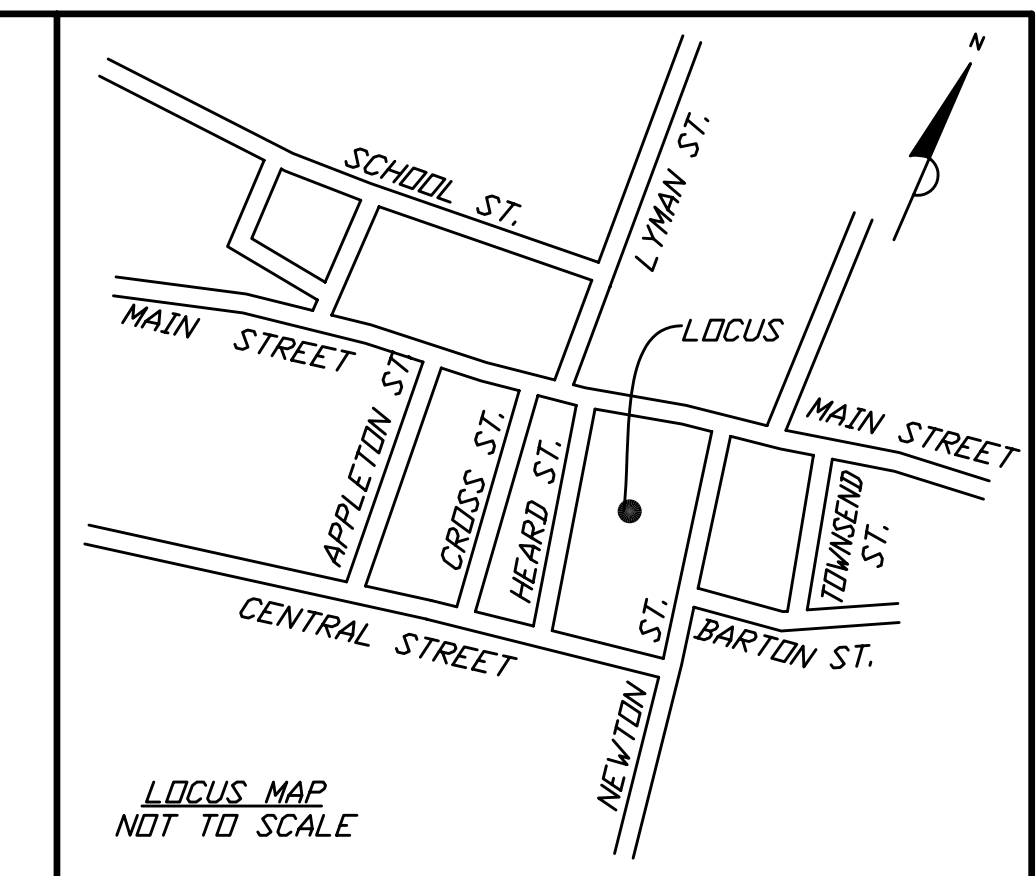
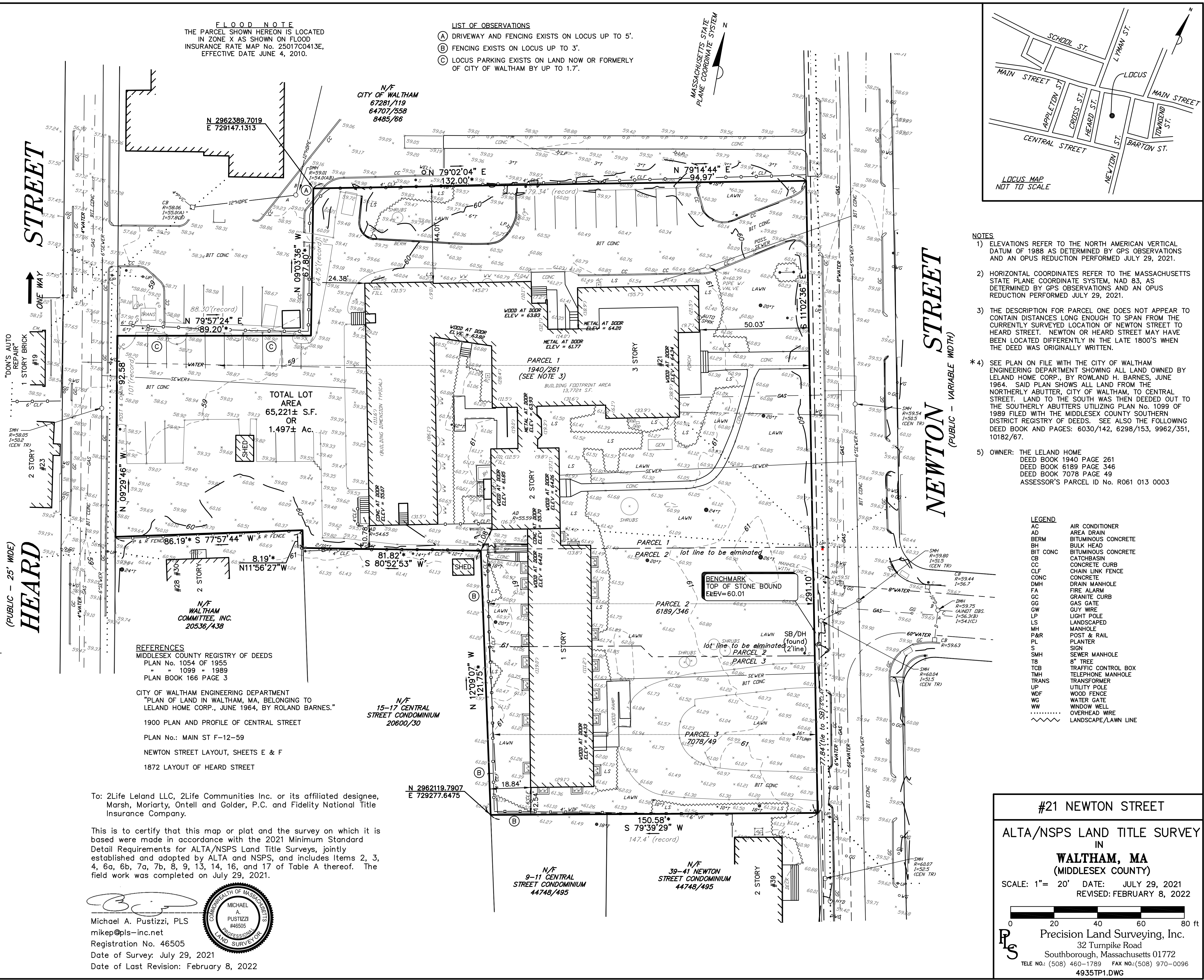
Beginning at a point on the westerly sideline of Newton Street, said point being the most northeasterly corner of the parcel; thence running

- S 11°02'36" E 291.10' by the westerly sideline of Newton Street to a point; thence turning and running
- S 79°39'29" W 150.58' to a point; thence turning and running
- N 12°09'07" W 121.75' to a point; thence turning and running
- S 80°52'53" W 81.82' to a point; thence turning and running
- N 11°56'27" W 8.19' to a point; thence turning and running
- S 77°57'44" W 86.19' to a point; thence turning and running
- N 09°29'46" W 92.58' by the easterly sideline of Heard Street to a point; thence turning and running
- N 79°57'24" E 89.20' to a point; thence turning and running
- N 09°03'36" W 67.80' to a point; thence turning and running
- N 79°02'04" E 132.00' to a point; thence turning and running
- N 79°14'44" E 94.97' to the POINT OF BEGINNING.

Containing 65,221 square feet or 1.497 acres, more or less.

**FLOOD NOTE**  
THE PARCEL SHOWN HEREON IS LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP No. 25017C0413E, EFFECTIVE DATE JUNE 4, 2010.

- LIST OF OBSERVATIONS**
- (A) DRIVEWAY AND FENCING EXISTS ON LOCUS UP TO 5'.
  - (B) FENCING EXISTS ON LOCUS UP TO 3'.
  - (C) LOCUS PARKING EXISTS ON LAND NOW OR FORMERLY OF CITY OF WALTHAM BY UP TO 1.7'.



- NOTES**
- 1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
  - 2) HORIZONTAL COORDINATES REFER TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD 83, AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
  - 3) THE DESCRIPTION FOR PARCEL ONE DOES NOT APPEAR TO CONTAIN DISTANCES LONG ENOUGH TO SPAN FROM THE CURRENTLY SURVEYED LOCATION OF NEWTON STREET TO HEARD STREET. NEWTON OR HEARD STREET MAY HAVE BEEN LOCATED DIFFERENTLY IN THE LATE 1800'S WHEN THE DEED WAS ORIGINALLY WRITTEN.
  - 4) SEE PLAN ON FILE WITH THE CITY OF WALTHAM ENGINEERING DEPARTMENT SHOWING ALL LAND OWNED BY LELAND HOME CORP., BY ROWLAND H. BARNES, JUNE 1964. SAID PLAN SHOWS ALL LAND FROM THE NORTHERLY ABUTTER, CITY OF WALTHAM, TO CENTRAL STREET. LAND TO THE SOUTH WAS THEN DEEDED OUT TO THE SOUTHERLY ABUTTERS UTILIZING PLAN No. 1099 OF 1989 FILED WITH THE MIDDLESEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS. SEE ALSO THE FOLLOWING DEED BOOK AND PAGES: 6030/142, 6298/153, 9962/351, 10182/67.
  - 5) OWNER: THE LELAND HOME  
DEED BOOK 1940 PAGE 261  
DEED BOOK 6189 PAGE 346  
DEED BOOK 7078 PAGE 49  
ASSESSOR'S PARCEL ID No. R061 013 0003

**LEGEND**

AC	AIR CONDITIONER
AD	AREA DRAIN
BERM	BITUMINOUS CONCRETE
BH	BULK HEAD
BIT CONC	BITUMINOUS CONCRETE
CB	CATCHBASIN
CC	CONCRETE CURB
CLF	CHAIN LINK FENCE
CONC	CONCRETE
DMH	DRAIN MANHOLE
FA	FIRE ALARM
GC	GRANITE CURB
GG	GAS GATE
GW	GUY WIRE
LP	LIGHT POLE
LS	LANDSCAPED
MH	MANHOLE
PAR	POST & RAIL
PL	PLANTER
S	SIGN
SMH	SEWER MANHOLE
TB	8" TREE
TCB	TRAFFIC CONTROL BOX
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
UP	UTILITY POLE
WDF	WOOD FENCE
WG	WATER GATE
WW	WINDOW WELL
-----	OVERHEAD WIRE
~~~~~	LANDSCAPE/LAWN LINE

**#21 NEWTON STREET**

**ALTA/NSPS LAND TITLE SURVEY**  
IN  
**WALTHAM, MA**  
(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: JULY 29, 2021  
REVISED: FEBRUARY 8, 2022

Precision Land Surveying, Inc.  
32 Tumpike Road  
Southborough, Massachusetts 01772  
TEL NO: (508) 460-1789 FAX NO: (508) 970-0096  
493571.DWG

Michael A. Pustizzi, PLS  
mikep@pls-inc.net  
Registration No. 46505  
Date of Survey: July 29, 2021  
Date of Last Revision: February 8, 2022

**UNDERGROUND UTILITIES** WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.

**REFERENCES**  
 MIDDLESEX COUNTY REGISTRY OF DEEDS  
 PLAN No. 1054 OF 1955  
 " " 1099 " 1989  
 PLAN BOOK 166 PAGE 3  
 CITY OF WALTHAM ENGINEERING DEPARTMENT  
 "PLAN OF LAND IN WALTHAM, MA, BELONGING TO  
 LELAND HOME CORP., JUNE 1964, BY ROLAND BARNES."  
 1900 PLAN AND PROFILE OF CENTRAL STREET  
 PLAN No.: MAIN ST F-12-59  
 NEWTON STREET LAYOUT, SHEETS E & F  
 1872 LAYOUT OF HEARD STREET

**AS-SURVEYED BOUNDARY DESCRIPTION**


A certain parcel of land located in the Commonwealth of Massachusetts, County of Middlesex, City of Waltham, situated on the westerly sideline of Newton Street and the easterly sideline of Heard Street, more particularly bounded and described as follows:

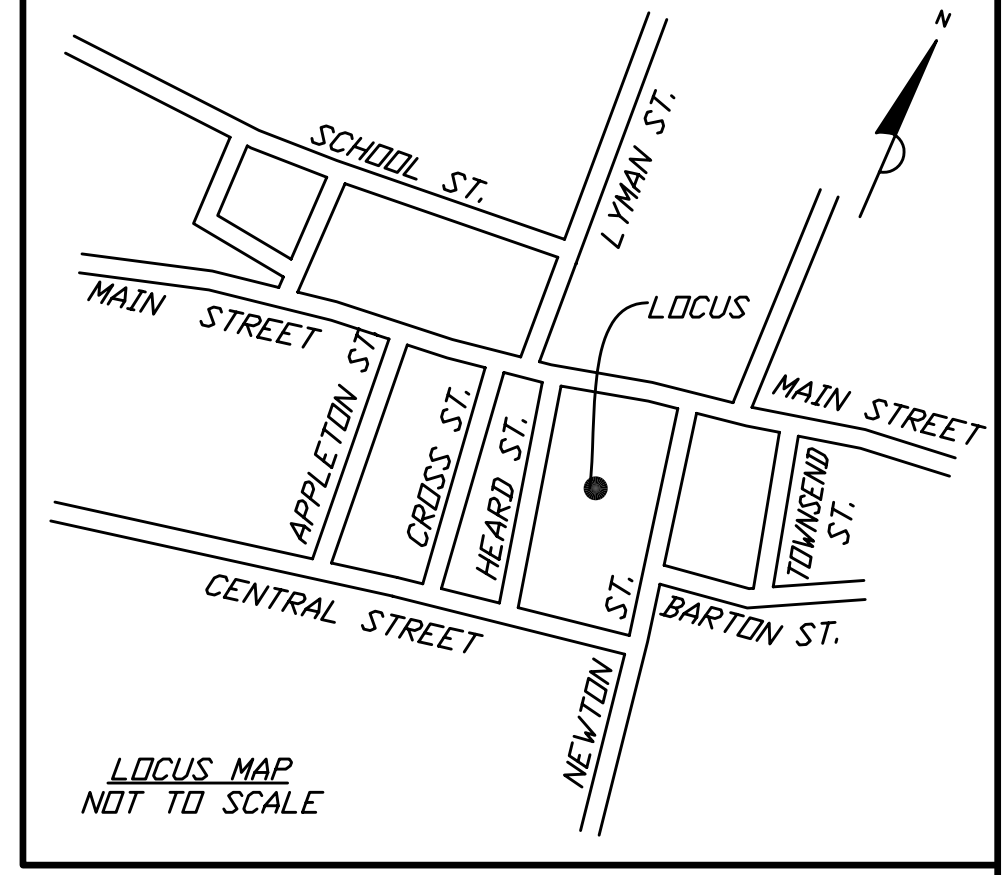
Beginning at a point on the westerly sideline of Newton Street, said point being the most northeasterly corner of the parcel; thence running

S 11°02'36" E 291.10' by the westerly sideline of Newton Street to a point; thence turning and running  
 S 79°39'29" W 150.58' to a point; thence turning and running  
 N 12°09'07" W 121.75' to a point; thence turning and running  
 S 80°52'53" W 81.82' to a point; thence turning and running  
 N 11°56'27" W 8.19' to a point; thence turning and running  
 S 77°57'44" W 86.19' to a point; thence turning and running  
 N 09°29'46" W 92.58' by the easterly sideline of Heard Street to a point; thence turning and running  
 N 79°57'24" E 89.20' to a point; thence turning and running  
 N 09°03'36" W 67.80' to a point; thence turning and running  
 N 79°02'04" E 132.00' to a point; thence turning and running  
 N 79°14'44" E 94.97' to the POINT OF BEGINNING.

Containing 65,221 square feet or 1.497 acres, more or less.

**FLOOD NOTE**  
 THE PARCEL SHOWN HEREON IS LOCATED  
 IN ZONE X AS SHOWN ON FLOOD  
 INSURANCE RATE MAP No. 25017C0413E,  
 EFFECTIVE DATE JUNE 4, 2010.

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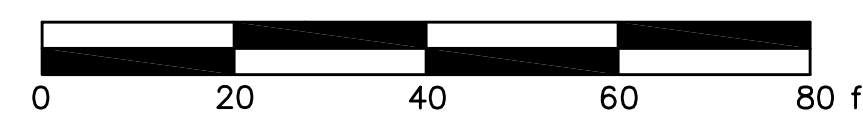
- NOTES**
- 1) HORIZONTAL COORDINATES REFER TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD 83, AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
  - 2) SEE PLAN ON FILE WITH THE CITY OF WALTHAM ENGINEERING DEPARTMENT SHOWING ALL LAND OWNED BY LELAND HOME CORP., BY ROWLAND H. BARNES, JUNE 1964. SAID PLAN SHOWS ALL LAND FROM THE NORTHERLY ABUTTER, CITY OF WALTHAM, TO CENTRAL STREET. LAND TO THE SOUTH WAS DEEDED OUT TO THE SOUTHERLY ABUTTERS UTILIZING PLAN No. 1099 OF 1989 FILED WITH THE MIDDLESEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS. SEE ALSO THE FOLLOWING DEED BOOK AND PAGES: 6030/142, 6298/153, 9962/351, 10182/67.
  - 3) THE PARCEL SHOWN HEREON IS LOCATED IN ZONE RESIDENCE B.
  - 4) OWNER: THE LELAND HOME  
 DEED BOOK 1940 PAGE 261  
 DEED BOOK 6189 PAGE 346  
 DEED BOOK 7078 PAGE 49  
 ASSESSOR'S PARCEL ID No. R061 013 0003



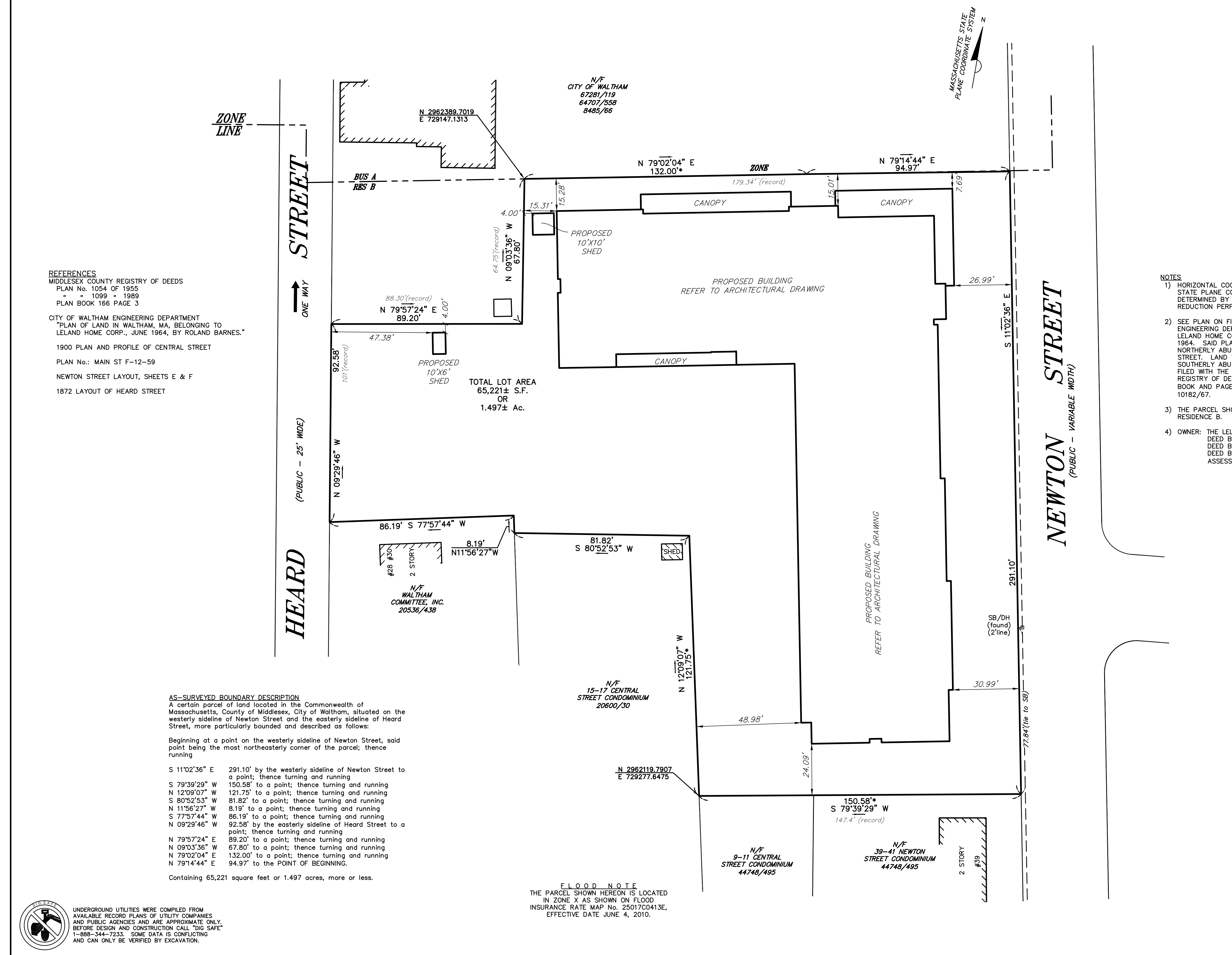
**#21 NEWTON STREET**

**PLOT PLAN**  
 IN  
**WALTHAM, MA**  
 (MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: FEBRUARY 14, 2022



**Precision Land Surveying, Inc.**  
 32 Turnpike Road  
 Southborough, Massachusetts 01772  
 TELE NO: (508) 460-1789 FAX NO: (508) 970-0096  
 49351P1.DWG



THE BOARD IS MAKING NO DETERMINATION AS TO WHETHER OR NOT THE LOTS SHOWN HEREON COMPLY WITH THE WALTHAM ZONING ORDINANCE.

APPROVAL IS NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW BY THE BOARD OF SURVEY AND PLANNING.

DATE \_\_\_\_\_

CLERK \_\_\_\_\_

BOARD OF SURVEY AND PLANNING  
CITY OF WALTHAM, MA

**REFERENCES**  
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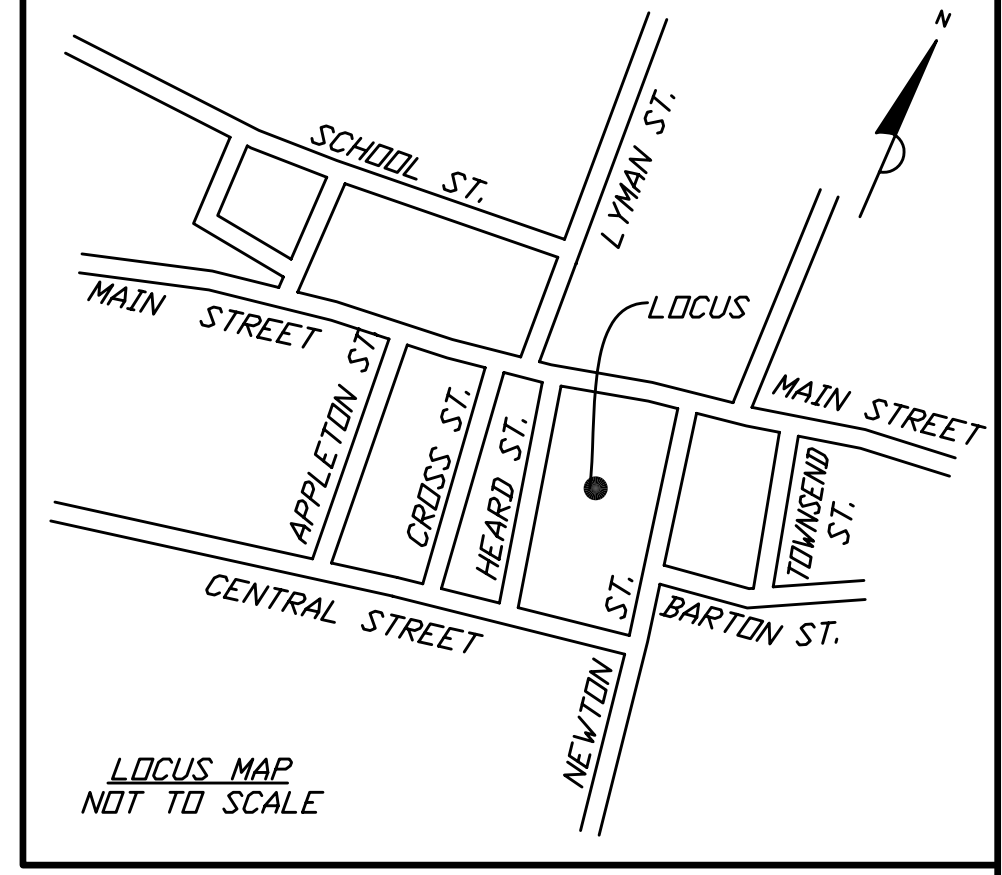
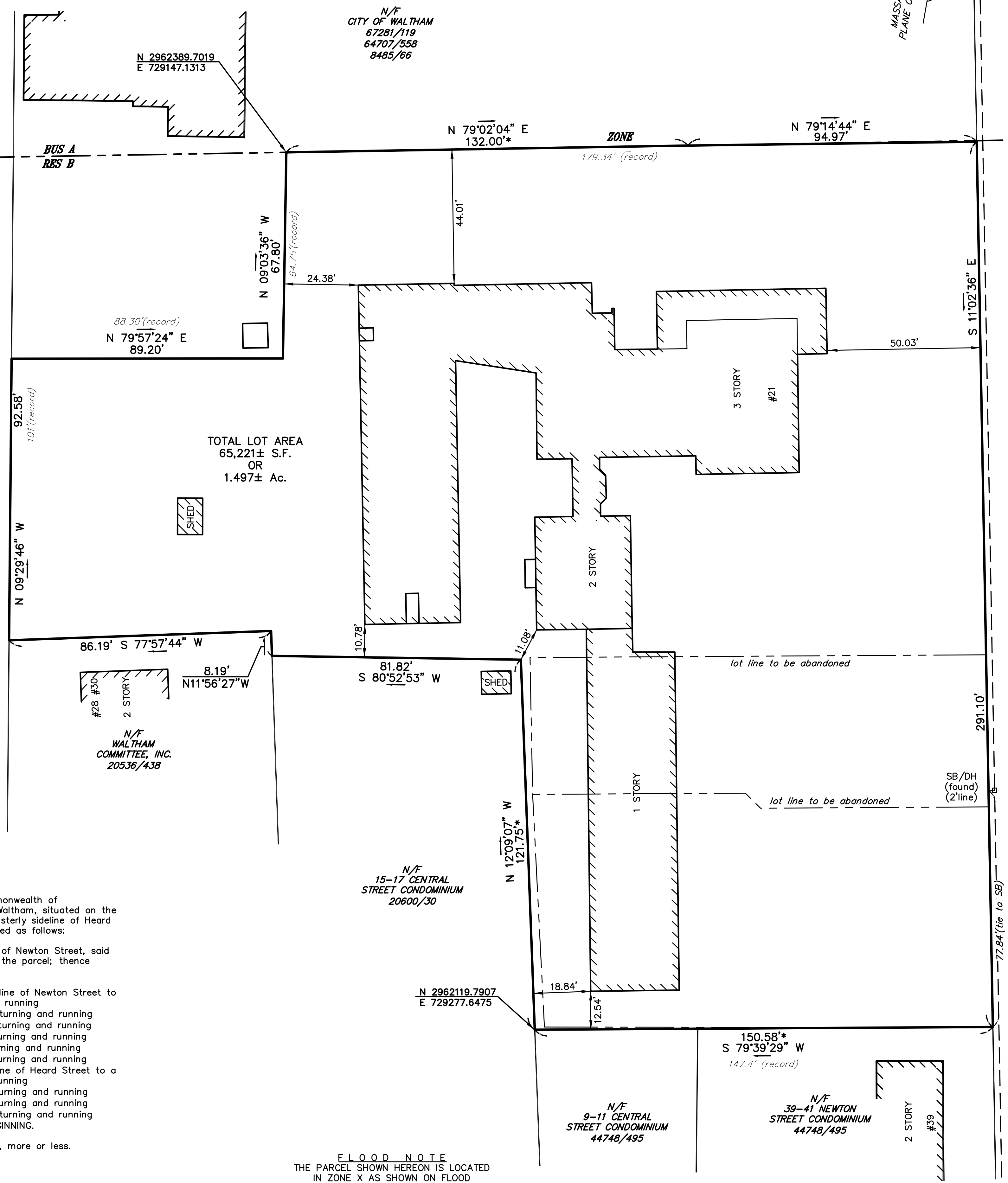
Containing 65,221 square feet or 1.497 acres, more or less.

**FLOOD NOTE**  
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HEARD STREET (PUBLIC - 25' WIDE) ONE WAY

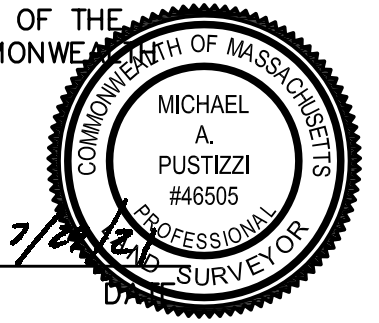
NEWTON STREET (PUBLIC - VARIABLE WIDTH)



- NOTES**
- HORIZONTAL COORDINATES REFER TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, NAD 83, AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED JULY 29, 2021.
  - SEE PLAN ON FILE WITH THE CITY OF WALTHAM ENGINEERING DEPARTMENT SHOWING ALL LAND OWNED BY LELAND HOME CORP., BY ROWLAND H. BARNES, JUNE 1964. SAID PLAN SHOWS ALL LAND FROM THE NORTHERLY ABUTTER, CITY OF WALTHAM, TO CENTRAL STREET. LAND TO THE SOUTH WAS DEEDED OUT TO THE SOUTHERLY ABUTTERS UTILIZING PLAN No. 1099 OF 1989 FILED WITH THE MIDDLESEX COUNTY SOUTHERN DISTRICT REGISTRY OF DEEDS. SEE ALSO THE FOLLOWING DEED BOOK AND PAGES: 6030/142, 6298/153, 9962/351, 10182/67.
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  - OWNER: THE LELAND HOME  
DEED BOOK 1940 PAGE 261  
DEED BOOK 6189 PAGE 346  
DEED BOOK 7078 PAGE 49  
ASSESSOR'S PARCEL ID No. R061 013 0003

I HEREBY CERTIFY THAT:  
THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

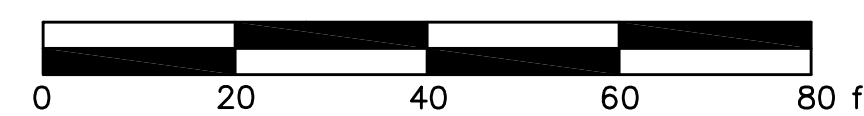
  
MICHAEL PUSTIZZI, PLS No. 46505

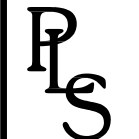


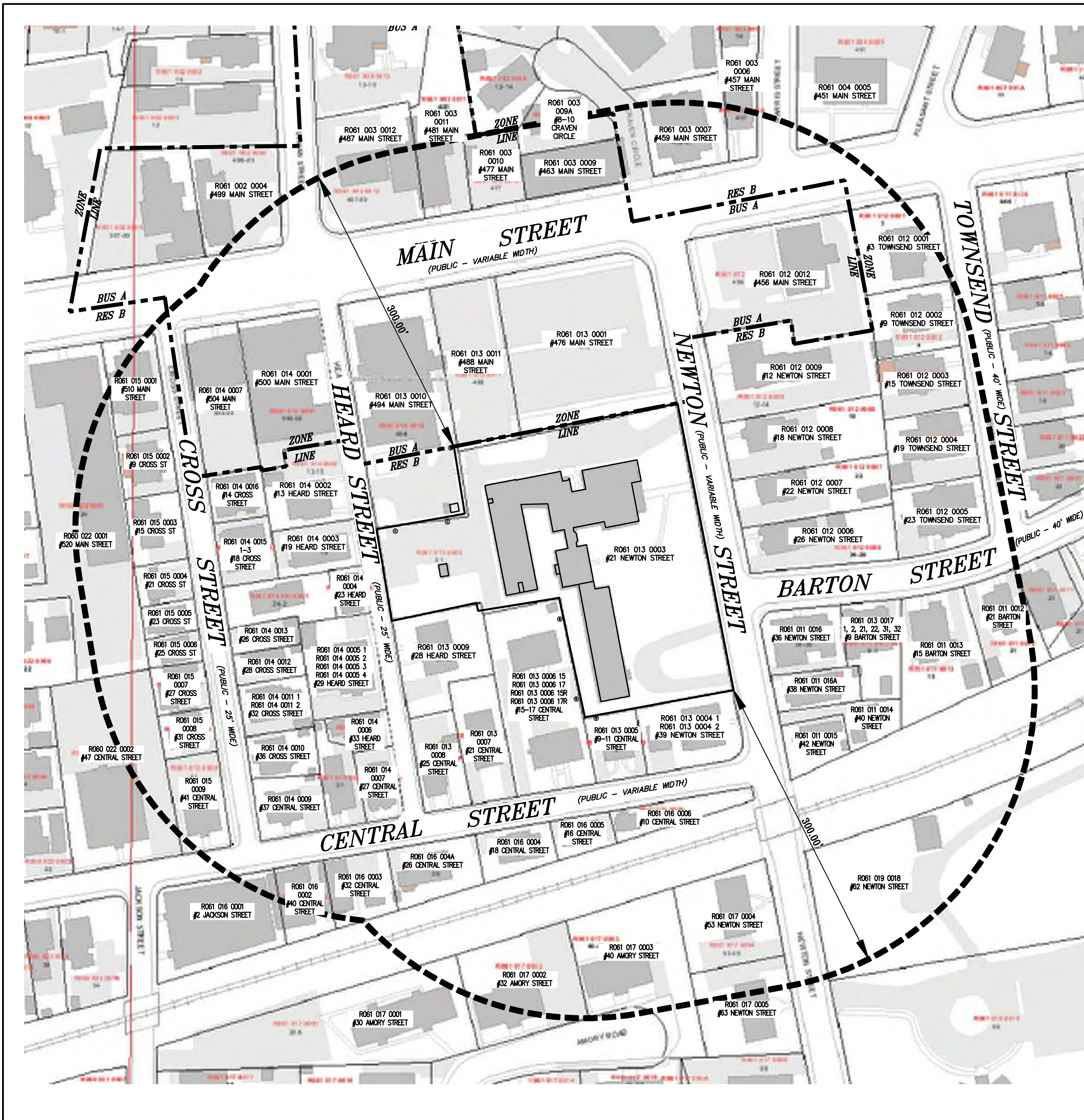
**#21 NEWTON STREET**

PLAN OF LAND  
IN  
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(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: JULY 29, 2021



 Precision Land Surveying, Inc.  
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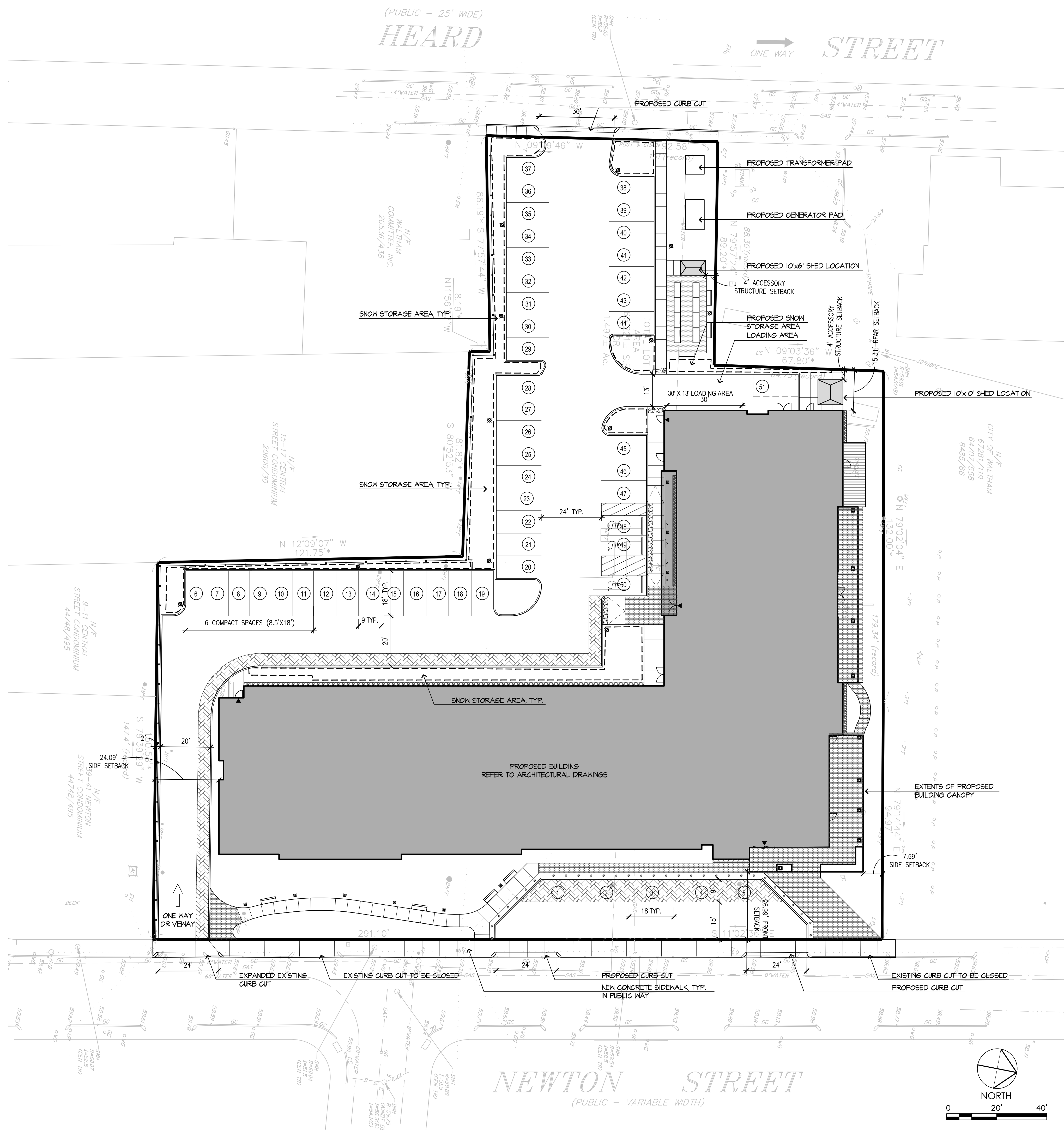
LIST OF PARCEL ABUTTERS - #21 NEWTON STREET, WALTHAM, MA PARCEL R061 013 0003

PARCELID	LOCATION	OWNER NAME	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP
R060 022 0001	520 MAIN ST	FIVE TWENTY MAIN ST. RTLY. TR. / MARC RESNICK TR.	100 FELTON ST STE-201	WALTHAM	MA	02453
R060 022 0002	47 CENTRAL ST	CENTRAL PROPERTIES DEVEL LLC	264 SALEM ST. /	MEDFORD	MA	02155
R061 002 0004	499-05 MAIN ST	SEIGEL FAMILY REALTY TRUST / ELLIOT SEIGEL & SANDRA KADLICK	170 OLD FORGE RD /	HANOVER	MA	02339
R061 003 0006	457 MAIN ST	LEE, LILY	457 MAIN STREET /	WALTHAM	MA	02452-6137
R061 003 0007	459-61 MAIN ST	MCNAMARA, MARY ALICE / C/O MCNAMARA PROP.	P.O. BOX 1238 /	HAMPTON	NH	03843
R061 003 0009	463-73 MAIN ST	MCNAMARA PROPERTIES, LLC. /	P.O. BOX 1238 /	HAMPTON	NH	03843
R061 003 0010	477 MAIN ST	MCNAMARA PROPERTIES, LLC. /	P.O. BOX 1238 /	HAMPTON	NH	03843
R061 003 0011	481 MAIN ST	481 MAIN STREET LLC. /	78 OXBOW RD. U-76-0 /	FRAMINGHAM	MA	01701
R061 003 0012	487-89 MAIN ST	HAYTAYAN, ALBERT /	92 RAFFALE DRIVE /	WALTHAM	MA	02452
R061 003 009A	8-10 CRAVEN CR	MCNAMARA PROPERTIES, LLC.	P.O. BOX 1238	HAMPTON	NH	03843
R061 004 0005	451 MAIN ST	451 MAIN STREET, LLC	465 WAVERLY OAKS RD S-216 /	WALTHAM	MA	02452-6136
R061 011 0012	21 BARTON ST	CAPELETTI, MARZIA	21 BARTON STREET /	WALTHAM	MA	02453-6008
R061 011 0013	15 BARTON ST	ERBA, ANGIJUNA & LUCY ANN / ERBA	15 BARTON STREET /	WALTHAM	MA	02453-6008
R061 011 0014	40 NEWTON ST. /	SALAZAR, OBEID & SARA E. LOPEZ /	40 NEWTON ST. /	WALTHAM	MA	02453
R061 011 0015	42 NEWTON ST	KAIVALYA, RAFFI P & HEIDI L	42 NEWTON STREET /	WALTHAM	MA	02453-6025
R061 011 0016	34-36 NEWTON ST	RIZZA, JAMES T. & KARIN / (BAROUSHIAN) RIZZA	9 CONNELL ST. /	NEWTON	MA	02462
R061 011 0017 001	9-1 BARTON ST	BARTH, AMY L.	9-1 BARTON STREET /	WALTHAM	MA	02453
R061 011 0017 002	9-2 BARTON ST. /	GARIKIPATI, REERJA J. & SUDHET / JOSHI & KRISHNAKUMAR	9-2 BARTON ST. /	WALTHAM	MA	02453
R061 011 0017 001	9-21 BARTON ST	AREND, PATRICIA L.	9 BARTON ST #21 /	WALTHAM	MA	02453
R061 011 0017 002	9-22 BARTON ST	RUNDETT, GAIL. / AKA/ GAIL E. FINNIE	9 BARTON ST #22 /	WALTHAM	MA	02453
R061 011 0017 003	9-31 BARTON ST	THOMAS, CATHERINE M.	9-31 BARTON STREET /	WALTHAM	MA	02453
R061 011 0017 003	9-32 BARTON ST	LEE, JEFFREY S.	39 WINTHROP ST. /	MELROSE	MA	02176
R061 011 016A	38 NEWTON ST	38 NEWTON ST. LLC.	721 HUMPHREY STREET /	SWAMPSCOTT	MA	01907
R061 012 0001	3 TOWNSEND ST	LIU, JUN & XI DHEN	3 TOWNSEND ST /	WALTHAM	MA	02453
R061 012 0002	9 TOWNSEND ST	HAYWARD, SHAWN S. & RACHEL L.	9 TOWNSEND ST /	WALTHAM	MA	02453
R061 012 0003	15 TOWNSEND ST	WALTHAM HOUSING AUTHORITY /	110 POND STREET /	WALTHAM	MA	02453
R061 012 0004	19 TOWNSEND ST	LEWIS, DAVID T. & LANA ALE. / DAVID T LEWIS FAM IRREV TR; &	19 TOWNSEND ST /	WALTHAM	MA	02453
R061 012 0005	23-25 TOWNSEND ST	EVERGREEN-WALTHAM RTLY. TR. / YIN LIN XIE & LI LING TR.	166 S GREAT RD /	LINCOLN	MA	01773
R061 012 0006	26-28 NEWTON ST	STENIS, PETER & JOHN	31 BERKELEY ST	WATERTOWN	MA	02472
R061 012 0007	22 NEWTON ST	LONGHITANO, CONCETTA	22 NEWTON ST. /	WALTHAM	MA	02453-6060
R061 012 0008	18 NEWTON ST	KOEPPER, MARK D.	24 MARIAN RD	WALTHAM	MA	02452
R061 012 0009	12-14 NEWTON ST	ATTARDO, ALFONSO & ROSA /	144 MADISON AVENUE /	WATERTOWN	MA	02472
R061 012 0012	456 MAIN ST	BROOKLINE BANK /	P.O. BOX 179179 /	BOSTON	MA	02117-9179
R061 013 0001	476 MAIN ST	CITY OF WALTHAM	610 MAIN ST	WALTHAM	MA	02452-5552
R061 013 0003	21 NEWTON ST	LELAND HOME FOR WOMEN /	21 NEWTON ST. /	WALTHAM	MA	02453-6004
R061 013 0004 001	39-1 NEWTON ST	MELCONE, JOSEPH /	39-1 NEWTON STREET /	WALTHAM	MA	02453-6023
R061 013 0004 002	39-2 NEWTON ST	NEWTON ST. REALTY TRUST; / HIROKO LEE TR.	70 GRASSLAND ST /	LEXINGTON	MA	02421
R061 013 0005 009	9 CENTRAL ST	LEDESMA, MARIE CHANTAL	9 CENTRAL STREET	WALTHAM	MA	02453-5403
R061 013 0005 011	11 CENTRAL ST	LASHGARI, SOHAI LB. SHEIDA / FORQUTANI	3 EDGAR ROAD	BILERICA	MA	01821
R061 013 0005 015	15-01 CENTRAL ST	AUBE, STEPHANIE & ALAN / OLDIGES	15-1 CENTRAL ST	WALTHAM	MA	02453-5403
R061 013 0005 017	15-02 CENTRAL ST	KARLIK, ILYA	15-2 CENTRAL STREET /	WALTHAM	MA	02453-5403
R061 013 0005 15R	17-01 CENTRAL ST	15R CENTRAL ST. REALTY TR; / ONIK & MARY KOUYOUMDJIAN	17-1 CENTRAL STREET /	WALTHAM	MA	02453-5403
R061 013 0005 17R	17-02 CENTRAL ST	TRIGER, JASON	17-2 CENTRAL ST. /	WALTHAM	MA	02453
R061 013 0007	21 CENTRAL ST	WALTHAM COMMITTEE, INC. /	135 BEAVER STREET /	WALTHAM	MA	02452-5551
R061 013 0008	25 CENTRAL ST.	SINGH, JAGJIT /	25 CENTRAL ST. /	WALTHAM	MA	02453-5403
R061 013 0009	28-30 HEARD ST	WALTHAM COMMITTEE, INC.	135 BEAVER ST.	WALTHAM	MA	02452-5551
R061 013 0010	494 MAIN ST	CITY OF WALTHAM / SUPT OF SCHOOLS	494 MAIN ST.	WALTHAM	MA	02452-6131
R061 013 0011	488 MAIN ST	CITY OF WALTHAM /	488 MAIN ST. /	WALTHAM	MA	02452-6131
R061 014 0001	500-02 MAIN ST	PINA REALTY TRUST. / FAUSTO MELE, TR.	242B LINDEN STREET /	WALTHAM	MA	02453-6229
R061 014 0002	13-15 HEARD ST	MORALES, HORTENCIA	77 MAIN ST.	WALTHAM	MA	02453-6553
R061 014 0003	19 HEARD ST	BARBATO, DONALD J. & / LUCILLE C	19 HEARD STREET /	WALTHAM	MA	02453-5409
R061 014 0004	23 HEARD ST	LEBLANC, ROBERT	23 HEARD STREET /	WALTHAM	MA	02453
R061 014 0005 001	29-1 HEARD ST	SONNTAG, KAI C. & SILKE / KRIEGER	29 HEARD ST. #1 /	WALTHAM	MA	02453
R061 014 0005 002	29-2 HEARD ST	KRIEGER, SILKE & KAI-CHRISTIAN / SONNTAG	29 HEARD ST #2 /	WALTHAM	MA	02453
R061 014 0005 003	29-3 HEARD ST	SONNTAG, KAI-CHRISTIAN & SILKE / KRIEGER	29 HEARD STREET #2 /	WALTHAM	MA	02453
R061 014 0005 004	29-4 HEARD ST	DEBARGE, CHRISTOPHER	29 HEARD ST. #4	WALTHAM	MA	02453
R061 014 0006	33 HEARD ST	RIVERA, HECTOR & MARIA / FIGEROA	33 HEARD ST /	WALTHAM	MA	02453-5409
R061 014 0007	27 CENTRAL ST	MORIN, ERIC. /	27 CENTRAL ST. /	WALTHAM	MA	02453-5460
R061 014 0008	31 CENTRAL ST	CONY, JANE F. /	31 CENTRAL STREET /	WALTHAM	MA	02453-5460
R061 014 0009	37 CENTRAL ST	BRADLEY LIVING TRUST. / DANIEL L. & LORRAINE A.	163 RIVERVIEW AVE. /	WALTHAM	MA	02453-3842
R061 014 0010	36-38 CROSS ST	GREENWOOD, WILLIAM G. & HELEN A. H&X; T/E	36 CROSS ST.	WALTHAM	MA	02453-5430
R061 014 0011 001	32-1 CROSS ST	32 CROSS STREET, LLC.	97 LOWELL ST	NEWTON	MA	02469
R061 014 0011 002	32-2 CROSS ST	FAN, LINGLING	32-2 CROSS ST.	WALTHAM	MA	02453-5013
R061 014 0012	28 CROSS ST	LIU, JIALIN JACKY & HONGYING L. / T/C	25 COLBORNE RD #2 /	BRIGHTON	MA	02135
R061 014 0013	26 CROSS ST	CAPITANI, MICHAEL & LAUREN	112 WINTER ST.	BELMONT	MA	02468
R061 014 0014 001	24-1 CROSS ST	CHEN, XI & JUN LIU	24-1 CROSS ST	WALTHAM	MA	02153
R061 014 0014 002	24-2 CROSS ST	WEATHERSBY, DANIEL & VERA / DUARTE	24-2 CROSS ST	WALTHAM	MA	02453
R061 014 0015 001	18-01 CROSS ST	ROME, EMILY	18-01 CROSS ST	WALTHAM	MA	02154
R061 014 0015 002	18-02 CROSS ST	SIVANESAN, SIVARUBAN	18-02 CROSS ST	WALTHAM	MA	02154
R061 014 0015 003	18-03 CROSS ST	CALKINS, ELIZA R. & DILLON RICHARD FOLEY / J/T	18-03 CROSS ST	WALTHAM	MA	02453-5430
R061 014 0016	14-16 CROSS ST	MAUREEN O'CONNELL-SOLANO REV TR. / MAUREEN O'CONNELL-SOLANO &	14 CROSS ST.	WALTHAM	MA	02452-5521
R061 014 0017	504-06 MAIN ST	504 MAIN STREET TRUST. / GIOVANNI MAIONE, TRS.	504 MAIN STREET	WALTHAM	MA	02453-6225
R061 015 0001	510-12 MAIN ST	LUCAS, STEVEN E. /	513 MAIN ST. /	WALTHAM	MA	02453-5430
R061 015 0002	9-11 CROSS ST	9-11 CROSS ST LLC.	3 CRAIG ROAD /	ACTON	MA	01720
R061 015 0003	15 CROSS ST	SYED, HUSSEIN & AISHA MUGHAL /	15 CROSS STREET	WALTHAM	MA	02453-5413
R061 015 0004	21 CROSS ST	ROSENTHAL, ADENA S. & / BENJAMIN ZACK	21 CROSS STREET	WALTHAM	MA	02453-5413
R061 015 0005	23 CROSS ST	KING, GEORGE F. JR.	23 CROSS STREET	WALTHAM	MA	02453-5413
R061 015 0006	25 CROSS ST	GRUBBS, ROBERT A. & SUSAN M. / RTS/SURV	25 CROSS ST. /	WALTHAM	MA	02453-5413
R061 015 0007	27-29 CROSS ST	SAAVEDRA, FIDENCIO	27-29 CROSS STREET /	WALTHAM	MA	02451
R061 015 0008	31 CROSS ST	GIROU, BYRON J. & CARMEN M.	31 CROSS STREET	WALTHAM	MA	02453-5413
R061 015 0009	41 CENTRAL ST	CENTRAL PROPERTIES DEVEL LLC	264 SALEM ST. /	MEDFORD	MA	02155
R061 016 0001	2 JACKSON ST	SANCHEZ, DEBINS	40 CENTRAL ST	WALTHAM	MA	02453-5415
R061 016 0002	40 CENTRAL ST	SANCHEZ, DEBINS & SHIRLEY /	40 CENTRAL ST. /	WALTHAM	MA	02453
R061 016 0003	30-32 CENTRAL ST	FORTUNE, DEAN W. & SUSANNE /	101 COPELAND ST /	WALTHAM	MA	02453-2370
R061 016 0004	18 CENTRAL ST	SALAZAR, RUTH YOLANDA	18 CENTRAL ST. /	WALTHAM	MA	02453
R061 016 0005	16 CENTRAL ST.	WINDLE, CHRISTOPHER L. & / ABIGAIL L. JACOBS T/E	16 CENTRAL ST. /	WALTHAM	MA	02453
R061 016 0006	10 CENTRAL ST	FINDLAY, GEORGE R.	10 CENTRAL ST. /	WALTHAM	MA	02453
R061 016 004A	26 CENTRAL ST	FAREL, FRANKLIN /	26 CENTRAL ST /	WALTHAM	MA	02453
R061 017 0001	30A AMORY RD	30A AMORY ROAD LLC.	30-A AMORY RD /	FRAMINGHAM	MA	02453
R061 017 0002	32-38 AMORY RD	AMORY ROAD REALTY, LLC.	70 CHECKERBERRY LN. /	FRAMINGHAM	MA	01702
R061 017 0003	40-46 AMORY RD	40-46 AMORY ROAD LIMITED / PARTNERSHIP	PO BOX 75 /	LINCOLN	MA	01773
R061 017 0004	53-55 NEWTON ST	LEB REALTY LLC.	1501 BEACON ST APT 1005 /	BROOKLINE	MA	02446
R061 017 0005	63-65 NEWTON ST	LEB REALTY LLC.	1501 BEACON ST APT 1005 /	BROOKLINE	MA	02446
R061 019 0018	62 NEWTON ST	MISSIONARY SISTERS OF THE / SOCIETY OF MARY	62 NEWTON STREET /	WALTHAM	MA	02453

THE ABUTTERS LIST SHOWN ABOVE WAS CERTIFIED BY THE WALTHAM BOARD OF ASSESSORS ON OCTOBER 22, 2021

#21 NEWTON STREET  
 300' ABUTTERS PLAN  
 IN  
**WALTHAM, MA**  
 (MIDDLESEX COUNTY)  
 SCALE: 1"= 50' DATE: OCTOBER 22, 2021  
 REVISED: FEBRUARY 8, 2022

**Precision Land Surveying, Inc.**  
 32 Tumpike Road  
 Southborough, Massachusetts 01772  
 TEL NO: (508) 460-1789 FAX NO: (508) 970-0096  
 493501ABUT1.DWG



**LEGEND**

- PROPERTY LINE
- PARKING SPACE NUMBER (SHOWN FOR REFERENCE, NOT TO BE PERMANENTLY MARKED)
- PROPOSED SNOW STORAGE AREA (~3,000 SF TOTAL IN ALL SHOWN AREAS)

**Zoning Summary**

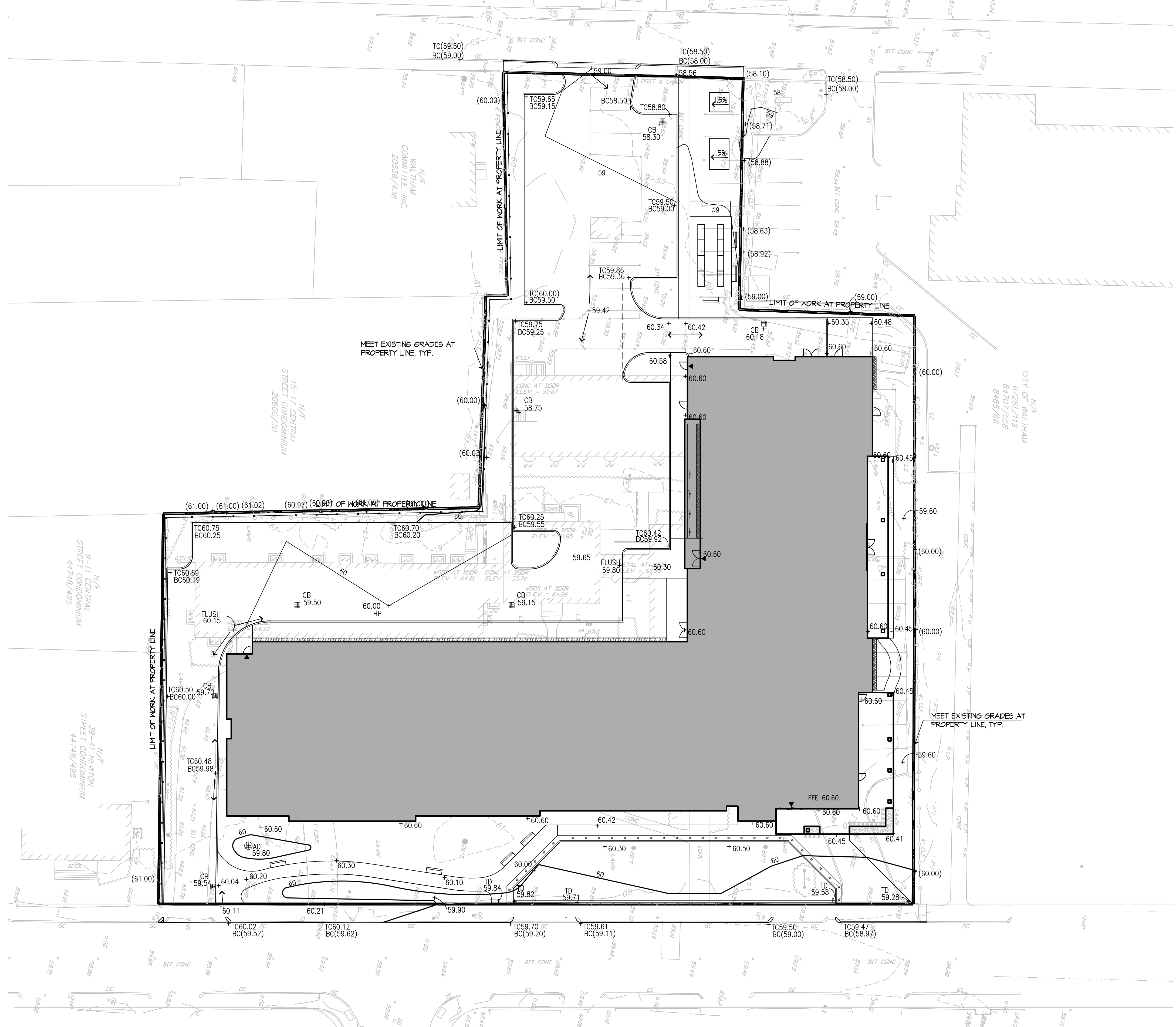
Zoning information below (as well as waivers) are based on the dimensional requirements of the Residence B Zoning District for Single- and Two-family uses, and the proposed multifamily use, which is Not Allowed in the Residence B Zone pursuant to Section 3.4 The Table of Uses.

ZONE RB	EXISTING	REQUIRED/ALLOWED	PROPOSED	WAIVER
<b>MIN BLDG SETBACKS</b>				
FRONT	50'	15'	26.99'	No
SIDE (NORTH)	44'	10'	7.69'	Yes
SIDE (SOUTH)	12'-6"	10'	24.09'	No
REAR	18'-10"	30'	15.31'	Yes
<b>MAX HEIGHT</b>	40 FT	40 FT	40 FT	No
<b>MAX STORIES</b>	3 STORIES	3 STORIES	3 STORIES	No
<b>FAR</b>	.23	-	1.12 (72,850 GSF/Lot Area)	Yes
<b>LOT COVERAGE (%)</b>	15,000 SF (23.5%)	Max. 30%	25,780 SF (39.5%)	Yes
<b>MIN OPEN SPACE (%)</b>	77% (50,221 SF/Lot Area)	-	26.4% (17,191 SF/Lot Area)	Yes
<b>LOT AREA (SF)</b>	65,221	6,000	65,221	No
<b>MAX DWELLING UNITS/ACRE</b>	26 units/acre	-	46 units/acre	Yes
<b>LOT FRONTAGE (FT)</b>	292	60	292	No
<b>MIN LOT AREA/UNIT (SF)</b>	1716.3 SF per unit (65,221 SF/38 units)	-	959.1 SF per unit (65,221 SF/68 units)	Yes
<b>MIN OPEN SPACE/UNIT (SF)</b>	1321.6 SF per unit (50,221 SF/38 units)	-	252.8 SF per unit (17,191 SF/68 units)	Yes
<b>MIN LOT WIDTH (FT)</b>	89	-	89	No
<b>PARKING</b>	2 per Unit	2 per unit	0.75 per unit (68 units X .75 = 51 SPOTS)	Yes
<b>LANDSCAPE</b>	18 Trees	1 tree per 10 cars (6 Trees @ 51 spots)	>30 Trees	No
<b>SNOW STORAGE</b>	N/A	40 SF per parking space (2,040 SF)	~3,000 SF	No
<b>LOADING</b>	-	12'x70'	13x30'	Yes

ACCESSORY STRUCTURE	EXISTING	REQUIRED/ALLOWED	PROPOSED	WAIVER
<b>MINIMUM SETBACKS</b>				
SIDE	N/A	5'	4' (6' x 10' shed)	Yes
REAR	N/A	5'	4' (10' x 10' shed)	Yes
<b>SETBACK FROM PRINCIPAL BUILDING</b>	N/A	10'	2' (10' x 10' shed)	Yes



(PUBLIC - 25' WIDE)  
**HEARD STREET**



**LEGEND**

	PROPERTY LINE
	110 PROPOSED CONTOUR MAJOR LINE
	112 PROPOSED CONTOUR MINOR LINE
	TC(58.50) BC(58.00) SPOTGRADE
	CATCH BASIN

**GRADING NOTES**

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY AN ALTANSPS LAND TITLE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND DATED JULY 29, 2021.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL MEET THE REQUIREMENTS OF 521 CMR OF THE ARCHITECTURAL ACCESS BOARD REGULATIONS. ALL GRADES ON WALKWAYS, RAMPS, CURB CUTS AND PARKING AREAS AS DEFINED BY 521 CMR SHALL COMPLY WITH THE MAXIMUM ALLOWABLE GRADES. GRADES SHALL BE MEASURED AT TWO FOOT INTERVALS. CROSS SLOPES ON ALL WALKS, PATHS OF TRAVEL AND ACCESSIBLE ROUTES AS DEFINED IN 521 CMR SHALL NOT EXCEED 1.5%. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE BETWEEN THE ACTUAL GRADES SHOWN ON THE PLANS AND THE MAXIMUM ALLOWABLE GRADES INDICATED IN 521 CMR.
- ALL WALKWAYS SHALL BE GRADED TO A MAXIMUM 4.5% RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL). THE CROSS PITCH OF ALL WALKWAYS, PATHS AND PLAZAS SHALL NOT EXCEED 1.5% (PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE SLOPE OF ALL RAMPS AND SIDE SLOPES OF HANDICAP CURB CUTS AS DEFINED BY SECTION 211 OF 521 CMR SHALL BE CONSTRUCTED AT 1.5% MAXIMUM. RAMPS AS DEFINED IN SECTION 24.1 OF 521 CMR SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 7.5%.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR CATCH.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

**PCA**

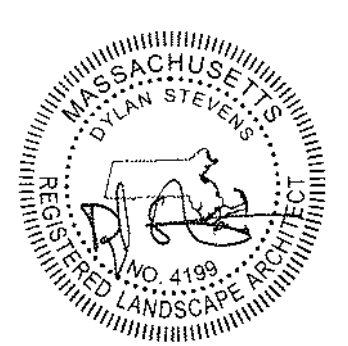
ARCHITECT:  
PCA, INC.  
221 Hampshire Street  
Cambridge, MA 02139  
617-547-8120

OWNER:  
2Life Development Inc.  
30 Wallingford Road  
Brighton, MA 02135  
617-912-8400

CHILDLANDSCAPE ENGINEER:  
Stantec Consulting  
226 Causeway Street, 6th floor  
Boston, MA 02114  
617-523-8103

**LELAND HOUSE COMP.  
PERMIT (M.G.L.C 40B)**  
21 NEWTON STREET, WALTHAM, MA 0 PCA PROJECT #: 21008.00

REVISIONS:	
02/16/2022 COMP PERMIT	
02/14/2022 COMP PERMIT	

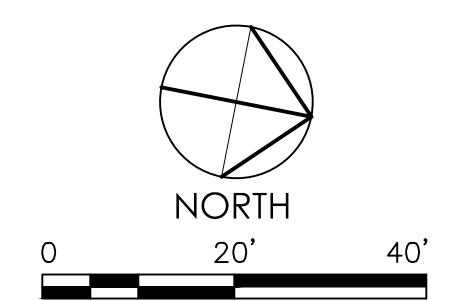


ORIGINAL ISSUE:  
12/20/2021

SCALE:

GRADING PLAN

L-301



**NEWTON STREET**  
(PUBLIC - VARIABLE WIDTH)

REVISIONS:	02/16/2022 COMP PERMIT
	02/14/2022 COMP PERMIT



ORIGINAL ISSUE  
12/20/2021

UTILITY PLAN

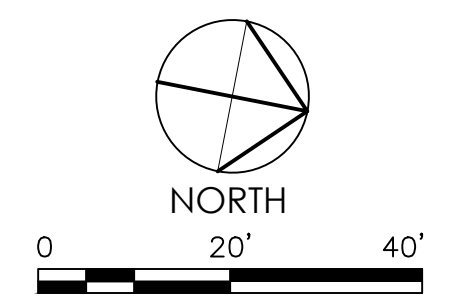
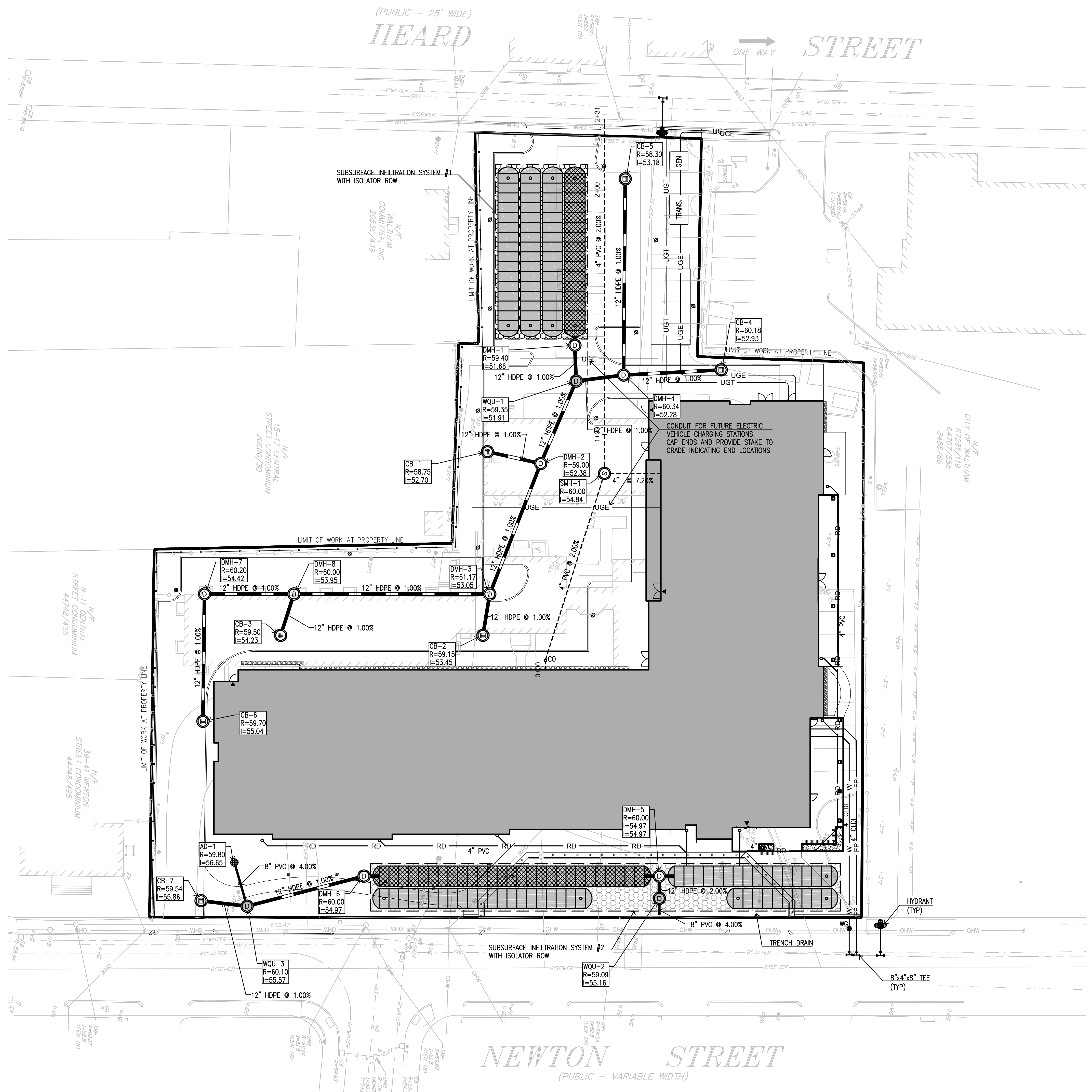
C-401

UTILITY LEGEND

	STORM DRAIN LINE		STORM DRAIN MANHOLE
	SANITARY SEWER LINE		WATER QUALITY UNIT
	WATER LINE		CATCH BASIN
	FIRE PROTECTION LINE		AREA DRAIN
	UNDERGROUND TELECOM		SANITARY SEWER MANHOLE
	UNDERGROUND ELECTRIC		FIRE DEPARTMENT CONNECTION
	ROOF DRAIN LINE		WATER GATE VALVE
			TEE CONNECTION
			HDPPE HIGH-DENSITY POLYETHYLENE
			CEMENT-LINED DUCTILE IRON
			POLYVINYL CHLORIDE
			ROOF DRAIN

UTILITY NOTES

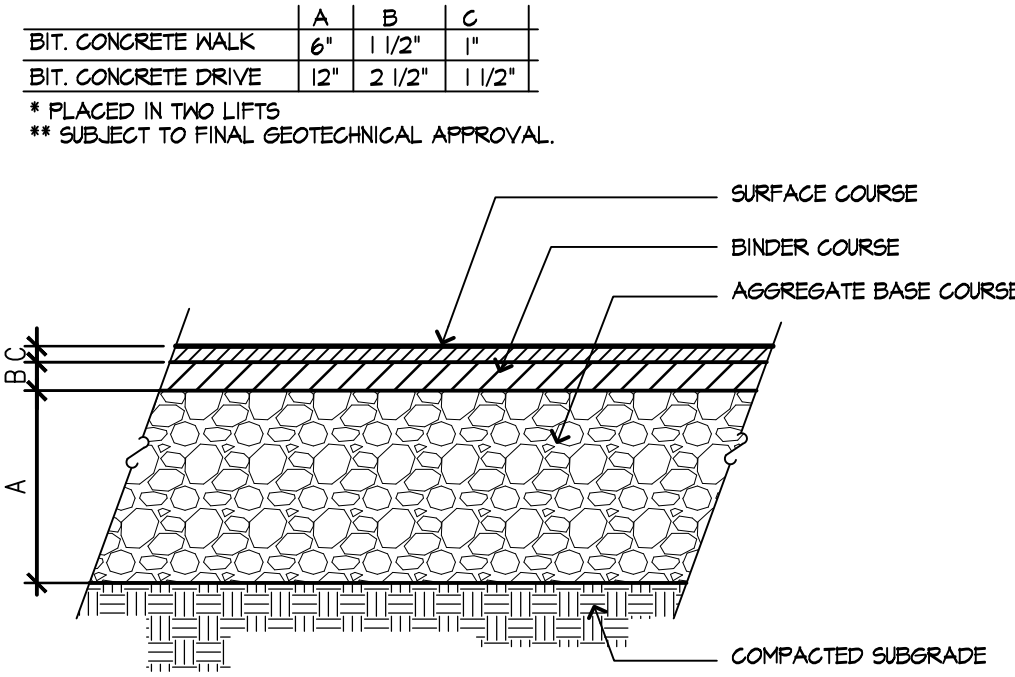
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY PRECISION LAND SURVEYING, INC. OF SOUTHBOROUGH, MA AND DATED JULY 29, 2021.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DISSAFE AND BE PROVIDED WITH A DISSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE CITY OF WALTHAM PUBLIC WORKS DEPARTMENT SPECIFICATIONS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF WALTHAM PUBLIC WORKS DEPARTMENT.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE, AS NECESSARY, ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAIN AND SEWER STRUCTURES, AS NECESSARY, FOR CHANGES IN GRADE. CONTRACTOR SHALL RESET UTILITY FRAMES, GRATES, AND COVERS MEANT TO BE FLUSH WITH GRADE (CLEANOUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT ARE AFFECTED BY SITE WORK OR GRADE CHANGES, UNLESS SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS, UNLESS OTHERWISE NOTED.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS/TELEPHONE/ELECTRICAL) AND INSTALLED ACCORDING TO THOSE REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION, ALTERATION, OR ADJUSTMENT OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL WATER LINES SHALL BE CEMENT LINED DUCTILE IRON UNLESS OTHERWISE NOTED.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52) AND VALVES SHALL BE MECHANICAL WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER MUNICIPAL REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF FIVE FEET OF GROUND COVER AND A MINIMUM SEPARATION OF TEN FEET FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING.
- THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND REQUIRES A PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL FILE AN ELECTRONIC NOTICE OF INTENT (eNOI) WITH THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (U.S. EPA) FOR CONSTRUCTION DISCHARGES ASSOCIATED WITH THIS PROJECT AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REGULATIONS.
- BITUMINOUS CONCRETE ELEVATIONS SHALL BE 1/4 INCH ABOVE THE RIM ELEVATION SHOWN FOR EACH CATCH BASIN.
- ALL PROPOSED STORM DRAIN LINES SHALL BE 12" NON-PERFORATED HDPE UNLESS OTHERWISE NOTED ON PLANS.
- REFER TO ARCHITECTURAL/PLUMBING PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING. FINAL DESIGN AND LOCATIONS OF UTILITY SERVICE STUBS WILL BE PROVIDED BY THE ARCHITECT AND/OR PLUMBING ENGINEER.
- ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY EARTH MOVING ACTIVITIES. REFER TO SITE PREPARATION PLAN FOR COMPLETE EROSION AND SEDIMENTATION CONTROLS.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, THE CONTRACTOR SHALL ACCURATELY DETERMINE THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY AND TRANSMIT THIS INFORMATION TO THE ENGINEER WITHOUT DELAY.
- ALL PIPING WITHIN 10 FEET OF BUILDING IS COVERED UNDER THE COMMONWEALTH OF MASSACHUSETTS UNIFORM STATE PLUMBING CODE AND IS SHOWN FOR COORDINATION ONLY. REFER TO PLUMBING PLANS AND SPECIFICATIONS FOR UTILITY WORK WITHIN 10 FEET OF BUILDING.
- THE ENGINEER-OF-RECORD SHALL WITNESS INSTALLATION OF ALL SUBSURFACE INFILTRATION SYSTEMS. IF THE SUBSURFACE SOIL CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, THE DESIGN SHALL BE MODIFIED AND RESUBMITTED TO THE CITY OF WALTHAM FOR APPROVAL PRIOR TO CONTINUING INSTALLATION.
- CONTRACTOR SHALL COORDINATE ANY WATER SHUT DOWNS WITH THE CITY OF WALTHAM WATER AND SEWER DEPARTMENT AND FIRE DEPARTMENT.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMITS ARE REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- EXISTING UTILITY CONNECTIONS SHALL BE CUT AND CAPPED AT THEIR RESPECTIVE MAIN(S).
- EXISTING SEWER MAIN IN HEARD STREET SHALL BE INSPECTED VIA CCTV. FOOTAGE SHALL BE PROVIDED TO THE ENGINEER TO EVALUATE SUITABILITY OF EXISTING SEWER MAIN PRIOR TO CONNECTING PROPOSED SEWER LINE.



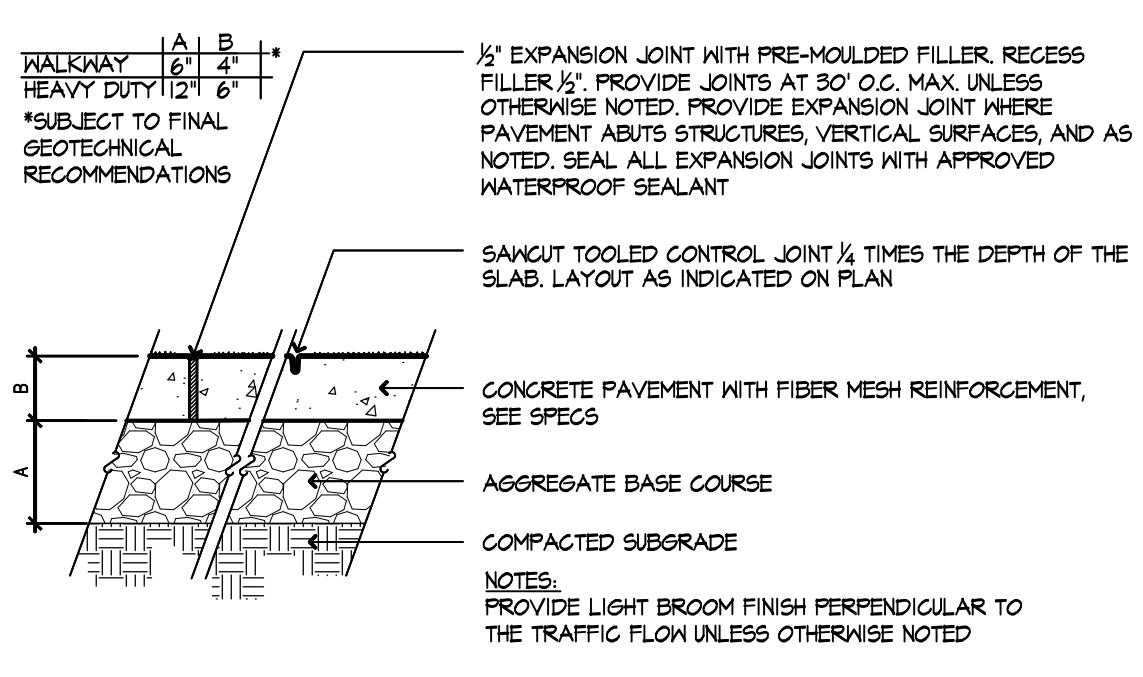




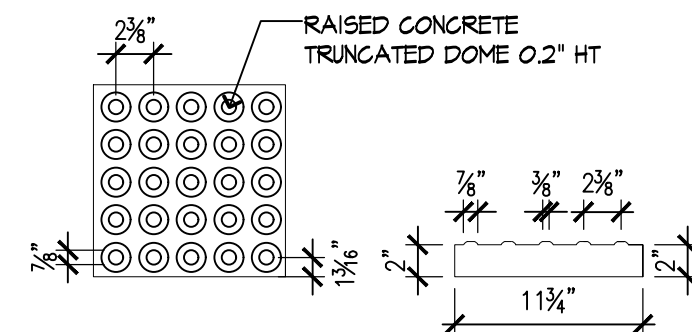




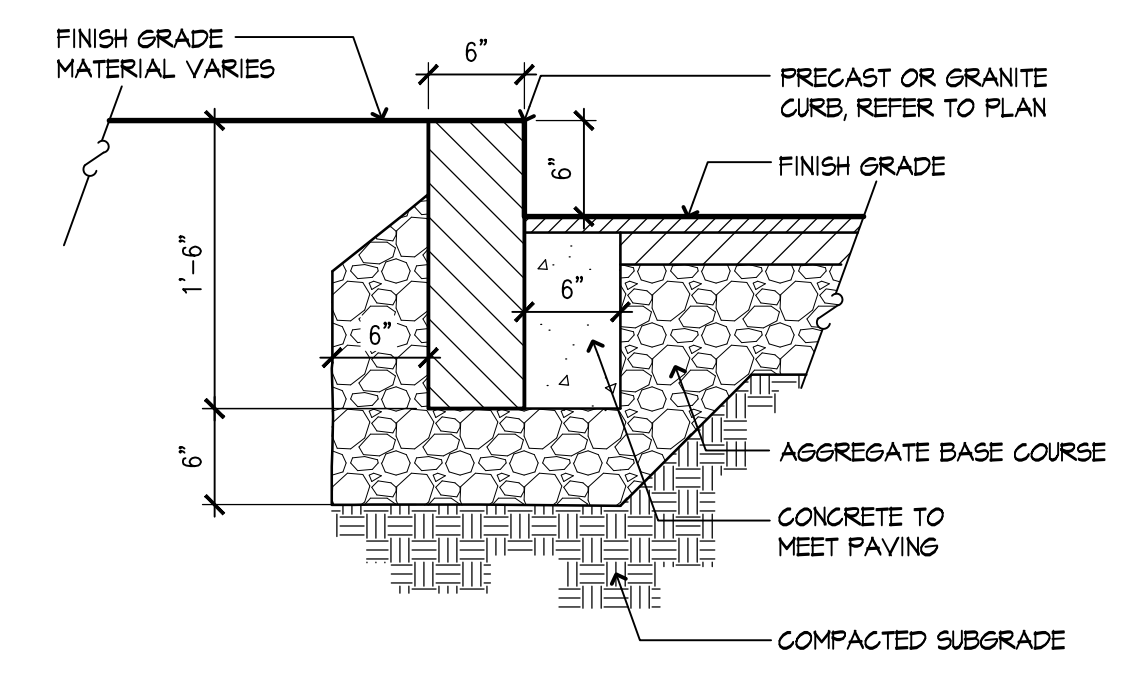
**1 BITUMINOUS CONCRETE PAVEMENT**  
SCALE: NTS



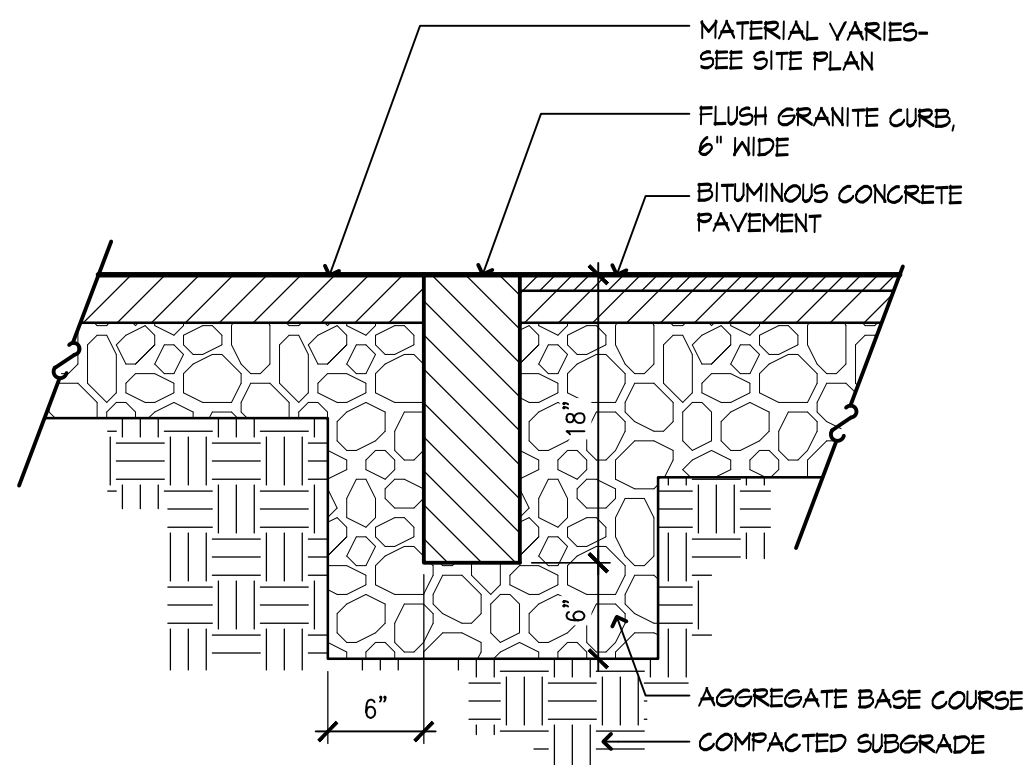
**2 CONCRETE PAVEMENT**  
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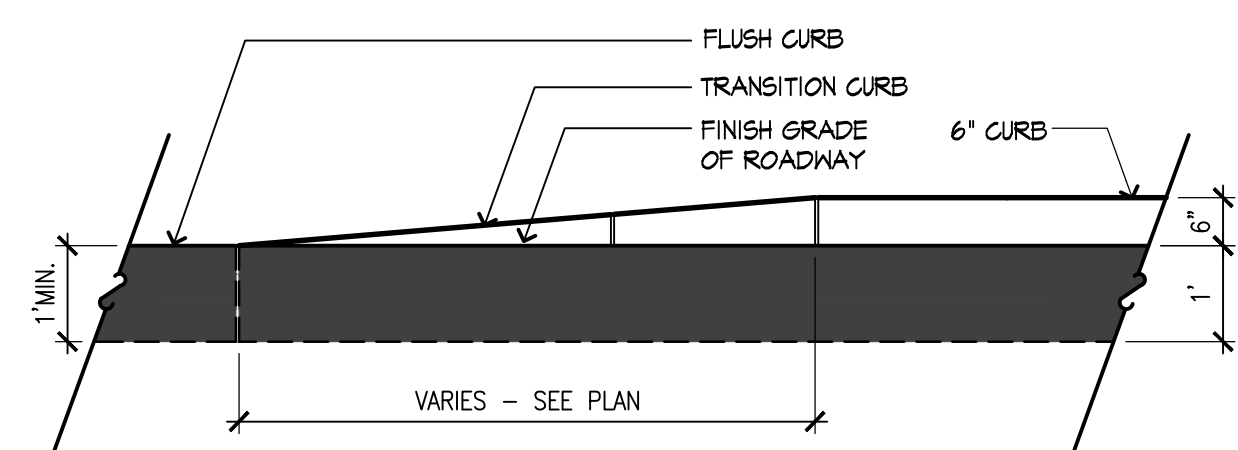
**3 DETECTABLE WARNING**  
SCALE: NTS



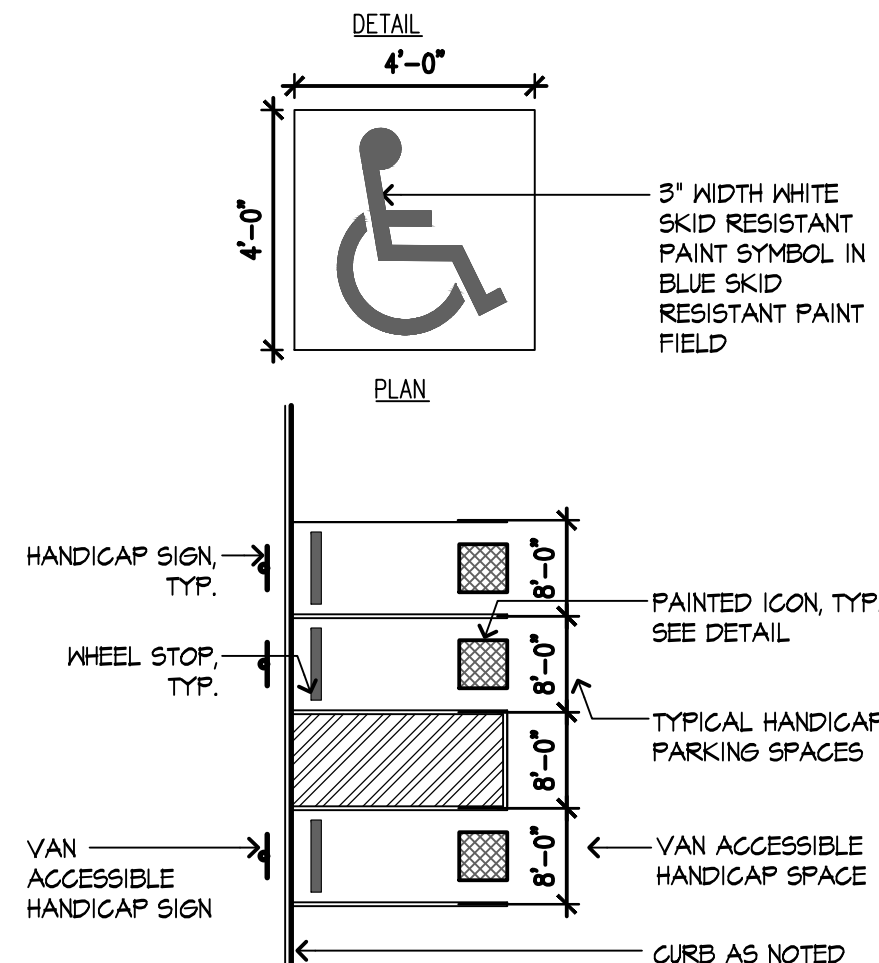
**4 VERTICAL CURB**  
SCALE: NTS



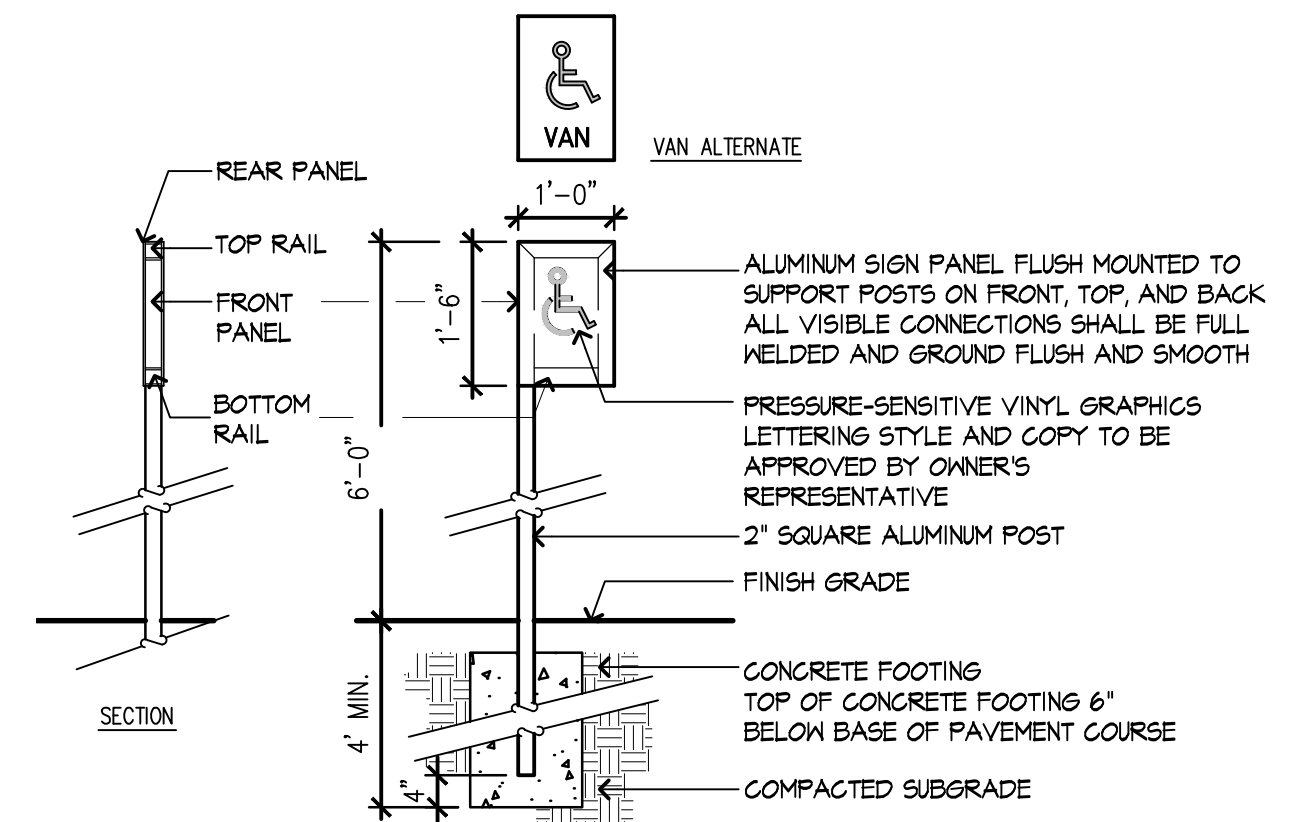
**5 FLUSH GRANITE CURB**  
SCALE: NTS



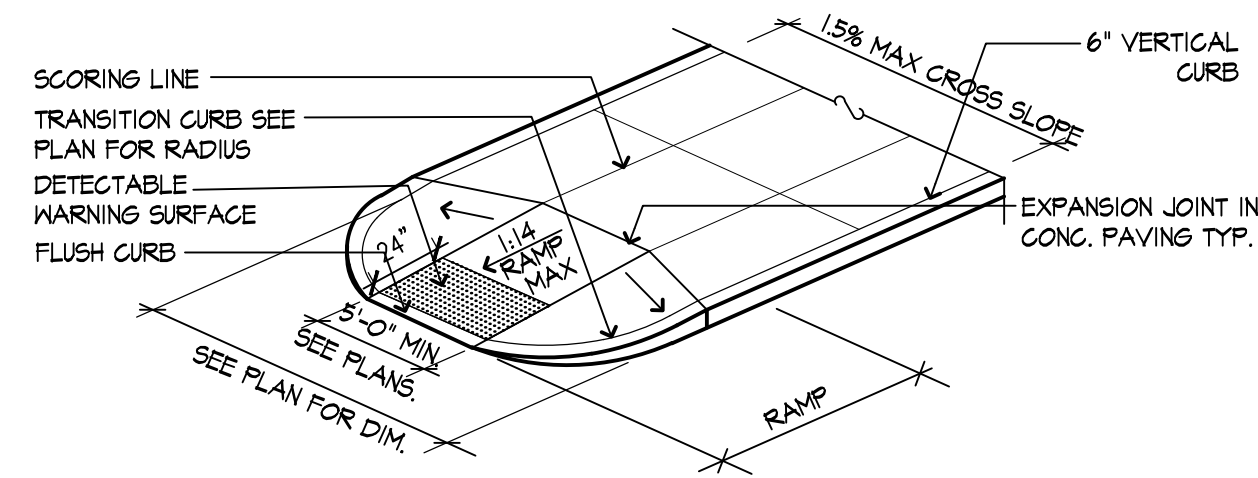
**6 TRANSITION CURB**  
SCALE: NTS



**7 HANDICAP PARKING LAYOUT AND SIGNAGE, TYP.**  
SCALE: NTS

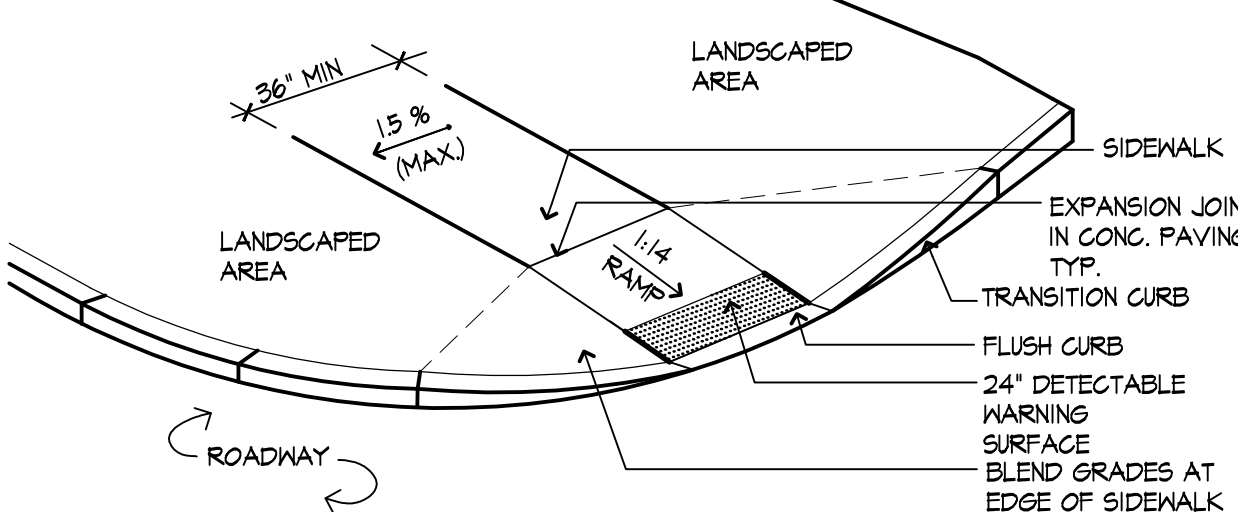


**11 CURB CUT AND RAMP TYPE 4**  
SCALE: NTS



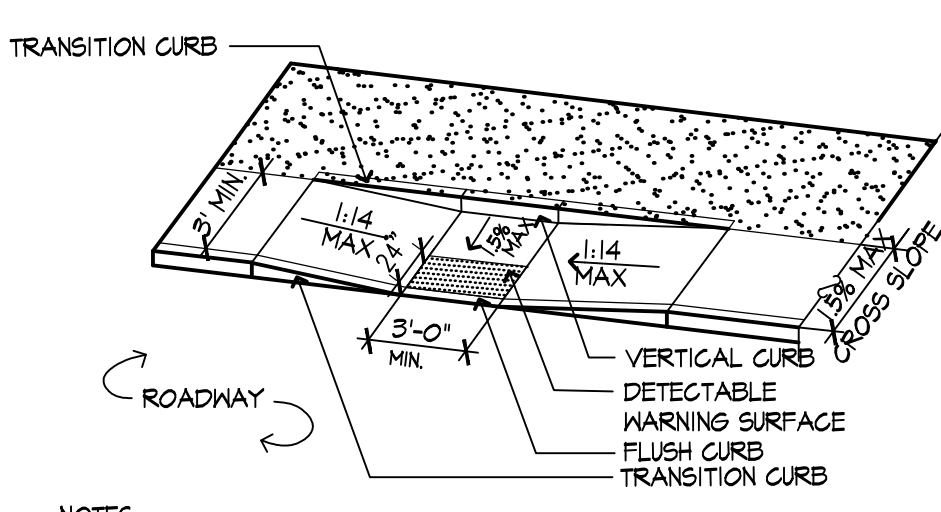
- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

**8 CURB CUT AND RAMP TYPE 1**  
SCALE: NTS



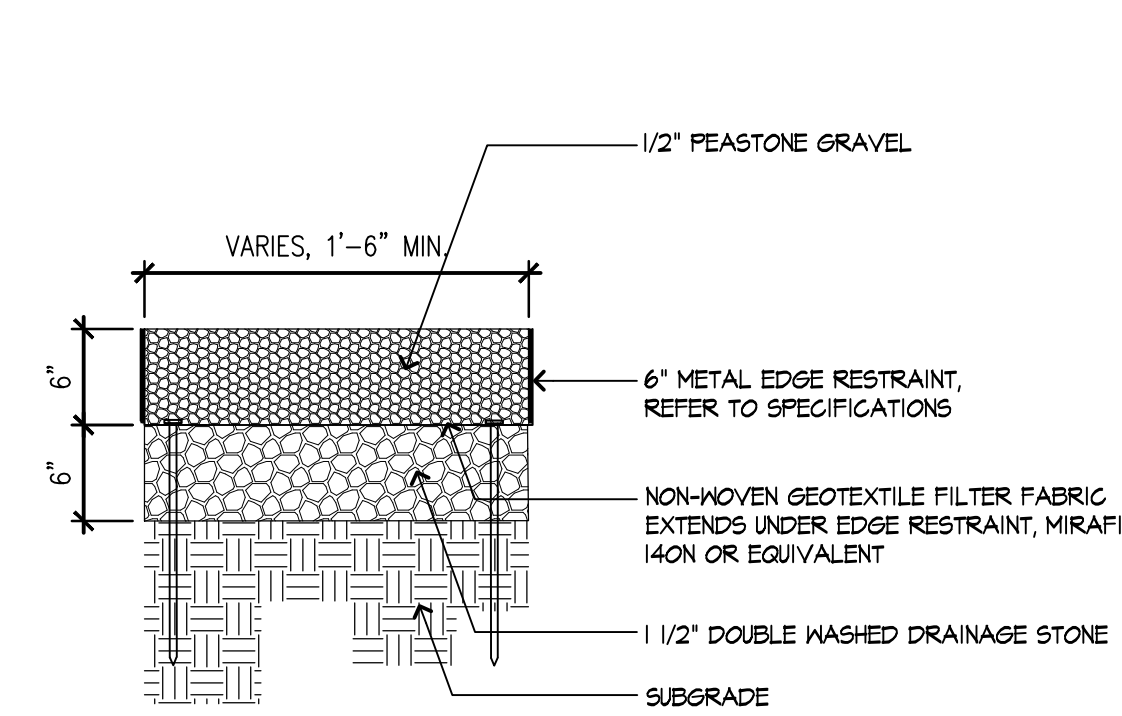
- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

**9 CURB CUT AND RAMP TYPE 2**  
SCALE: NTS

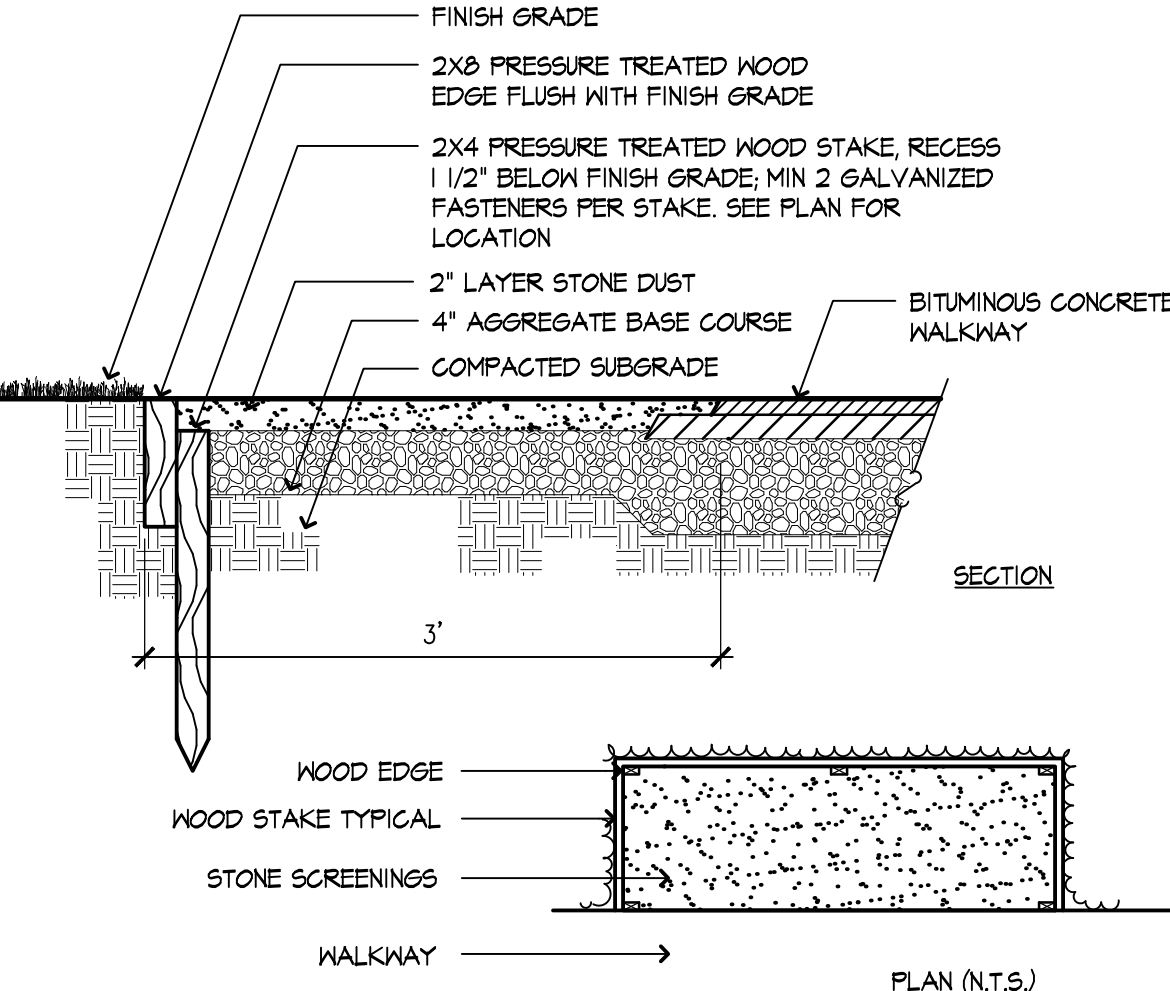


- NOTES:
- RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, I.E. DEPTH OF SURFACE AND FOUNDATION.
  - DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
  - PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
  - PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
  - MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
  - TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
  - FIXED OBJECTS (I.E. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
  - AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

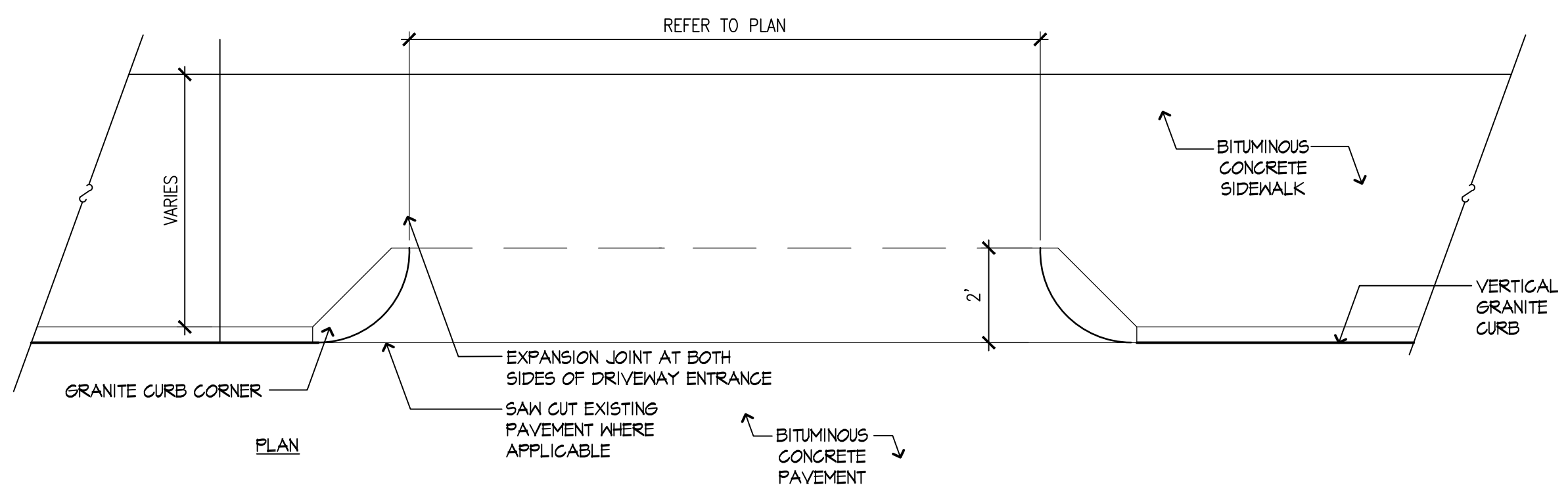
**10 CURB CUT AND RAMP TYPE 3**  
SCALE: NTS



**12 STONE MAINTENANCE STRIP**  
SCALE: NTS

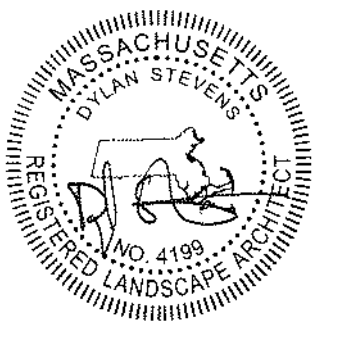


**13 STABILIZED STONE DUST PAVEMENT**  
SCALE: NTS



**14 CURB APRON**  
SCALE: NTS

NO.	DESCRIPTION



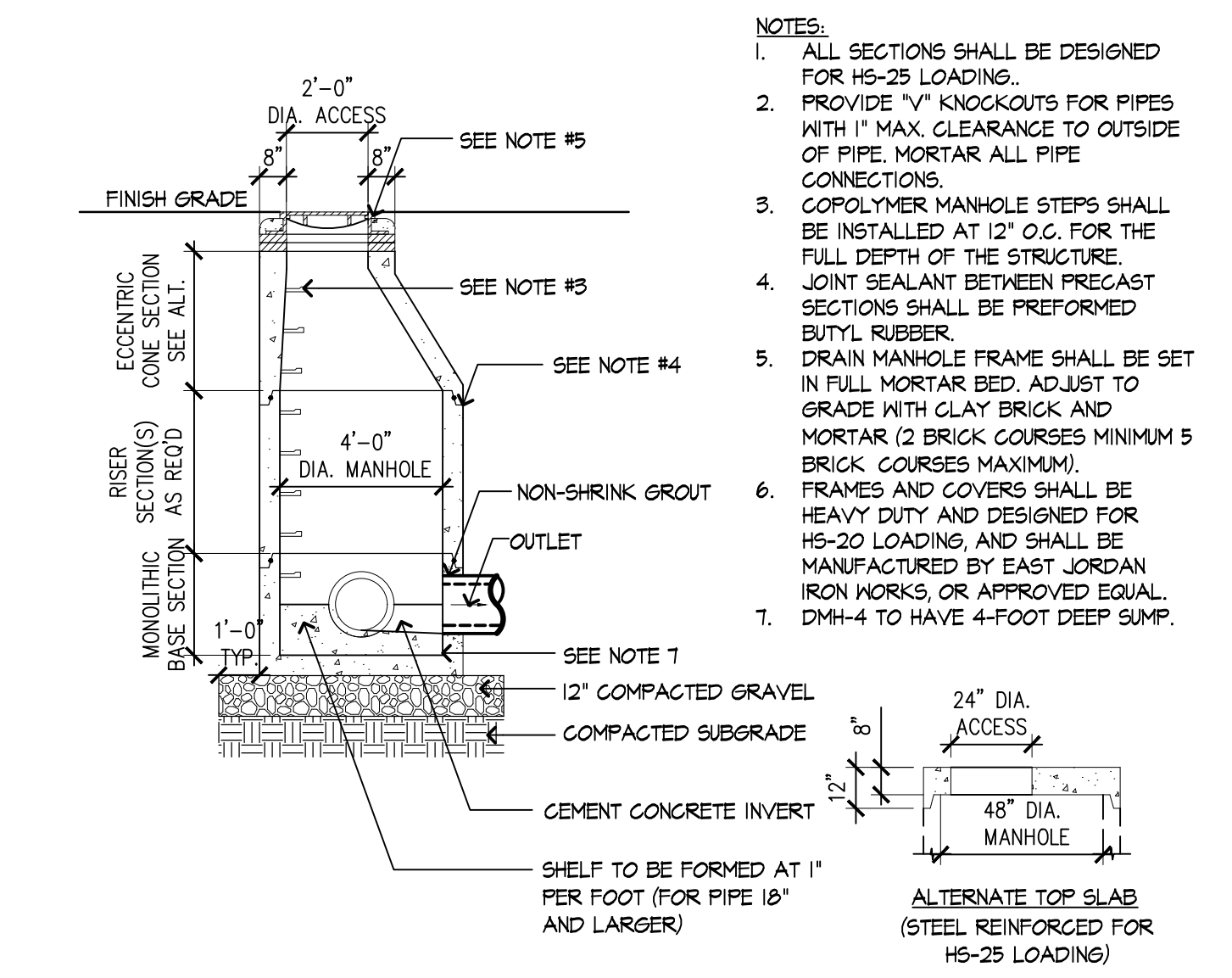
ORIGINAL ISSUE  
12/20/2021

SCALE:

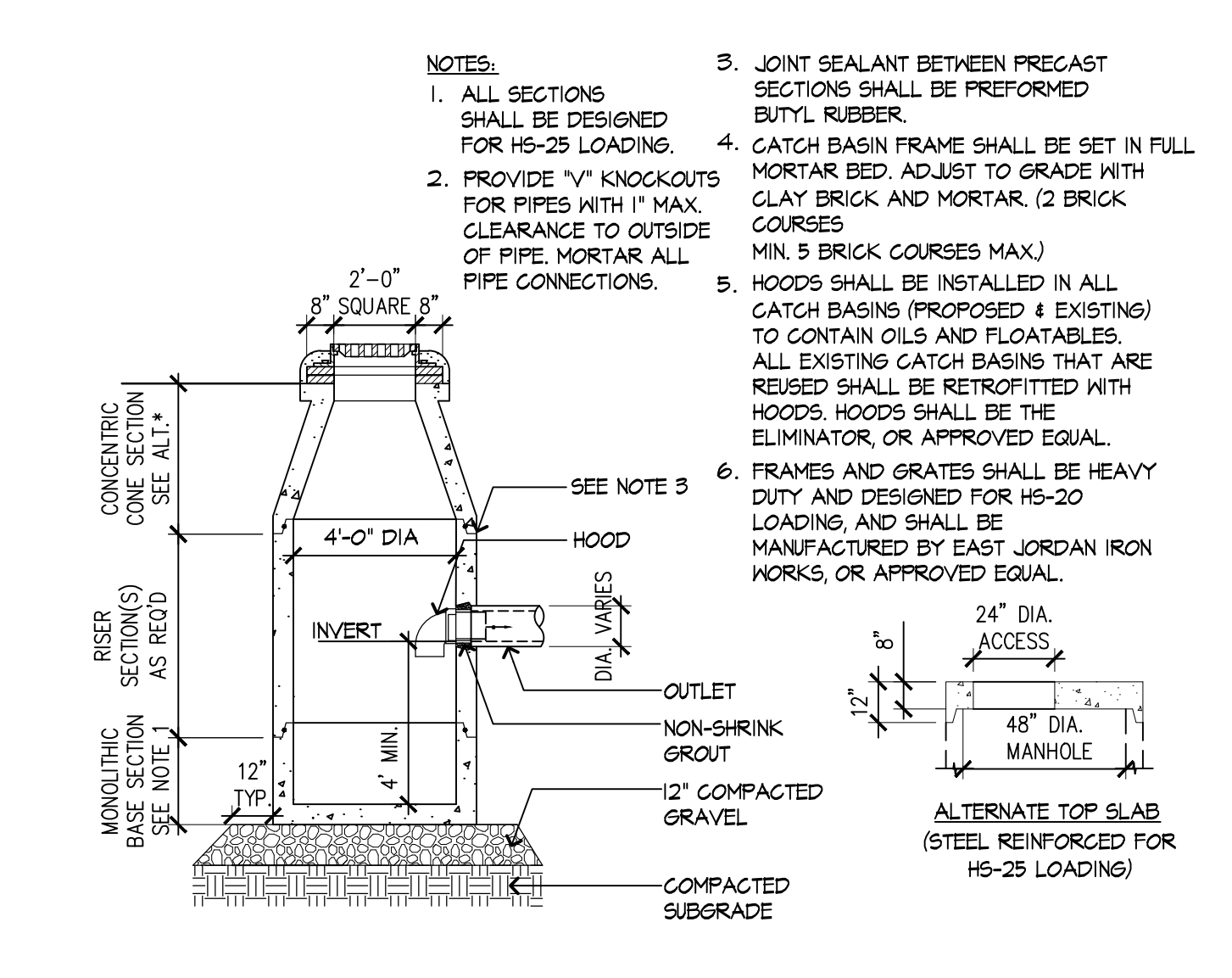
SITE DETAILS

L-601

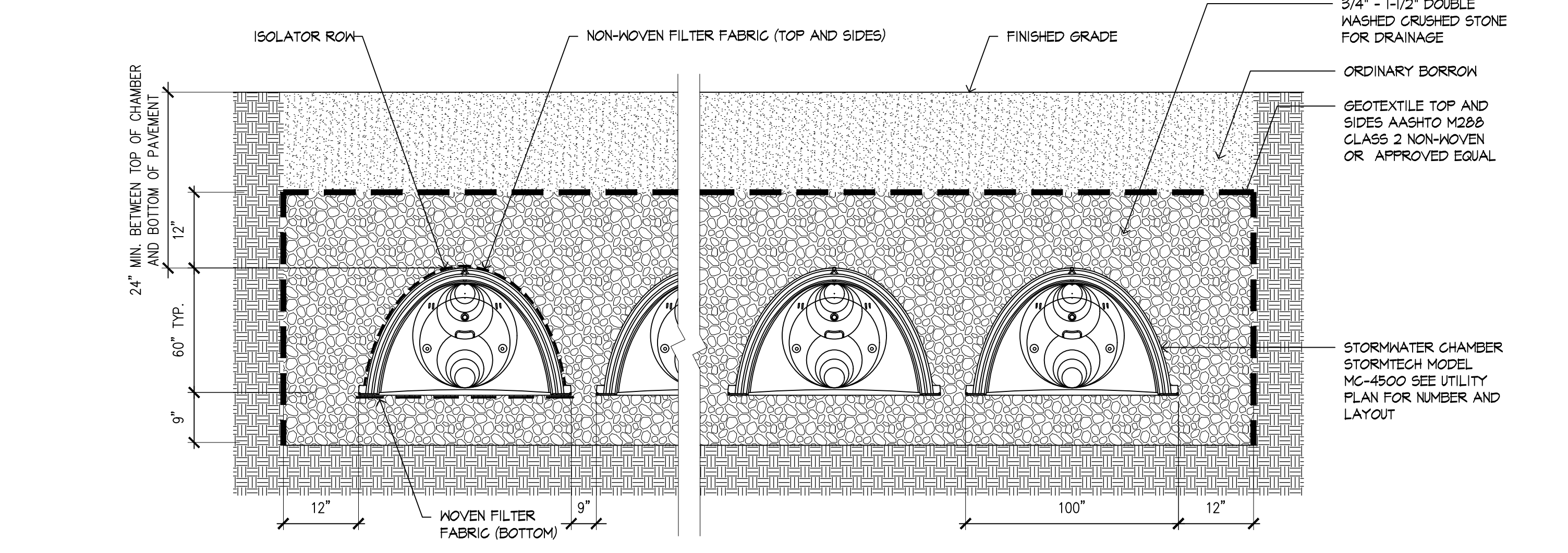
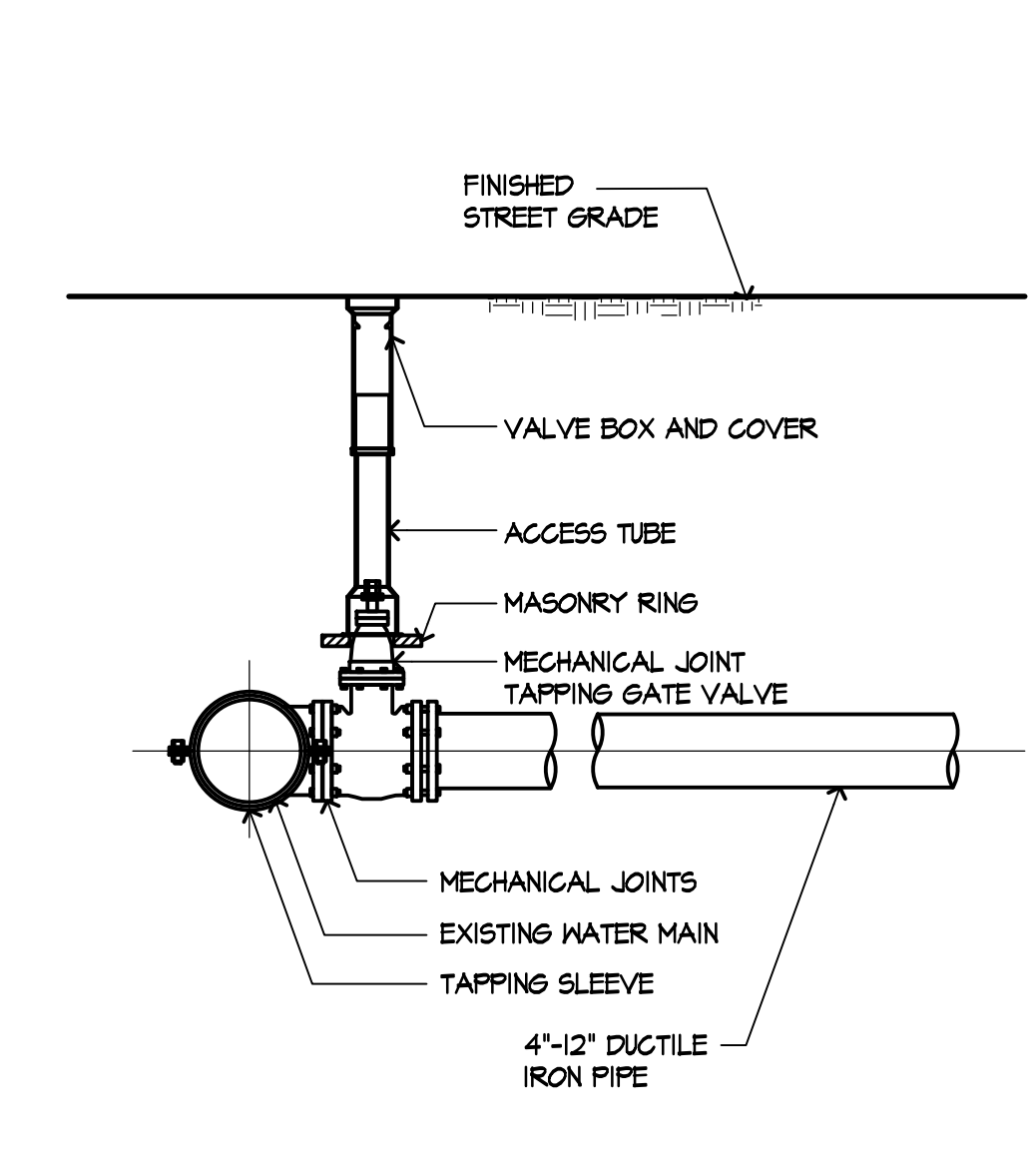




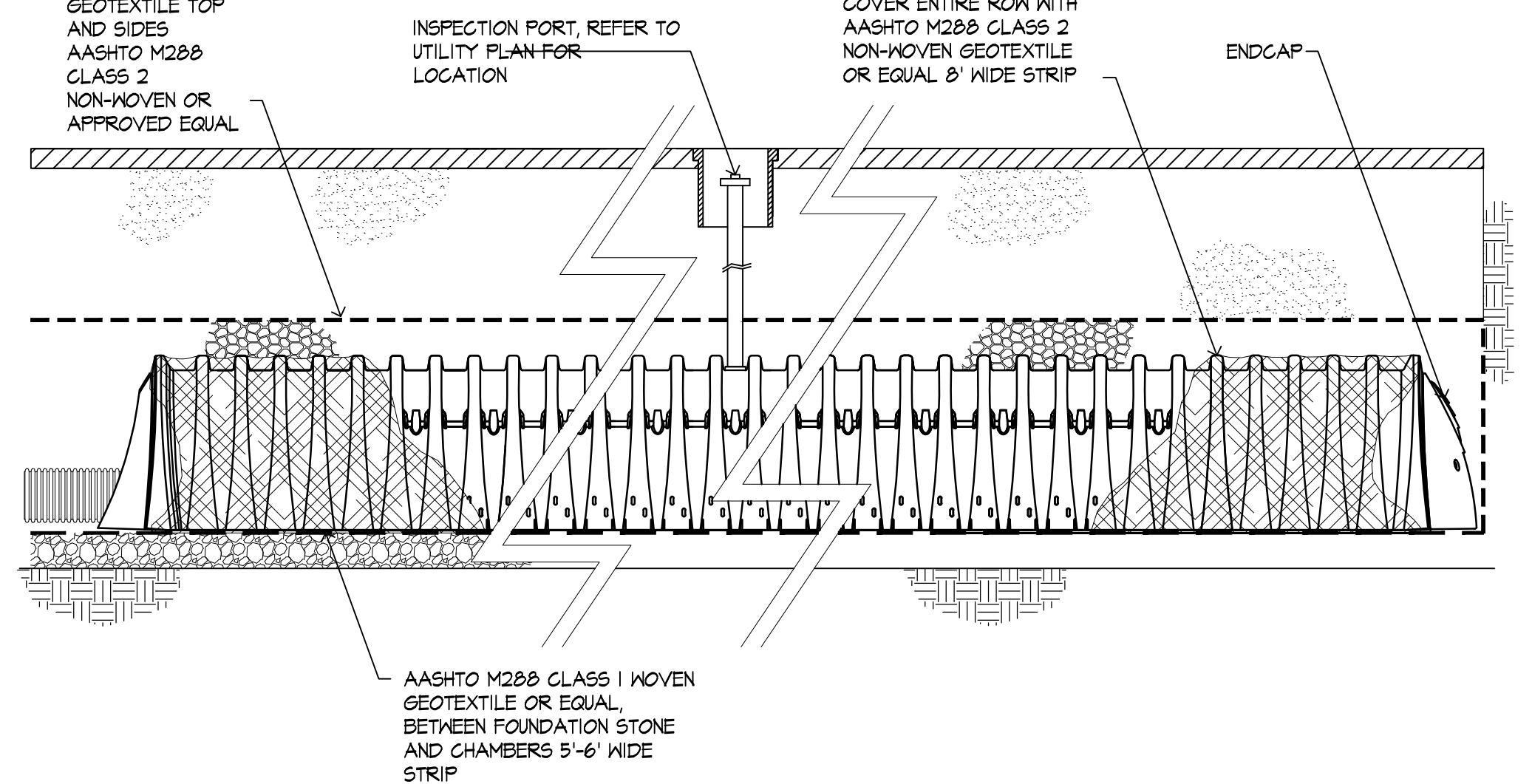
- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-25 LOADING.
  2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  3. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  5. DRAIN MANHOLE FRAME SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES MAXIMUM).
  6. FRAMES AND COVERS SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING, AND SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS, OR APPROVED EQUAL.
  7. DMH-4 TO HAVE 4-FOOT DEEP SUMP.



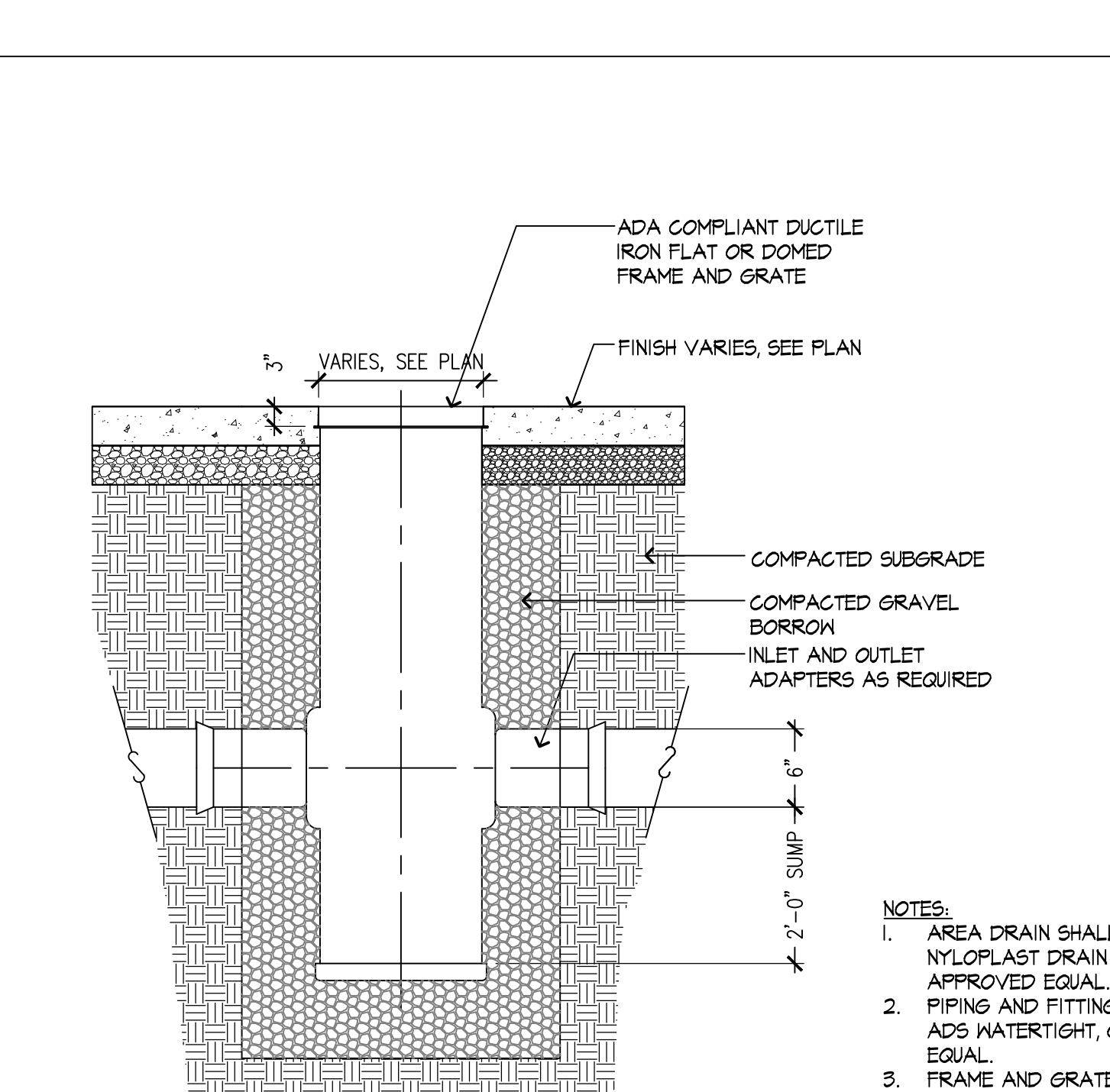
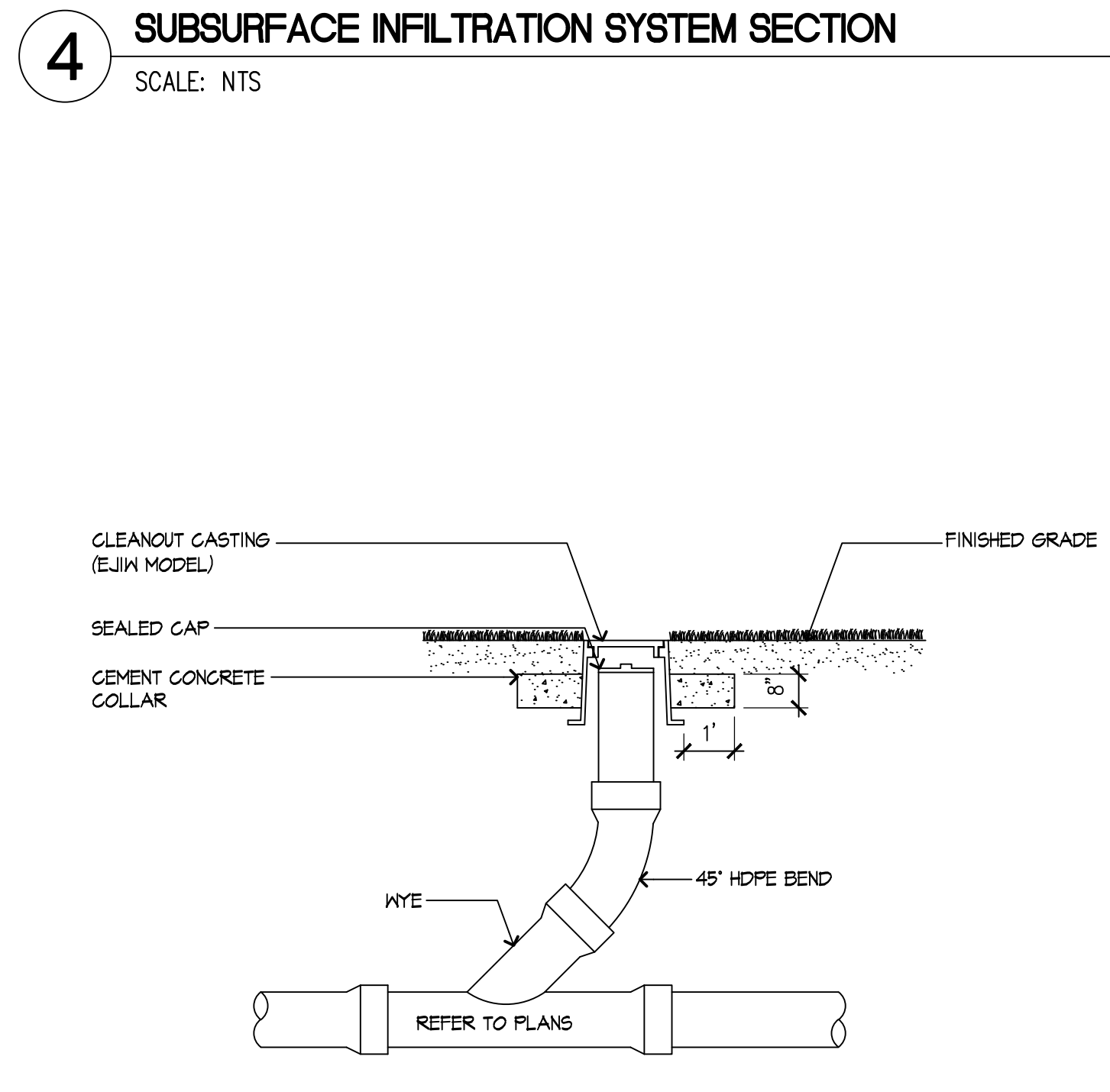
- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-25 LOADING.
  2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  4. CATCH BASIN FRAME SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES MAX).
  5. HOODS SHALL BE INSTALLED IN ALL CATCH BASINS (PROPOSED & EXISTING) TO CONTAIN OILS AND FLOATABLES. ALL EXISTING CATCH BASINS THAT ARE REUSED SHALL BE RETROFITTED WITH HOODS. HOODS SHALL BE THE ELIMINATOR, OR APPROVED EQUAL.
  6. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING, AND SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS, OR APPROVED EQUAL.



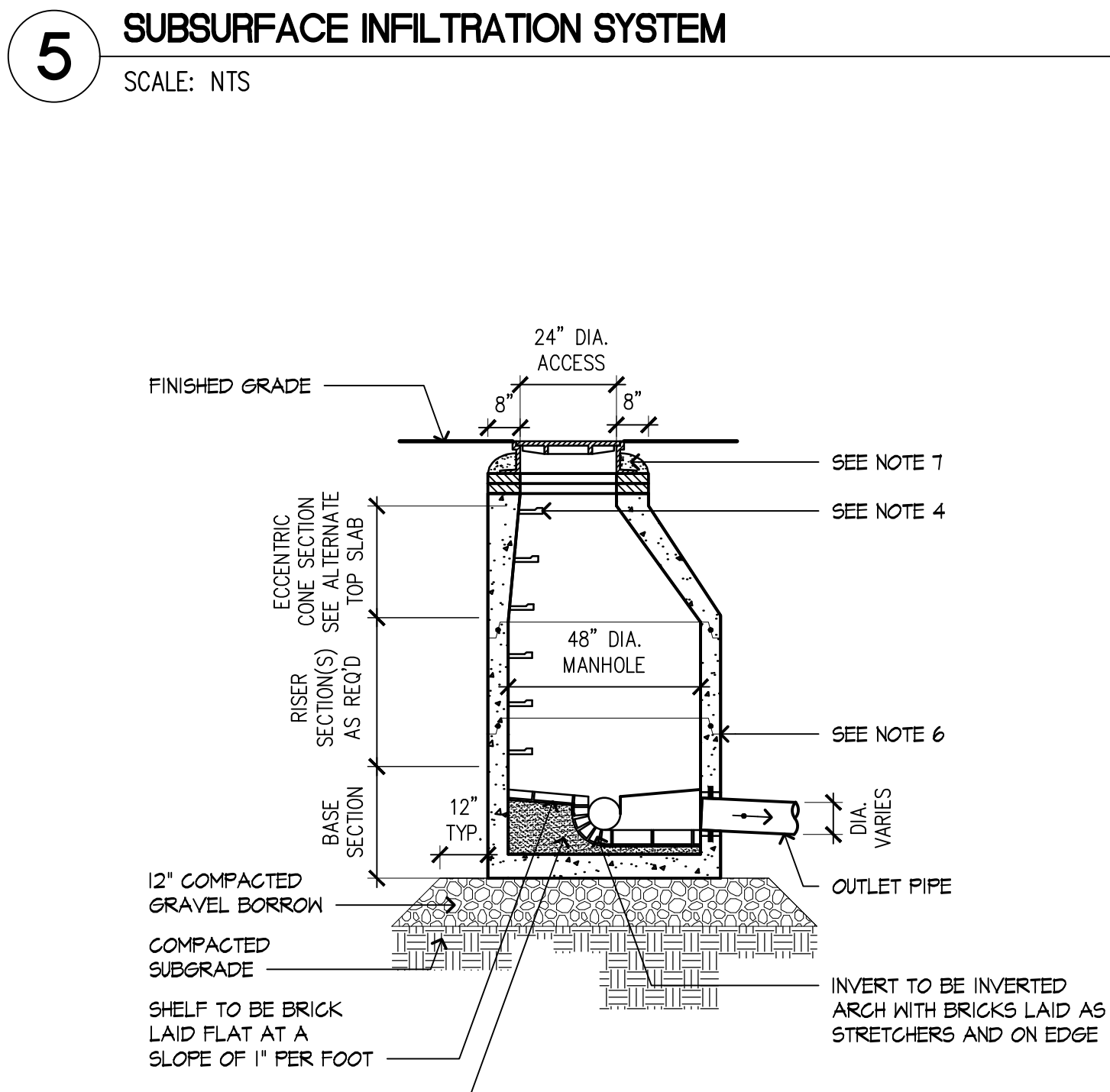
- NOTES:
1. ISOLATOR ROW
  2. NON-WOVEN FILTER FABRIC (TOP AND SIDES)
  3. FINISHED GRADE
  4. 3/4" - 1-1/2" DOUBLE WASHED CRUSHED STONE FOR DRAINAGE
  5. ORDINARY BORROW
  6. GEOTEXTILE TOP AND SIDES AASHTO M288 CLASS 2 NON-WOVEN OR APPROVED EQUAL
  7. STORMWATER CHAMBER STORMTECH MODEL MC-4500 SEE UTILITY PLAN FOR NUMBER AND LAYOUT
  8. MOVEN FILTER FABRIC (BOTTOM)



- NOTES:
1. GEOTEXTILE TOP AND SIDES AASHTO M288 CLASS 2 NON-WOVEN OR APPROVED EQUAL
  2. INSPECTION PORT, REFER TO UTILITY PLAN FOR LOCATION
  3. COVER ENTIRE ROW WITH AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE OR EQUAL 8' WIDE STRIP
  4. ENDGAP
  5. AASHTO M288 CLASS 1 WOVEN GEOTEXTILE OR EQUAL BETWEEN FOUNDATION STONE AND CHAMBERS 5'-6" WIDE STRIP



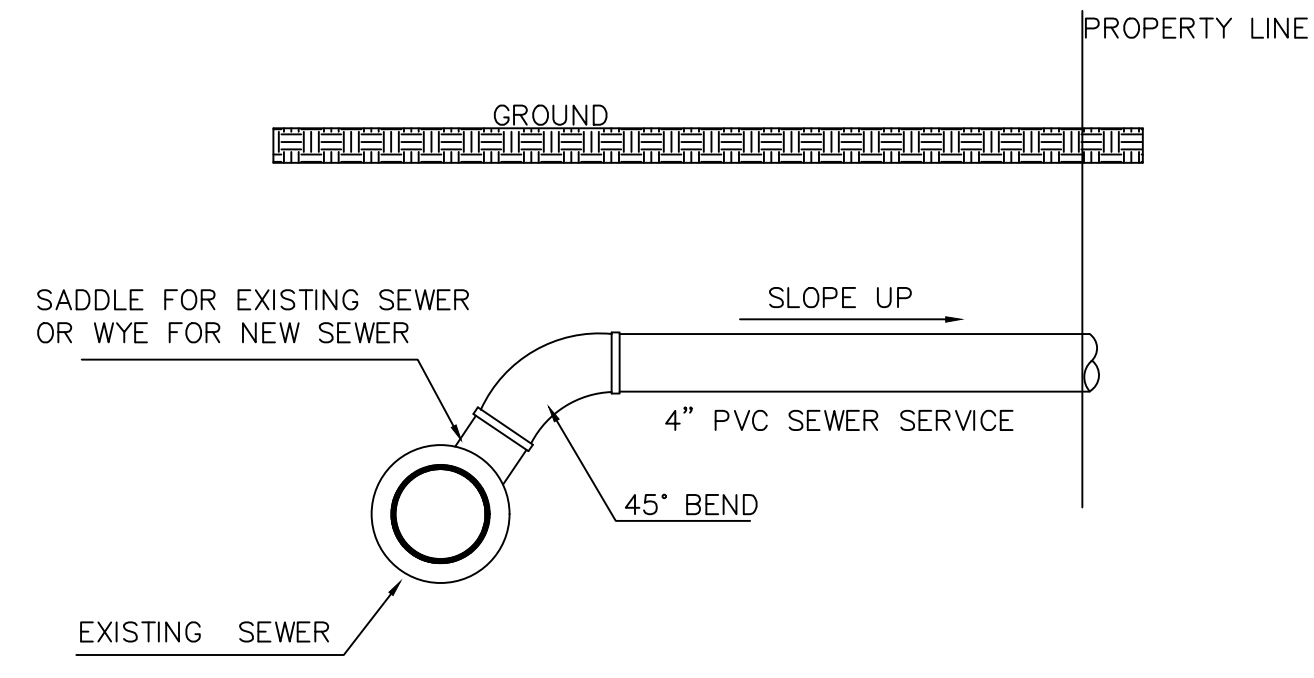
- NOTES:
1. AREA DRAIN SHALL BE NYLOPLAST DRAIN BASIN, OR APPROVED EQUAL.
  2. PIPING AND FITTINGS SHALL BE ADS WATERTIGHT, OR APPROVED EQUAL.
  3. FRAME AND GRATE SHALL BE HEAVY DUTY TYPE DESIGNED FOR HS-20 LOADING.



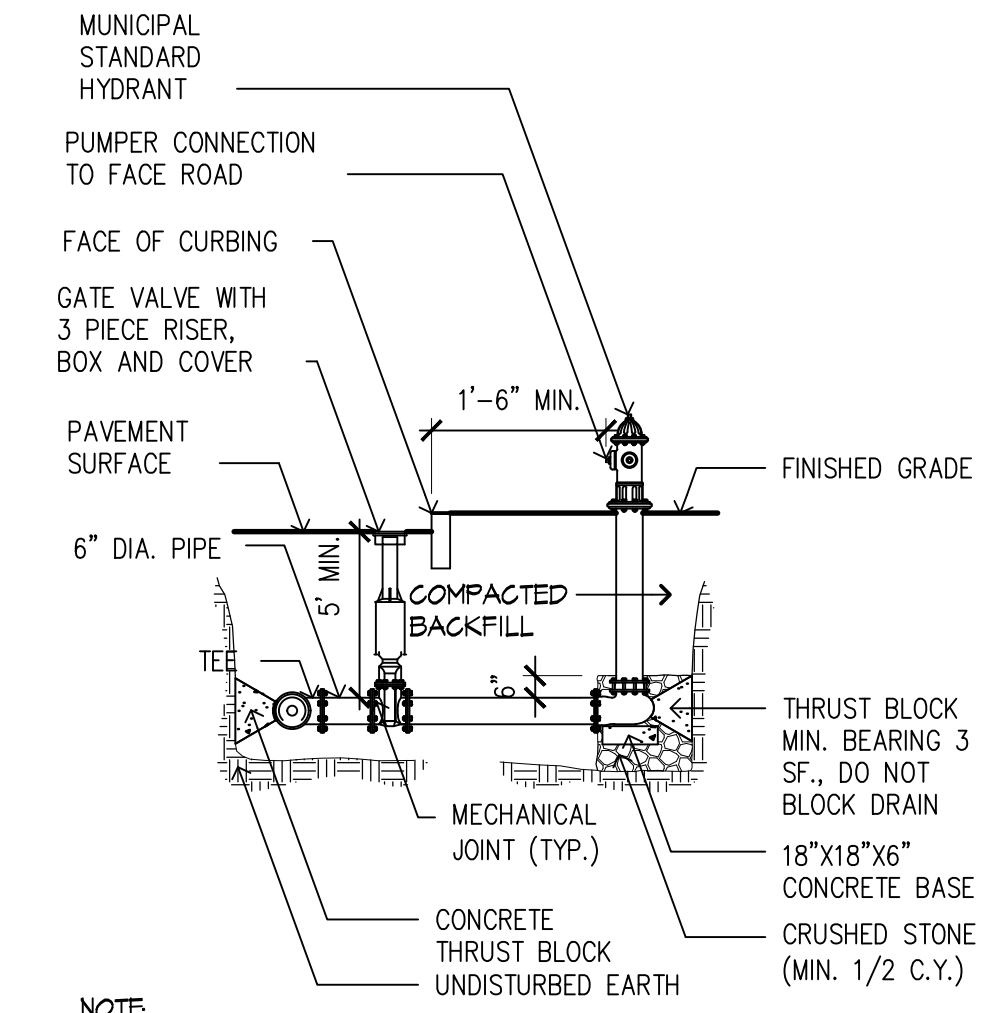
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH A 48" INSIDE DIAMETER.
  2. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  3. PRECAST CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  4. MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  5. ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
  6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  7. STANDARD SEWER MANHOLE FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

NO.	DATE	DESCRIPTION



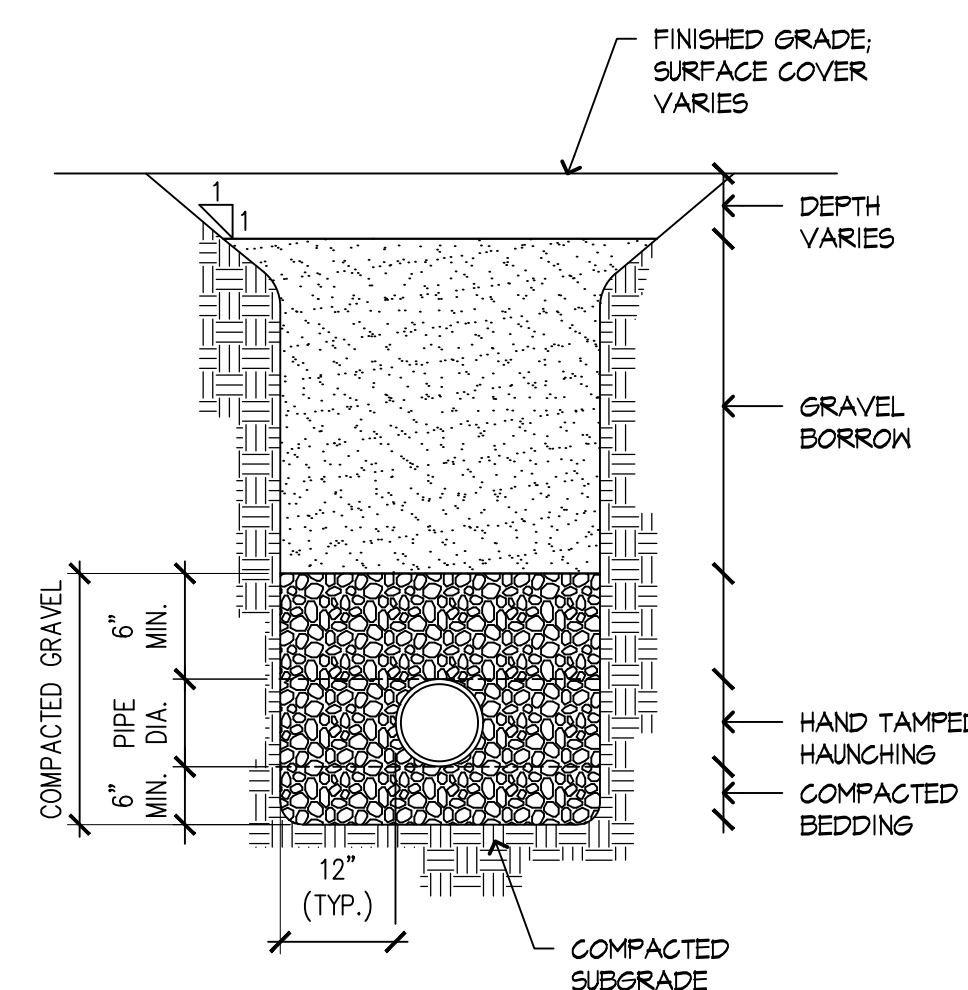


**1 SEWER SERVICE CONNECTION**  
SCALE: NTS REV

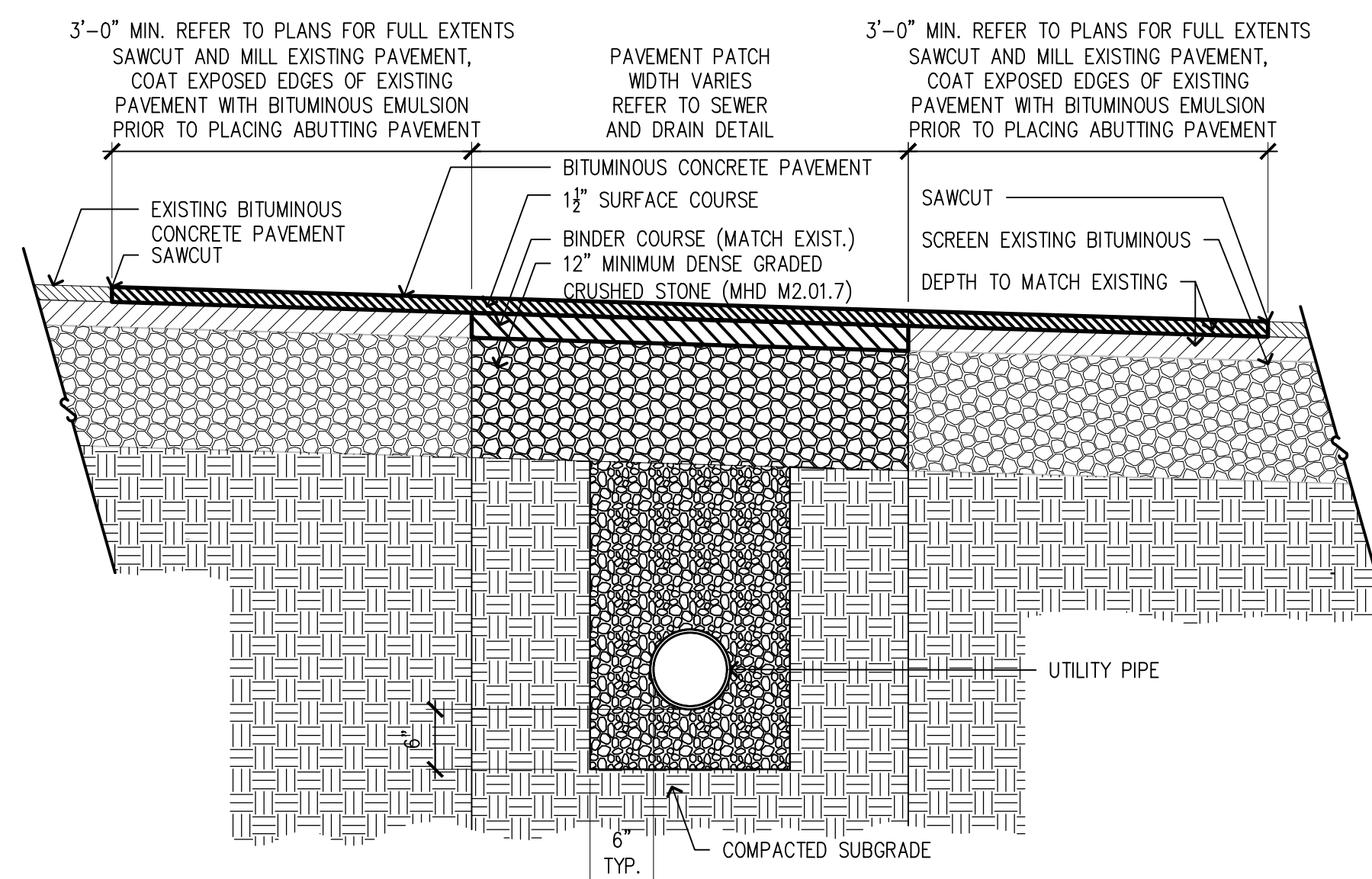


NOTE:  
1. CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.

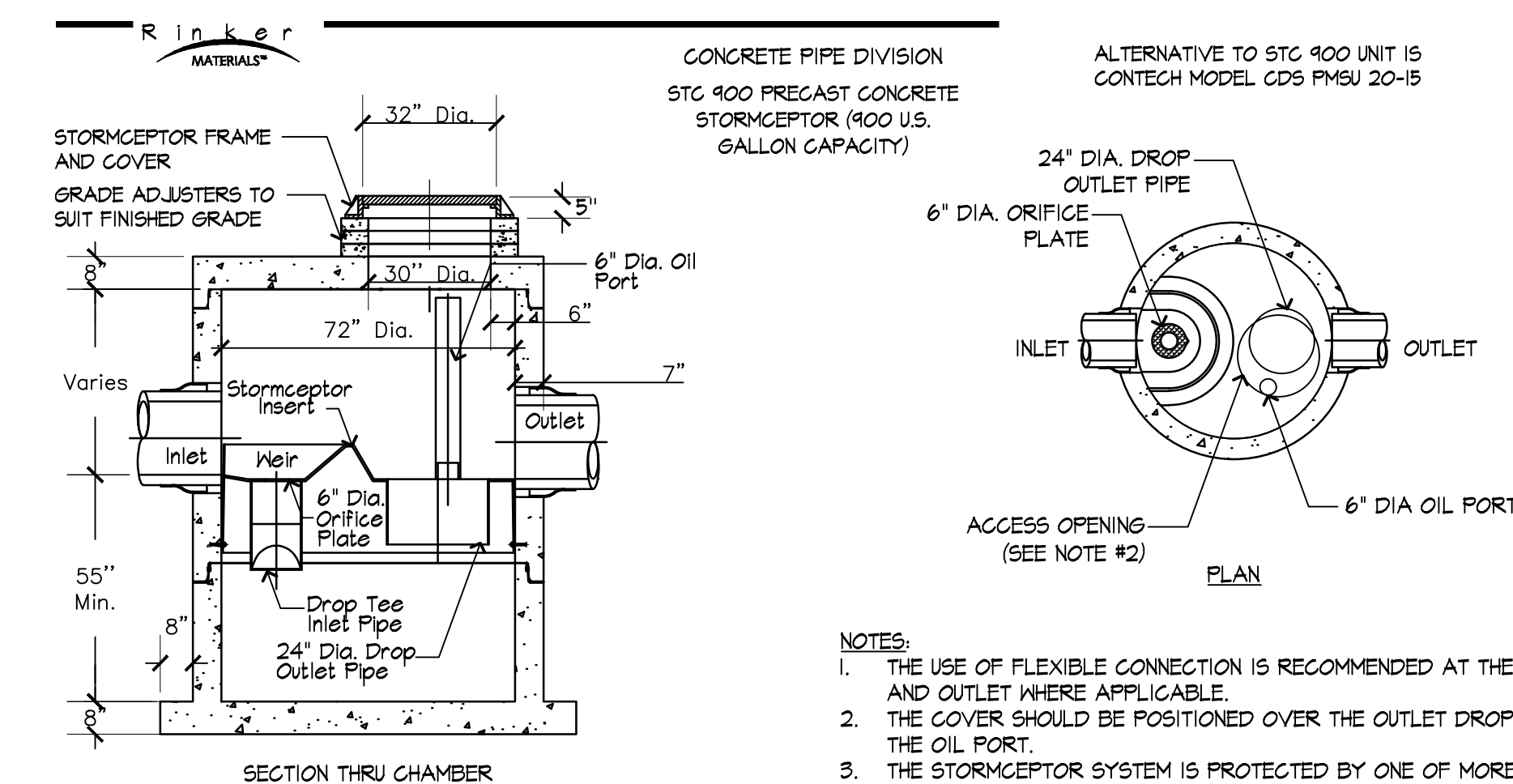
**2 HYDRANT CONNECTION**  
SCALE: NTS REV



**3 UTILITY TRENCH**  
SCALE: NTS REV



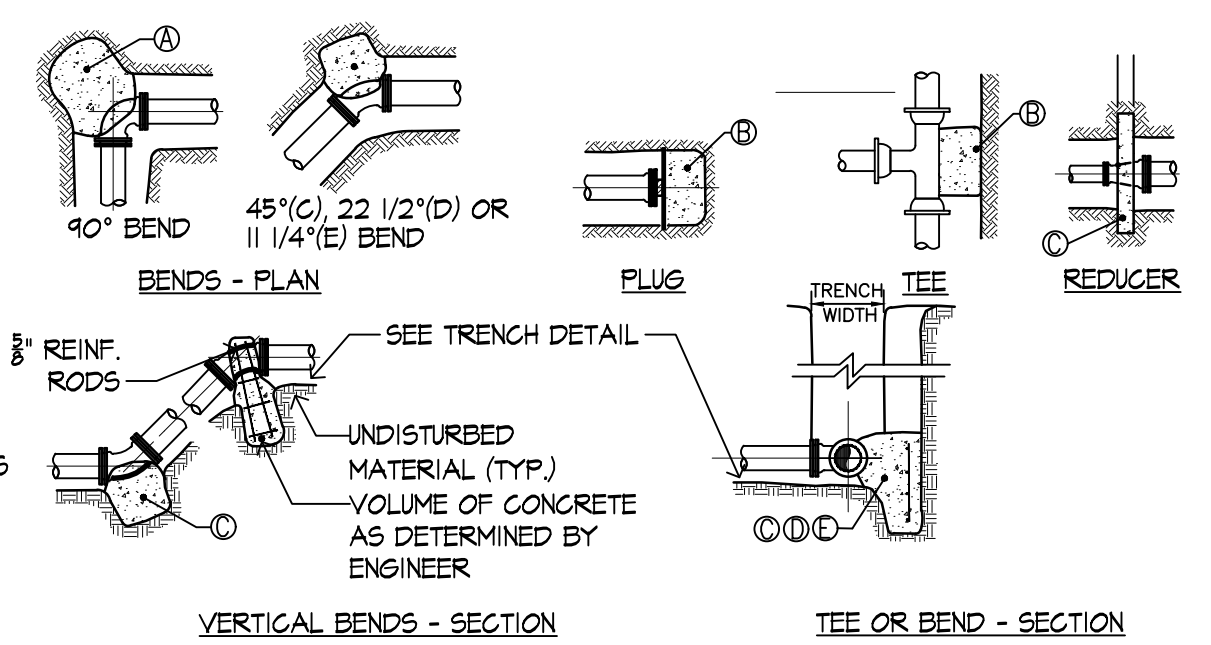
**4 UTILITY TRENCH AND PAVEMENT PATCH**  
SCALE: NTS REV



NOTES:  
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.  
2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.  
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OF MORE OF THE FOLLOWING U.S. PATENTS: #4485148, #5448231, #5125160, #5153115, #5244181, #6065165, AND #6271640.  
4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THE DRAWING.  
5. SEE TABLE 2 FOR INLET AND OUTLET PIPE SIZES.

**5 STORMCEPTOR 900**  
SCALE: NTS REV

- NOTES:  
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.  
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.  
3. PLACE SOLID CONCRETE BLOCKS IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCK.  
4. REQUIREMENTS OF THE ABOVE TABLE PRESUME MINIMUM SOIL BEARING OF 1 TON PER SQUARE FOOT, AND MAY BE VARIED BY THE ENGINEER TO MEET OTHER CONDITIONS ENCOUNTERED.  
5. MEGA-LUG RETAINER GLANDS ARE REQUIRED FOR ALL MECHANICAL JOINTS. THESE GLANDS DO NOT REDUCE THE REQUIREMENTS FOR THRUST RESTRAINT.  
6. ALL FITTINGS SHALL BE WRAPPED IN POLYETHYLENE OR BUILDING PAPER PRIOR TO INSTALLATION OF CONCRETE RESTRAINT.  
7. THREADED ROD SHALL BE ANSI A242 F150 PIPE RESTRAINT NUTS TO MATCH ANNA CIII. THREADED RODS AND NUTS TO BE FIELD COATED WITH BITUMINOUS PAINT.  
8. THRUST RESTRAINT IS REQUIRED FOR ALL TEES, BENDS, REDUCERS, CAPS, PLUGS, OR CROSSSES.  
9. INSTALL LIFT HOOKS INTO THRUST BLOCKS AT END CAPS AND PLUGS.

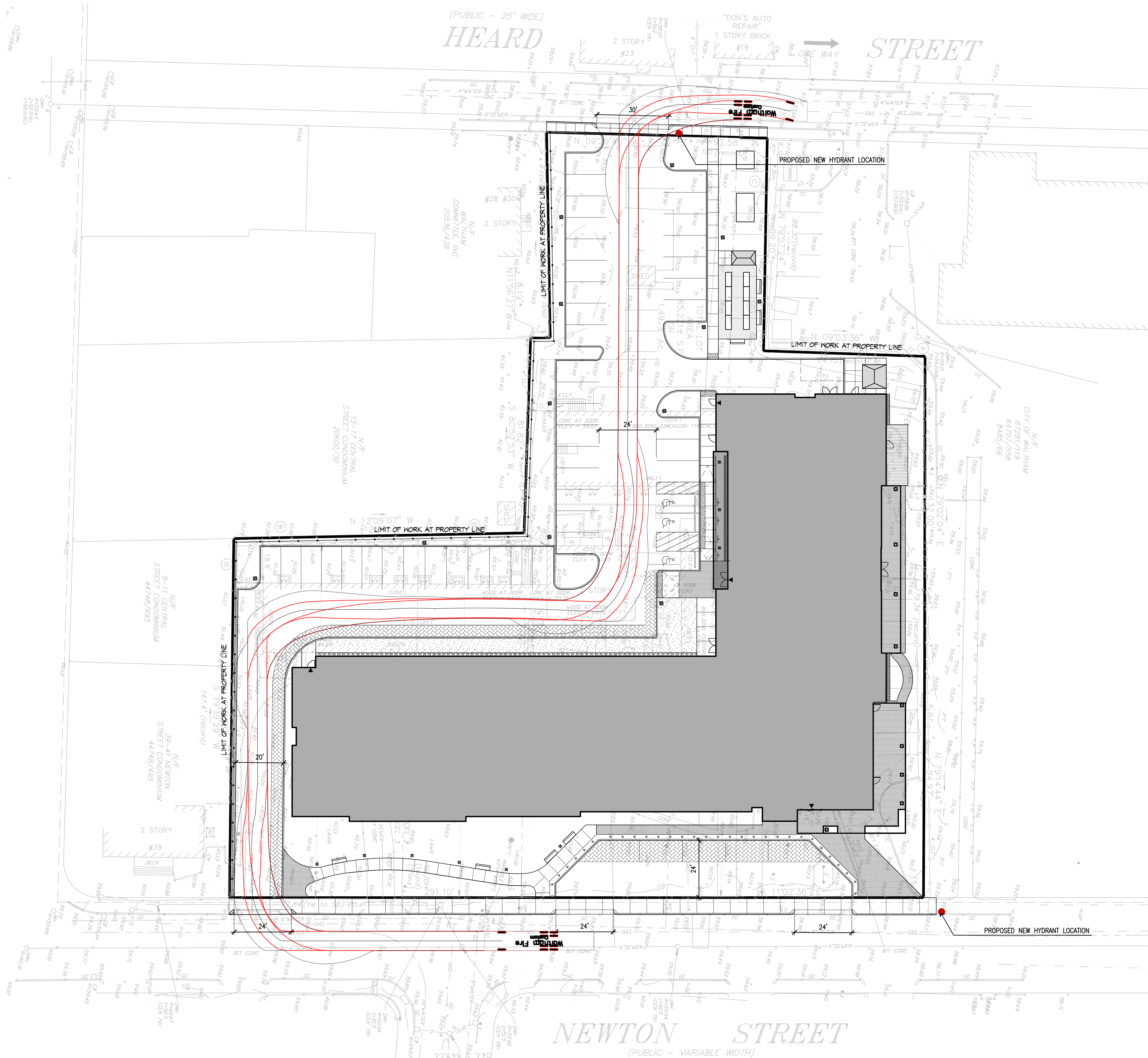


TYPE REACTION	PIPE SIZE	
	4"	8"
(A)	1.78	7.84
(B)	1.30	5.52
(C)	0.96	4.24
(D)	0.50	2.16
(E)	0.26	1.08

ABOVE DIMENSIONS ARE MINIMUM THRUST BLOCK SIZES. THEY HAVE BEEN CALCULATED USING A PRESSURE OF 200 PSI.  
TEST PRESSURE TO BE 150 PSI MIN, OR AS REQUIRED BY CITY OF NEWTON.

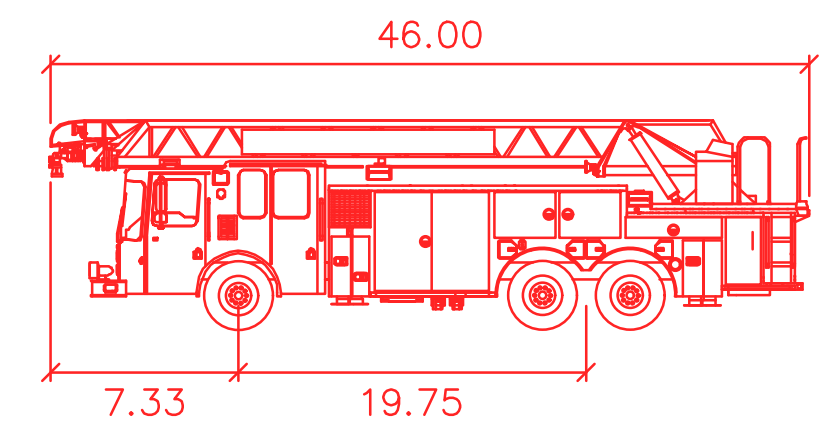
SQUARE FEET OF CONCRETE THRUST BLOCKING FOR OTHER TEST PRESSURES IS DIRECTLY PROPORTIONAL TO THE ABOVE TABLE. FOR INSTANCE, AT 225 PSI TEST PRESSURE ABOVE NUMBERS SHOULD BE MULTIPLIED BY 1.125 (225 PSI/200 PSI=1.125).

**6 THRUST BLOCK**  
SCALE: NTS



### LEGEND

- PROPERTY LINE
- UNIT PAVER
- UNIT PAVER- VEHICULAR
- COMPOSITE DECKING
- CEMENT CONCRETE PAVEMENT
- VERTICAL GRANITE CURB
- FLUSH GRANITE CURB
- PRECAST CONCRETE CURB
- INTEGRAL CONCRETE CURB
- LED POLE LIGHT
- LED BOLLARD LIGHT
- CEDAR BOARD FENCE (4' OR 6' HT, REFER TO PLAN)
- LANDSCAPED AREA
- BENCH



Waltham Fire

- feet
- Width : 8.07
- Track : 8.07
- Lock to Lock Time : 4.0
- Steering Angle : 39.9



ARCHITECT:  
PCA, INC.  
221 Hampshire Street  
Cambridge, MA 02139  
617-547-8120

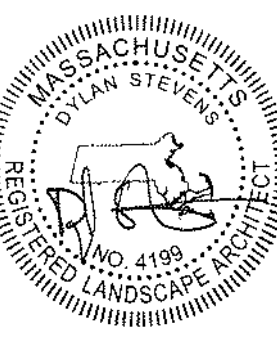
OWNER:  
2Lifs Development Inc.  
30 Wallingford Road  
Brighton, MA 02135  
617-912-8400

CIVIL/LANDSCAPE ENGINEER:  
Stantec Consulting  
226 Causeway Street, 6th floor  
Boston, MA 02114  
617-523-8103

## LELAND HOUSE COMP. PERMIT (M.G.L.C 40B)

21 NEWTON STREET, WALTHAM, MA 0 PCA PROJECT #: 21008.00

REVISIONS:	DESCRIPTION
02/14/2022 COMP PERMIT	



ORIGINAL ISSUE: 02/09/2022

SCALE:

FIRE DEPARTMENT EXHIBIT

### L-701

# EXISTING



1 EXISTING AERIAL VIEW  
SCALE: 1" = 40'-0"

# PROPOSED



2 PROPOSED AERIAL VIEW  
SCALE: 1" = 40'-0"

REVISIONS:  
02/09/2022 COMP PERMIT  
02/14/2022 COMP PERMIT



ORIGINAL ISSUE:  
12/20/2021

SCALE: 1" = 40'-0"

AERIAL  
PHOTOS

A1-01



UNIT MIX		
	1 BR	2 BR
LEVEL 1	14	0
LEVEL 2	26	1
LEVEL 3	26	1
<b>SUBTOTAL</b>	<b>66</b>	<b>2</b>
<b>TOTAL UNITS</b>	<b>68</b>	

AVG SF	
1 BR	645 SF
2 BR	862 SF



**LEVEL 2 FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**GROUND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
01	02/09/2022	COMP PERMIT
02	02/14/2022	COMP PERMIT

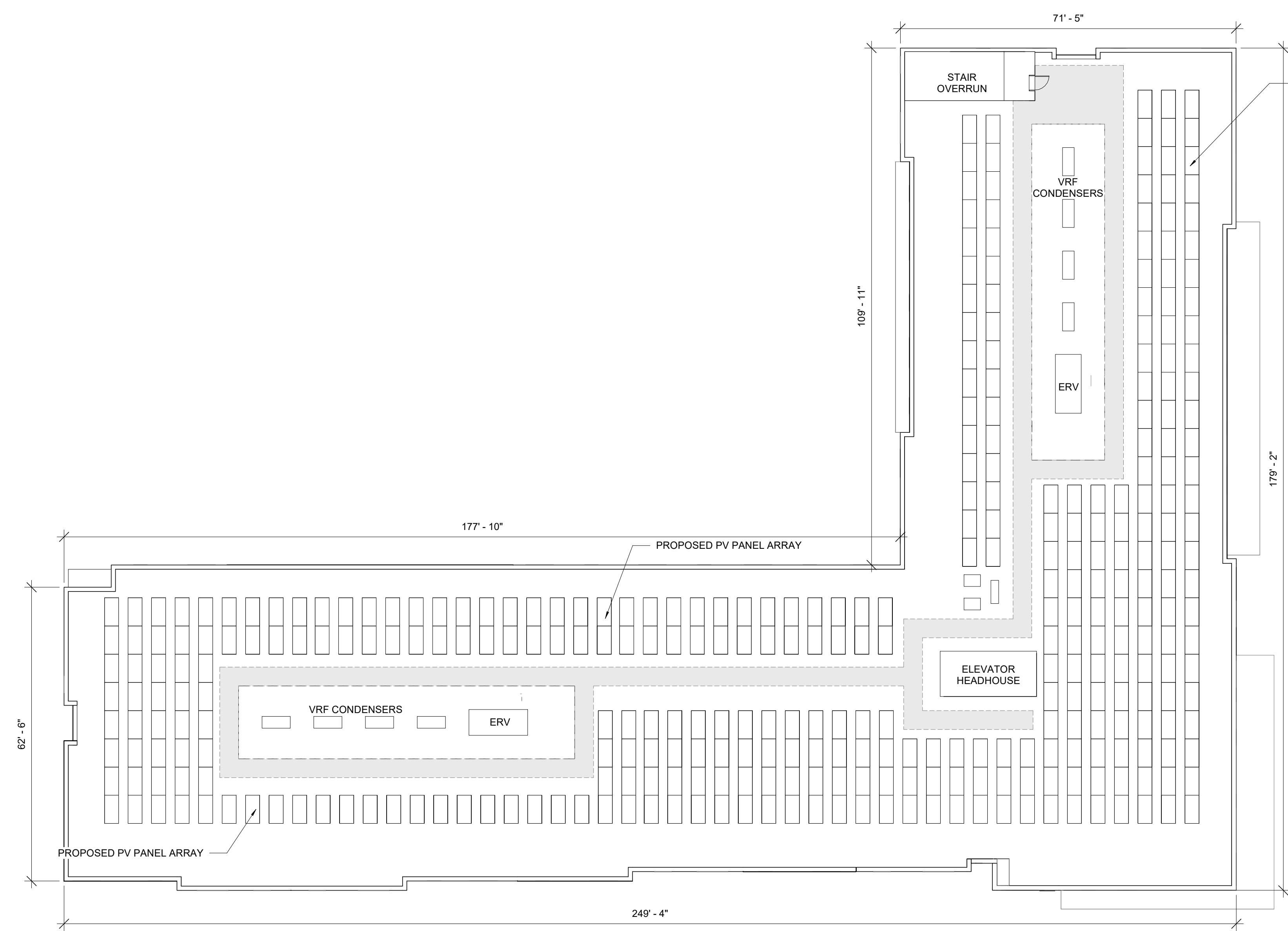


ORIGINAL ISSUE:  
12/20/2021  
SCALE: 1/16" = 1'-0"

FLOOR PLANS

UNIT MIX		
	1 BR	2 BR
LEVEL 1	14	0
LEVEL 2	26	1
LEVEL 3	26	1
<b>SUBTOTAL</b>	<b>66</b>	<b>2</b>
<b>TOTAL UNITS</b>	<b>68</b>	

AVG SF		
	1 BR	2 BR
	645 SF	
		862 SF



**ROOF FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**LEVEL 3 FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

REVISIONS:  
02/09/2022 COMP PERMIT  
02/14/2022 COMP PERMIT



ORIGINAL ISSUE:  
12/20/2021

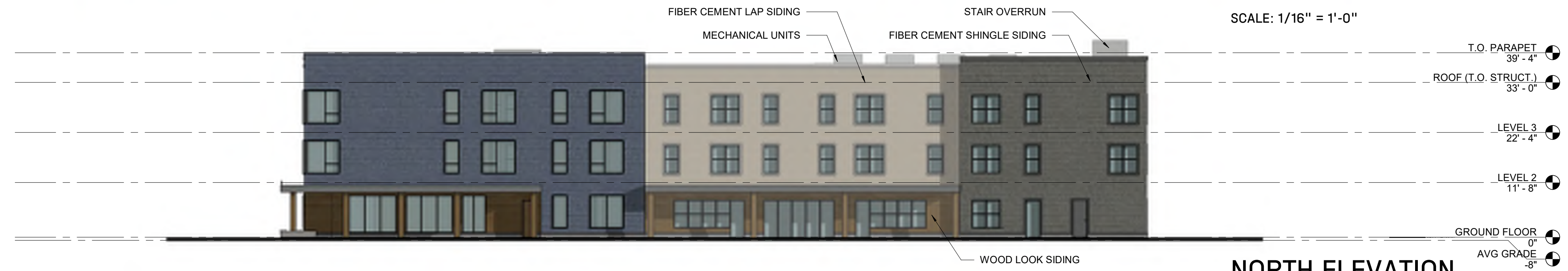
SCALE: 1/16" = 1'-0"

FLOOR PLANS



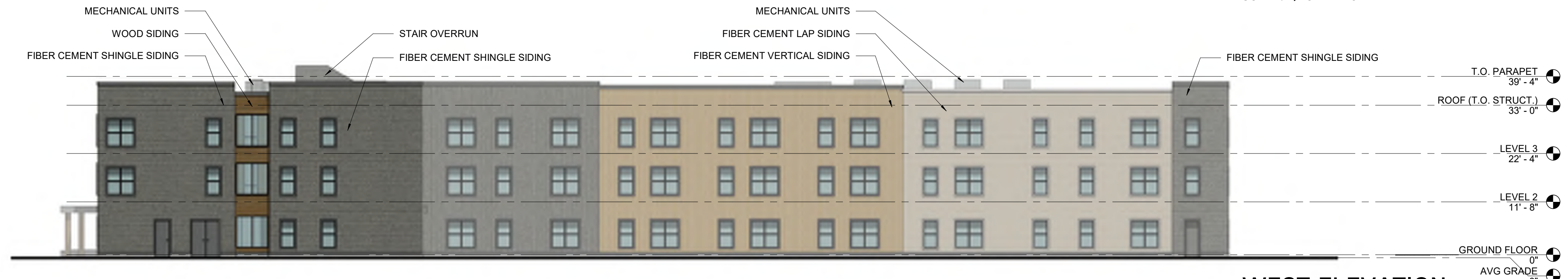
**EAST ELEVATION**

SCALE: 1/16" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



**WEST ELEVATION**

SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"

REVISIONS:  
 02/09/2022 COMP PERMIT  
 02/14/2022 COMP PERMIT



ORIGINAL ISSUE:  
12/20/2021

SCALE: 1/16" = 1'-0"

ELEVATIONS

A1-20