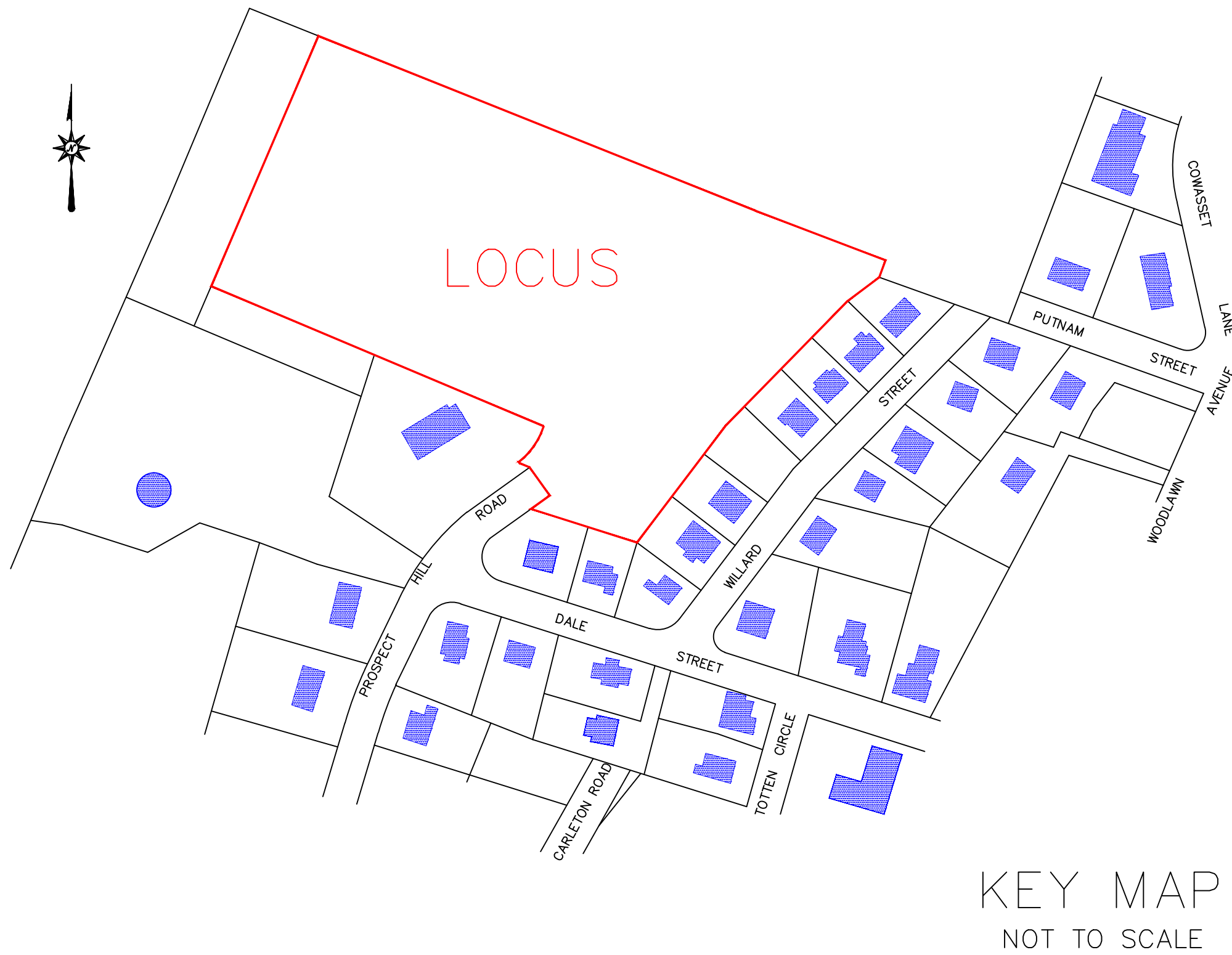


TITLE SHEET

PROSPECT HILL ROAD EXTENSION

DATE: SEPTEMBER 3, 2021



IN ACCORDANCE WITH THE PROVISIONS OF MASSACHUSETTS GENERAL LAW, CHAPTER 40A, SECTION 11, I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

CITY CLERK, WALTHAM, MA DATE

THIS PLAN HAS BEEN REVIEWED BY THE BOARD OF HEALTH OF WALTHAM.

WALTHAM BOARD OF HEALTH DATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVAL SUBJECT TO A COVENANT DATED _____ AND TO BE FILED HEREWITH.

DATE APPROVED

WALTHAM BOARD OF SURVEY AND PLANNING

CLERK OF THE BOARD OF SURVEY AND PLANNING

PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
ROBERT BIBBO, PLS
10 HAMMER STREET
WALTHAM, MA 02453
TEL: 781-891-0417
&
EDWARD T.T. CHIANG, PHD, PE
8 ALICE DRIVE
WAYLAND, MA 01778

OWNER/APPLICANT::
YOLANDA M. ANTICO
&
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
70 CHARLES RIVER ROAD
WALTHAM, MA 02453

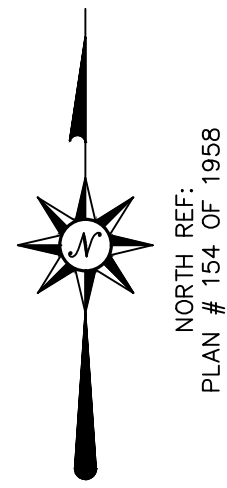
LEGAL COUNSEL:
PHILIP B. MCCOURT JR., ESQ.
15 CHURCH STREET
WALTHAM, MA 02452

SHEET LISTING

1. TITLE SHEET
2. ABUTTERS PLAN
3. EXISTING LOT LAYOUT PLAN
4. ROAD EXTENSION PLAN
5. CONTOUR PLAN
6. ROAD, UTILITIES AND DETAIL

81R WAIVERS REQUESTED

- 3.2.2.3 LOCATION OF SOIL TEST PITS.
- 3.2.3.1. SOIL TEST PIT.
- 4.2.2.7 TO ALLOW FILLETS (STREET LINE CURB RADII) AND TO ALLOW ENTRANCE TO THE ROAD TO BE CONSTRUCTED AS SHOWN ON THE PLAN.
- 4.2.2.8 DEAD ENDS (CUL-DE-SAC)
- 4.2.2.8.1 TO ALLOW CONSTRUCTION OF THE ROAD TO BE 40 FEET AS SHOWN ON THE PLAN WITHOUT A CUL-DE-SAC.
- 4.2.2.9.2 TO ALLOW NO STREET LIGHTING IN THE ROAD LAYOUT.
- 4.2.3 (C) REDUCE 30 FOOT PAVEMENT TO A MINIMUM OF 15 FEET ON THE ROAD AND TO ALLOW THE WIDTH OF THE ROAD TO BE CONSTRUCTED AS SHOWN ON THE PLAN.
- 4.3.5 TO ALLOW CONSTRUCTION OF THE ROAD AS SHOWN ON THE PLAN WITHOUT SIGHT OBSTRUCTION LIMITING EASEMENTS.
- 4.4 TO ALLOW CONSTRUCTION OF THE SUBDIVISION AS SHOWN ON THE PLAN WITHOUT OPEN SPACE.
- 5.11 FIRE ALARM SYSTEM.
- 5.12 TREES AND VEGETATION – NONE TO BE PLACED IN ROADWAY.
- 5.4.1 REDUCE THE 50 FOOT CROSS SECTION TO A MINIMUM OF 40 FEET ON THE ROAD AS SHOWN ON THE PLAN.
- 5.4.5 (C) REDUCE THE 50 FOOT WIDTH TO A MINIMUM OF 40 FEET ON THE ROAD.
- 5.4.7 TO ALLOW THE BITUMINOUS PAVEMENT REQUIRED OF 4 1/2" AND 3 COURSES NOT TO BE USED, AND TO ALLOW EXISTING BITUMINOUS PAVEMENT.
- 5.6.1 TO ALLOW NO SIDEWALKS OR GRASS STRIPS ON EITHER SIDE OF THE ROAD.
- 5.7 NO MONUMENTS TO BE PLACED.
- 5.8 TO ALLOW NO CURBS OR BERMS ON THE ROAD EXCEPT AS SHOWN ON THE PLAN.



ADDRESS:
0 PROSPECT HILL ROAD
RECORD OWNER:
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
&
YOLANDA M. ANTICO

DEED REFERENCE:
BOOK 74316 PAGE 405
BOOK 78508 PAGE 207

PLAN REFERENCE:
PLAN 629 OF 2021

THE PROPERTY SHOWN ON THIS PLAN
IS IN FLOOD ZONE "X" AND IS NOT IN THE
100 YEAR FLOOD PLAIN AS DESIGNATED
BY THE FLOOD INSURANCE
RATE MAP #25017C0413E &
25017C0394E DATED JUNE 4, 2010

LOCUS

OWNER/APPLICANT:
YOLANDA M. ANTICO
&
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
70 CHARLES RIVER ROAD
WALTHAM, MA 02453

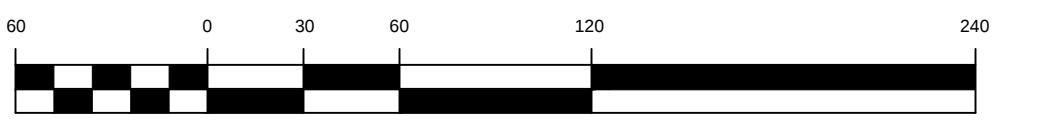
PROSPECT HILL ROAD EXTENSION ABUTTERS PLAN

0 PROSPECT HILL ROAD
WALTHAM, MA 02451

SCALE: 1" = 60' DATE: SEPTEMBER 3, 2021

PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
ROBERT BIBBO, PLS
10 HAMMER STREET
WALTHAM, MA 02453
TEL: 781-891-0417
&
EDWARD T.T. CHIANG, PHD, PE
8 ALICE DRIVE
WAYLAND, MA 01778

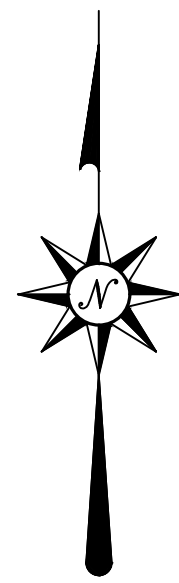
GRAPHIC SCALE



(IN FEET)
1 inch = 60 feet

ABUTTERS NAMES, ADDRESSES (NOW OR FORMER OWNERS)
AND HOUSES SHOWN ARE TAKEN FROM THE MOST RECENT
CITY OF WALTHAM ASSESSORS LIST AND ATLAS.

THE LOCUS SHOWN IS LOCATED IN THE
RESIDENCE A-2 ZONING DISTRICT.



NORTH REFERENCE:
PLAN 154 OF 1956

LEGEND:
SBDH = STONE BOUND WITH DRILL HOLE

ADDRESS:
0 PROSPECT HILL ROAD

RECORD OWNER:
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
&
YOLANDA M. ANTICO

DEED REFERENCE:
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BOOK 78508 PAGE 207

PLAN REFERENCE:
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RATE MAP #25017C0413E &
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CITY CLERK, WALTHAM, MA DATE

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WALTHAM BOARD OF HEALTH DATE

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RULES AND REGULATIONS OF THE REGISTER
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PROFESSIONAL LAND SURVEYOR

APPROVAL SUBJECT TO A COVENANT
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HEREWITH.

DATE APPROVED

WALTHAM BOARD OF SURVEY AND PLANNING

CLERK OF THE BOARD OF SURVEY
AND PLANNING

OWNER/APPLICANT:
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70 CHARLES RIVER ROAD
WALTHAM, MA 02453

PROSPECT HILL ROAD EXTENSION EXISTING LOT

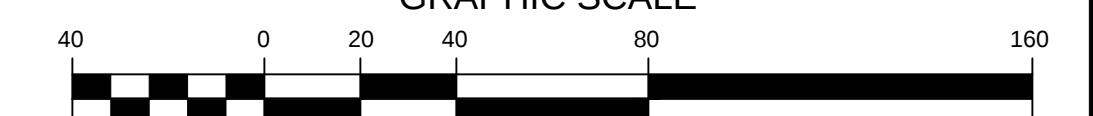
0 PROSPECT HILL ROAD
WALTHAM, MA 02451

SCALE: 1" = 40' DATE: SEPTEMBER 3, 2021

PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
ROBERT BIBBO, PLS
10 HAMMER STREET
WALTHAM, MA 02453
TEL: 781-891-0417

&
EDWARD T.T. CHIANG, PHD, PE
8 ALICE DRIVE
WAYLAND, MA 01778

GRAPHIC SCALE



(IN FEET)
1 inch = 40 feet

SHEET 3 OF 6



NORTH REFERENCE:
PLAN 154 OF 1956

N/F
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA. 02452
30,012±S.F.

N/F
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA. 02452

N/F
PROSPECT HILL PARK
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA. 02452

LOT A
218,234±S.F.
OR 5.01 AC.

N/F
AUDREY E. & KENNETH W.
SENIOR

N/F
309 DALE ST
REALTY TRUST

N/F
ALASTAIR
MOUBRAY

N/F
ROGER M. BINGGELI &
MELANIE C. MACBETH

N/F
ANGELIE LEMONIAS
TRUST

N/F
JOHN J. GRIMES, JR.

N/F
JOHN J. GRIMES, JR.

N/F
JOHN J. GRIMES, JR.

N/F
JOHN A. &
JULIA M. DECOLA

N/F
ANTHONY M. &
TRACY A. ROMANO

N/F
ROSETTE JACOBSON-ANTICO
& ANTHONY J. ANTICO

N/F
ROSETTE JACOBSON-ANTICO
& ANTHONY J. ANTICO

N/F
ROSETTE JACOBSON-ANTICO
& ANTHONY J. ANTICO

N/F
ROSETTE JACOBSON-ANTICO
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N/F
ROSETTE JACOBSON-ANTICO
& ANTHONY J. ANTICO

N/F
ROSETTE JACOBSON-ANTICO
& ANTHONY J. ANTICO

LEGEND:
SBDH = STONE BOUND WITH DRILL HOLE
OHW = OVERHEAD WIRES
UP = UTILITY POLE
SMH = SEWER MANHOLE
WG = WATER GATE
MH = MANHOLE
HYD = FIRE HYDRANT

ADDRESS:
0 PROSPECT HILL ROAD

RECORD OWNER:
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
&
YOLANDA M. ANTICO

DEED REFERENCE:
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BOOK 78508 PAGE 207

PLAN REFERENCE:
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THE PROPERTY SHOWN ON THIS PLAN
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RATE MAP #25017C0413E &
25017C0394E DATED JUNE 4, 2010

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WALTHAM BOARD OF HEALTH DATE

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MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

APPROVAL SUBJECT TO A COVENANT
DATED AND TO BE FILED
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WALTHAM BOARD OF SURVEY AND PLANNING

CLERK OF THE BOARD OF SURVEY
AND PLANNING

OWNER/APPLICANT:
YOLANDA M. ANTICO
&
ANTHONY J. ANTICO &
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70 CHARLES RIVER ROAD
WALTHAM, MA 02453

PROSPECT HILL ROAD EXTENSION ROAD EXTENSION PLAN

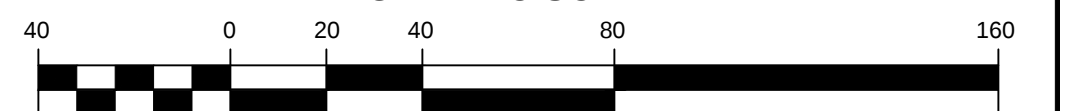
0 PROSPECT HILL ROAD
WALTHAM, MA 02451

SCALE: 1" = 40' DATE: SEPTEMBER 3, 2021
REVISED DATE: JANUARY 12, 2022

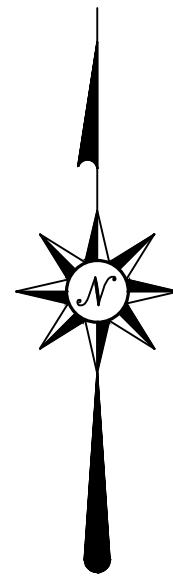
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&
EDWARD T.T. CHIANG, PHD, PE
8 ALICE DRIVE
WAYLAND, MA 01778

GRAPHIC SCALE



(IN FEET)
1 inch = 40 feet



NORTH REFERENCE:
PLAN 154 OF 1958

N/F
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA. 02452
30,012±S.F.

N/F
PROSPECT HILL PARK
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA. 02452

N/F
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA. 02452
30,012±S.F.

N/F
CITY OF WALTHAM
610 MAIN STREET
WALTHAM, MA 02452

LEGEND:
SBDH = STONE BOUND WITH DRILL HOLE
OHV = OVERHEAD WIRES
UP = UTILITY POLE
SMH = SEWER MANHOLE
WG = WATER GATE
MH = MANHOLE
HYD = FIRE HYDRANT

PROSPECT HILL ROAD
(40' WIDE - PRIVATE)

DALE STREET
(40' WIDE - PUBLIC)

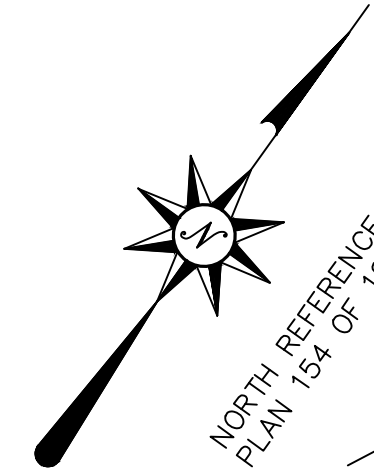
ADDRESS:
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RECORD OWNER:
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YOLANDA M. ANTICO

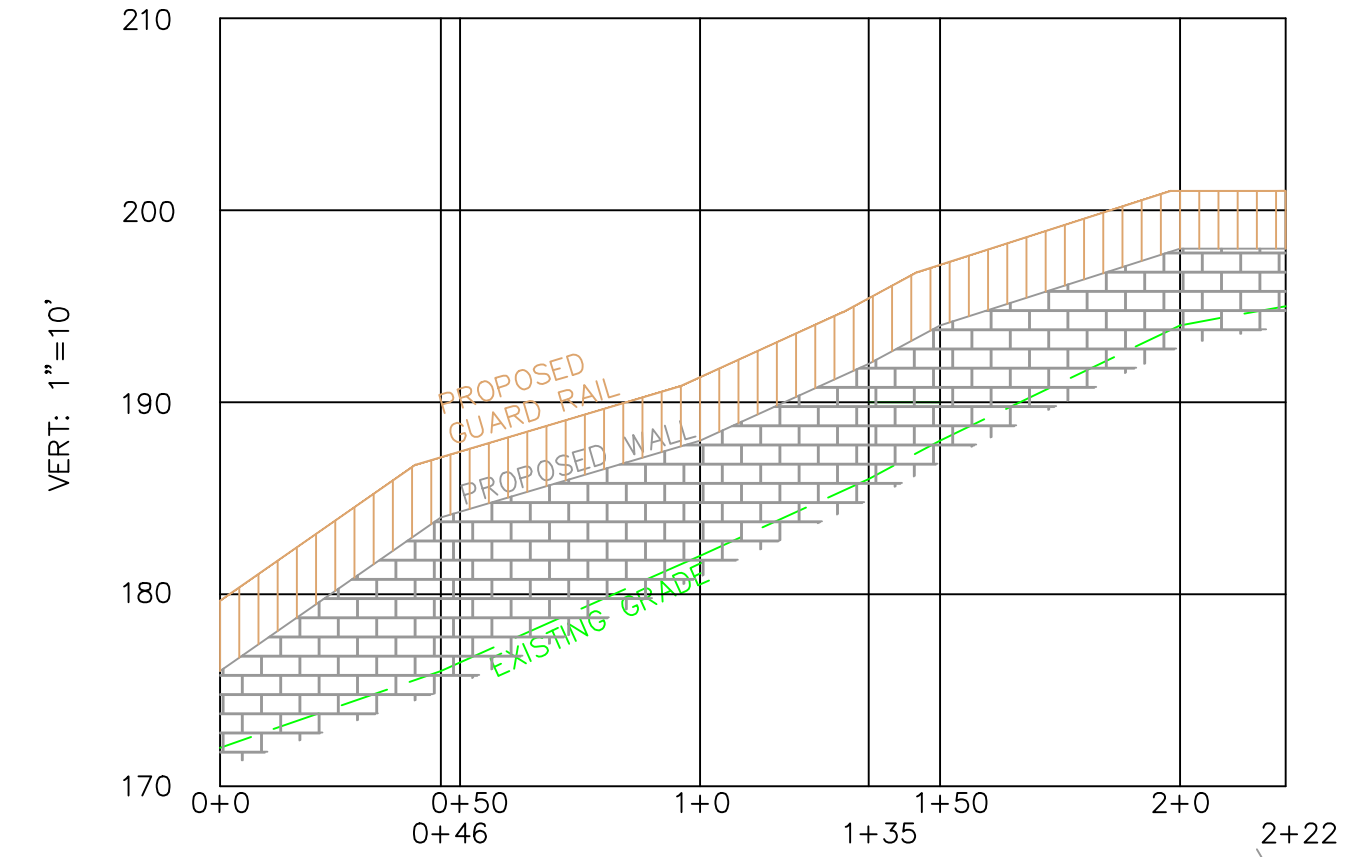
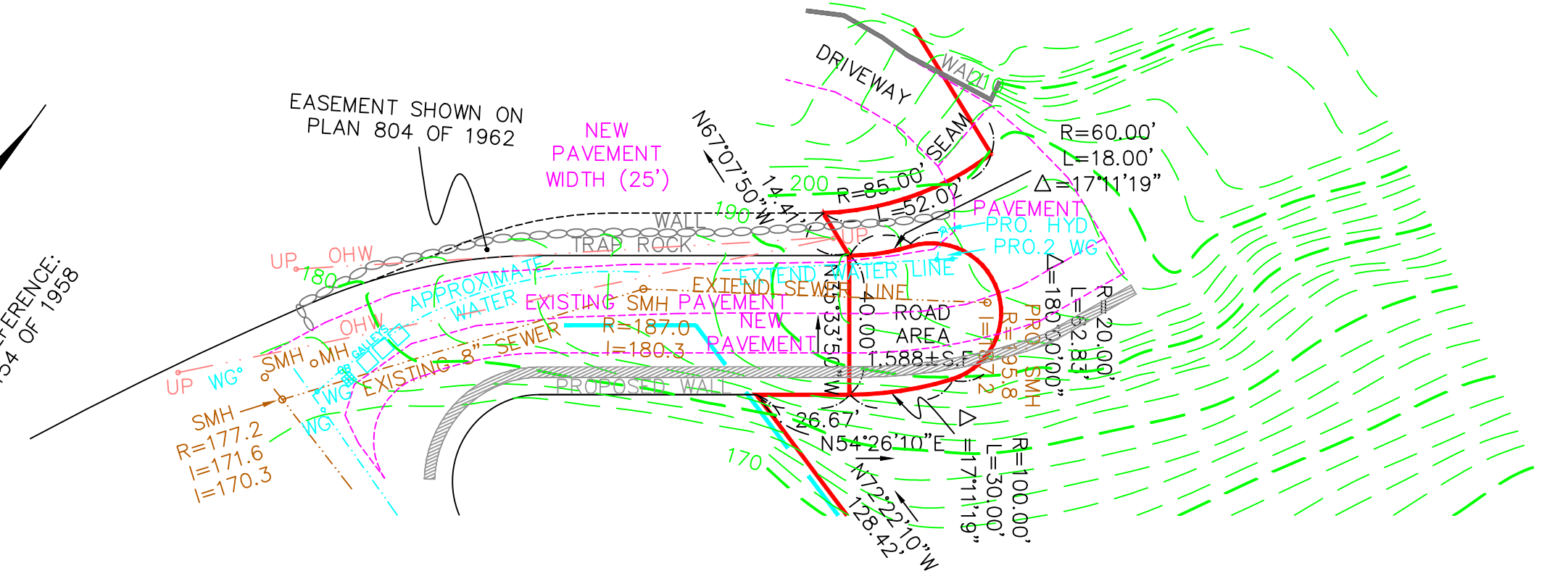
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BOOK 78508 PAGE 207

PLAN REFERENCE:
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THE PROPERTY SHOWN ON THIS PLAN
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RATE MAP #25017C0413E &
25017C0394E DATED JUNE 4, 2010



NORTH REFERENCE:
PLAN 154 OF 1958



IN ACCORDANCE WITH THE PROVISIONS OF
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PROFESSIONAL LAND SURVEYOR

APPROVAL SUBJECT TO A COVENANT
DATED AND TO BE FILED
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DATE APPROVED

WALTHAM BOARD OF SURVEY AND PLANNING

CLERK OF THE BOARD OF SURVEY
AND PLANNING

OWNER/APPLICANT:
YOLANDA M. ANTICO
&
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
70 CHARLES RIVER ROAD
WALTHAM, MA 02453

PROSPECT HILL ROAD EXTENSION CONTOUR PLAN

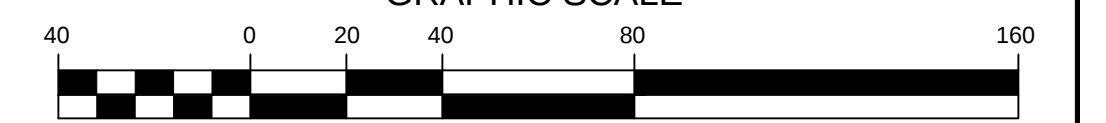
0 PROSPECT HILL ROAD
WALTHAM, MA 02451

SCALE: 1" = 40' DATE: SEPTEMBER 3, 2021
REVISED DATE: JANUARY 12, 2022

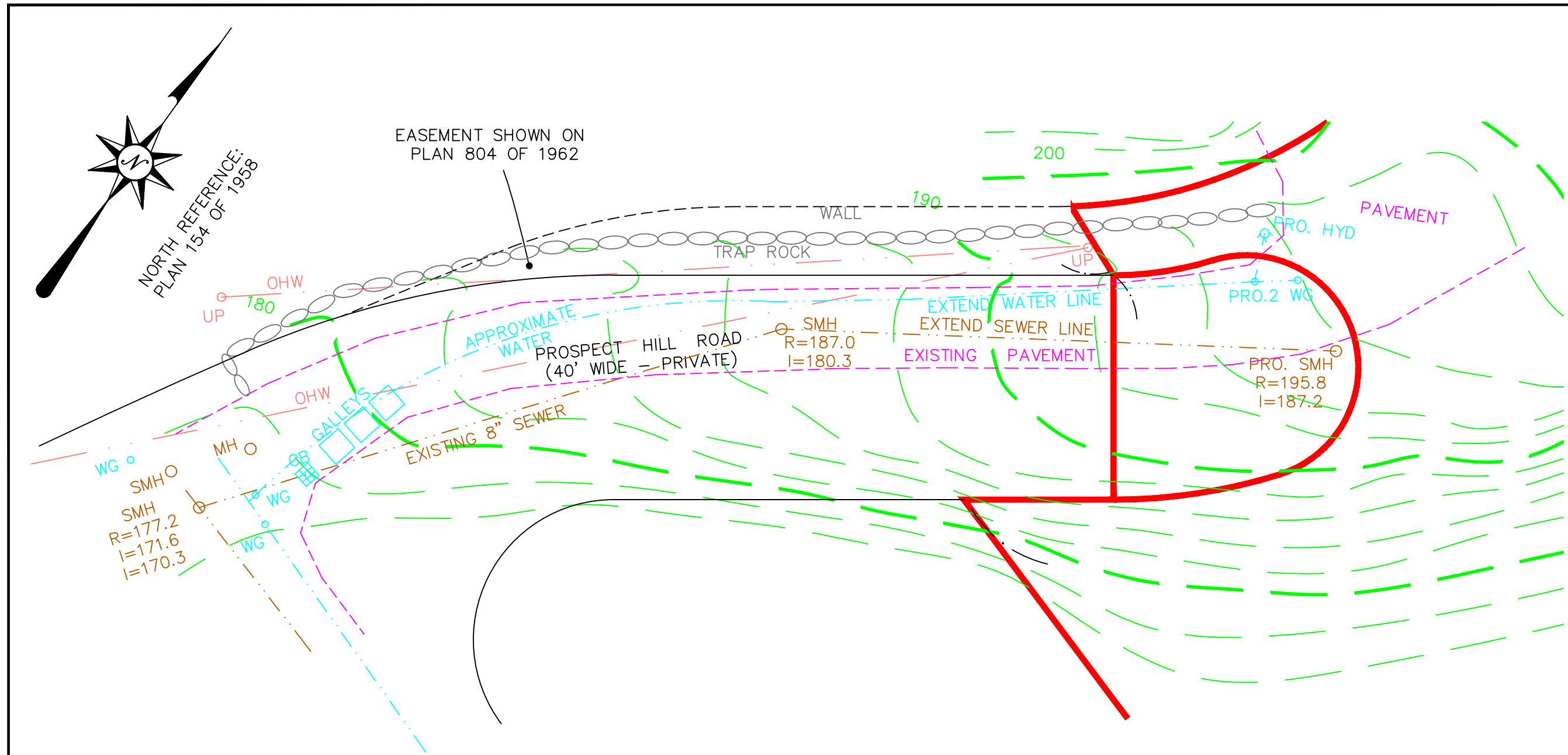
PREPARED BY:
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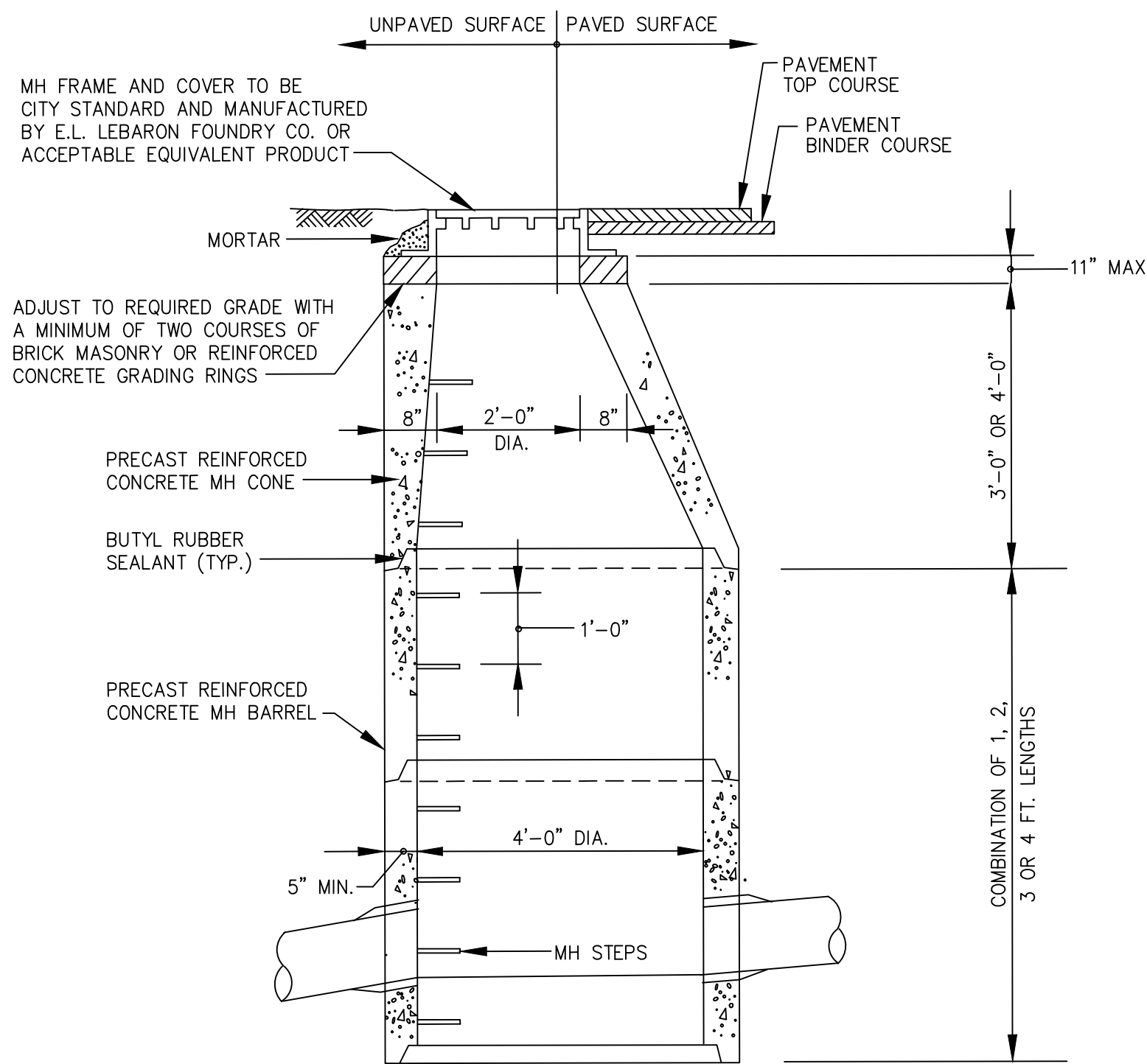
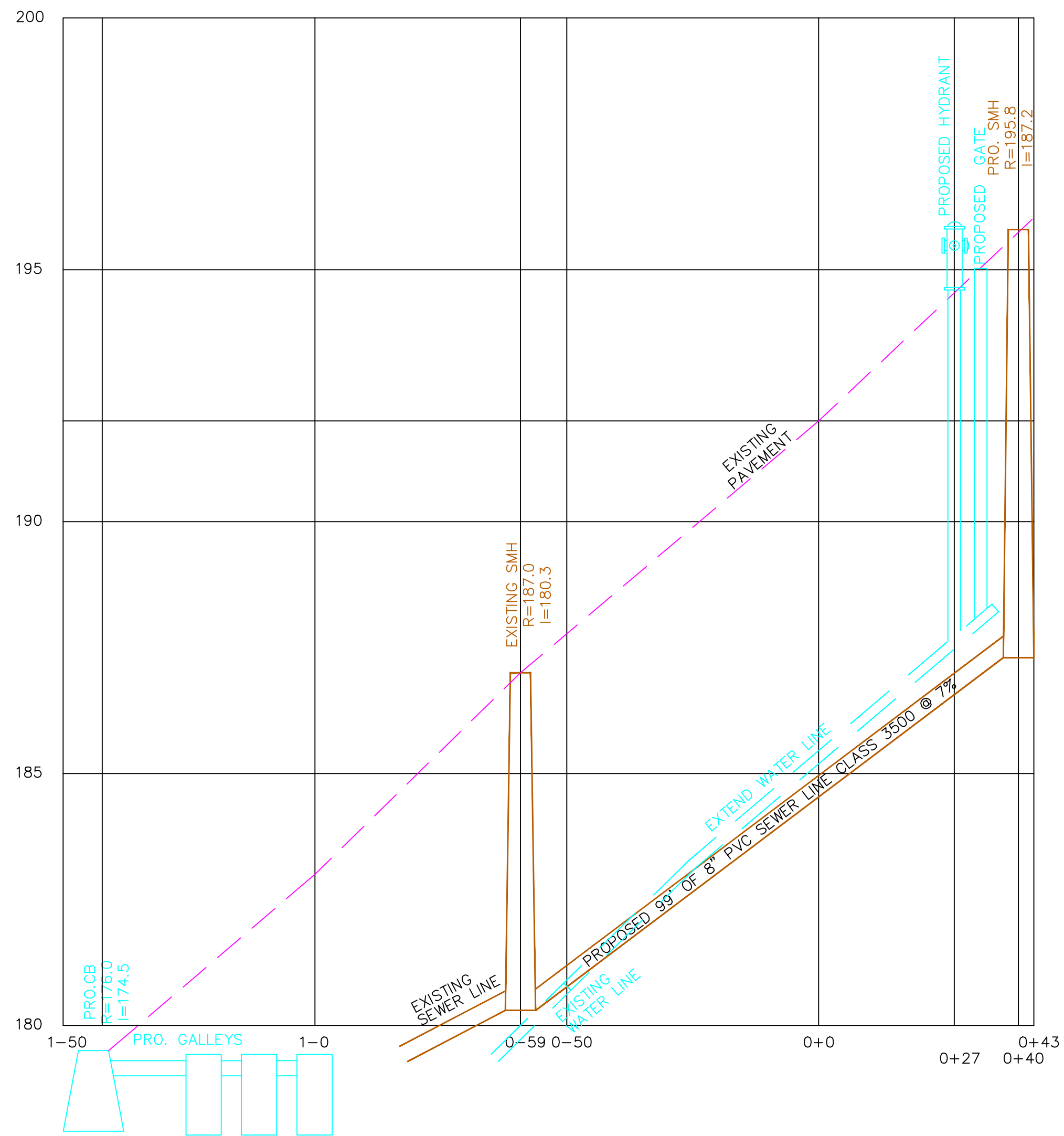
GRAPHIC SCALE



(IN FEET)
1 inch = 40 feet

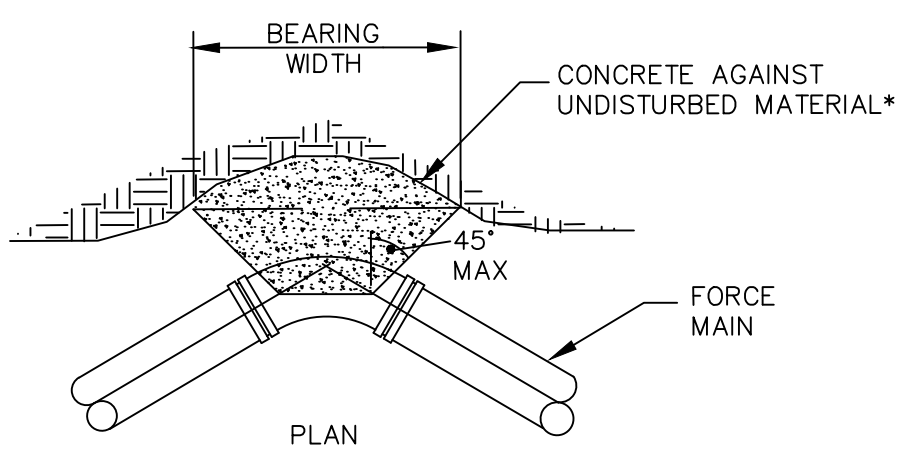


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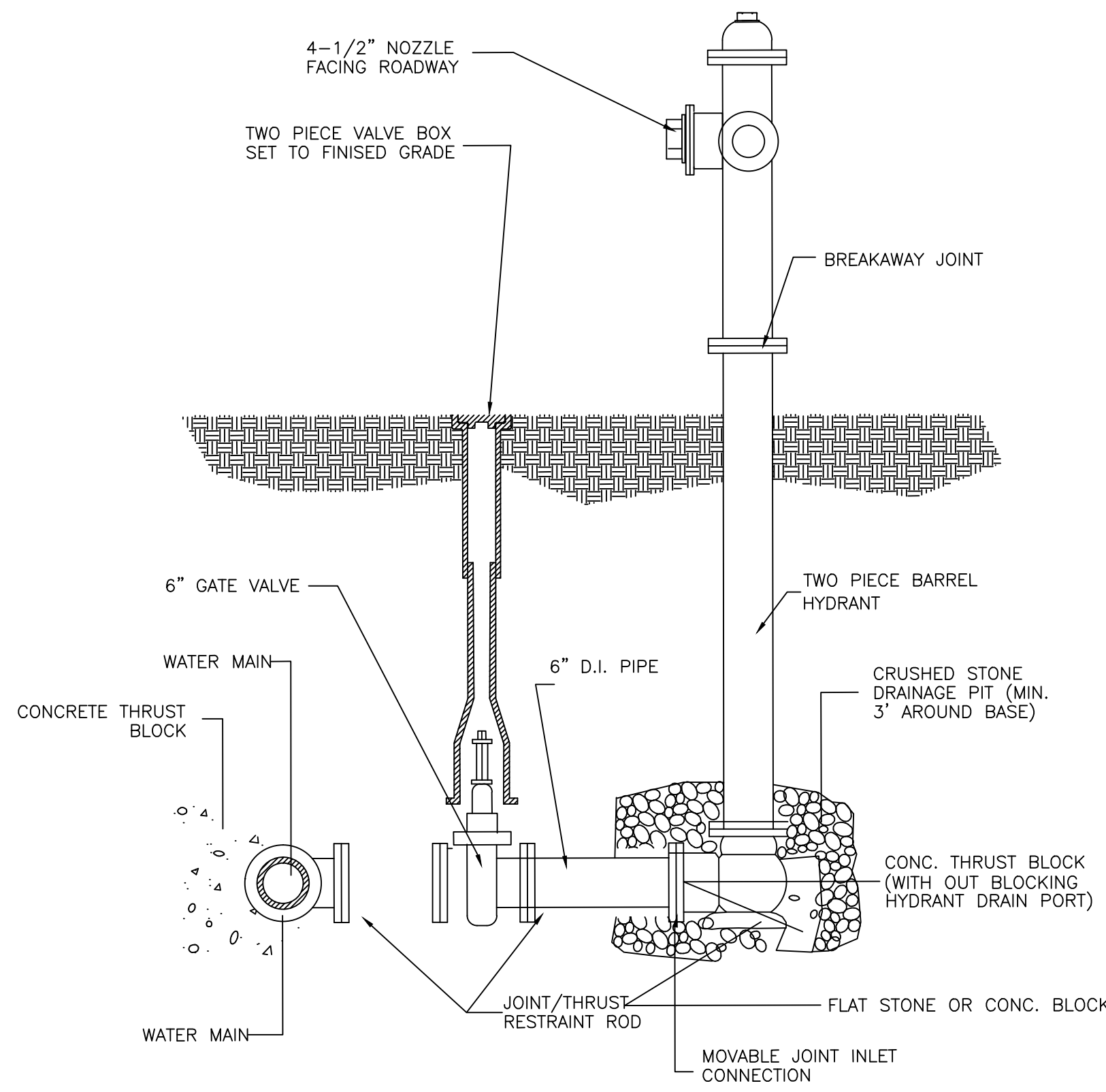
4'-0" MANHOLE RISER WITH
ECCENTRIC CONE TOP

NOT TO SCALE



TYPICAL BEND
THRUST BLOCK DETAIL

NOT TO SCALE



HYDRANT CONSTRUCTION
DETAILS

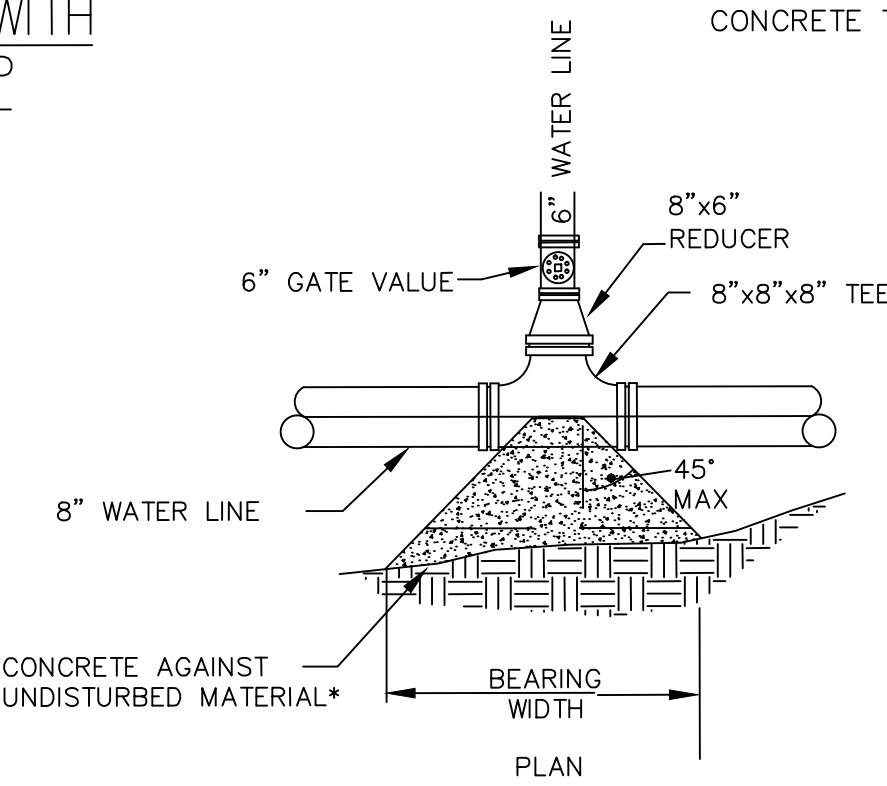
NOT TO SCALE

TABLE OF BEARING AREAS IN SQ. FT. AGAINST
UNDISTURBED MATERIAL FOR FORCE MAIN FITTINGS *

SIZE OF MAIN (IN.)	90° BEND	TEES AND PLUGS	45° BEND
2	1	1	1
4	2	2	2
6	4	2.5	2
8	6	4	3
10	9	7	5
12	12	9	7
16	21	16	12
20	32	23	18
24	40	30	22

- * TYPE OF SOIL IS MEDIUM CLAY 6 OR MORE BLOWS/FOOT, OR LOOSE GRANULAR, 9 OR MORE
- BLOWS/FOOT. SOIL CONDITIONS OTHER THAN THOSE GIVEN WILL REQUIRE LARGER BEARING AREAS.

NOTES:
FOR FITTINGS LESS THAN 45' DEFLECTION USE BEARING AREAS FOR 45' BEND.
CONCRETE TO BE CLASS "A"



TEE FOR HYDRANT

NOT TO SCALE

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DATE APPROVED

WALTHAM BOARD OF SURVEY AND PLANNING

CLERK OF THE BOARD OF SURVEY
AND PLANNING

ADDRESS:
0 PROSPECT HILL ROAD

RECORD OWNER:
ANTHONY J. ANTICO &
ROSETTE JACOBSON ANTICO
&
YOLANDA M. ANTICO

DEED REFERENCE:
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BOOK 78508 PAGE 207

PLAN REFERENCE:
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RATE MAP #25017C0413E &
25017C0394E DATED JUNE 4, 2010

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&
ANTHONY J. ANTICO &
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70 CHARLES RIVER ROAD
WALTHAM, MA 02453

PROSPECT HILL ROAD EXTENSION ROAD, UTILITIES AND DETAIL

0 PROSPECT HILL ROAD
WALTHAM, MA 02451

SCALE: 1" = 20' DATE: SEPTEMBER 3, 2021
REVISED DATE: JANUARY 12, 2022

PREPARED BY:
BIBBO BROTHERS & ASSOCIATES
ROBERT BIBBO, PLS
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TEL: 781-891-0417

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GRAPHIC SCALE



(IN FEET)
1 inch = 20 feet